



TOWN COUNCIL WORK SESSION AGENDA

Town Council Chambers
765 Lynn Street, Herndon, VA 20170

Tuesday, February 6, 2024 | 7:00 PM

1. Call to Order

2. Presentations

- a. Presentation on the Origin/Destination Study (*To be presented at the February 13, 2024 Town Council Meeting*)

3. Public Hearings

- a. Ordinance to amend the Fiscal Year (FY) 2024 Adopted Budget for the General Fund, Golf Fund, and American Rescue Plan (ARPA) Fund
- b. Resolution to approve Special Exception SE #23-03, to permit a personal service use consisting of cosmetics and aesthetic services within the multi-tenant commercial office building in a Commercial Office, CO, zoning district

4. General

- a. Ordinance to amend the Herndon Town Code, Chapter 2 (ADMINISTRATION), Article I (In General), Section 2-4 to increase the number of times participation can occur electronically per year, Section 2-5 to reference the ethical duty to attend meetings and to add thereto a new Section 2-6 specifying attendance responsibility and process
- b. Resolution to award contract RFP #24-01, Custodial Services

5. Discussion

- a. Budget Process Update

6. Roundtable

7. Adjournment

Agenda Item: Ordinance to amend the Fiscal Year (FY) 2024 Adopted Budget for the General Fund, Golf Fund, and American Rescue Plan (ARPA) Fund

Meeting Date: February 6, 2024

Category: Public Hearings

Prepared by: Marjorie Sloan, Finance Director

Description:

This is an ordinance to Amend the Fiscal Year (FY) 2024 Adopted Budget for the General Fund, Golf Fund, and American Rescue Plan (ARPA) Fund.

Background:

The proposed FY 2024 budget amendment is as follows:

1. To appropriate \$40,000 in the General Fund to the Herndon Police Department (HPD) for the purchase and installation of facility equipment and repairs. HPD intends to use existing Federal and State Seized Asset Forfeiture funds. A total of \$62,381.11 is available for use for qualified purchases.

2. Community Development is pursuing the Virginia Trees for Clean Water Grant through the Virginia Department of Forestry. If awarded, the grant will provide reimbursement for the purchase and planting of approximately 200 trees. Community Development requests \$125,000 in General Fund expenditure appropriation. Approval would be contingent upon successful award of the State grant in February 2024.

Community Development will be using the town's tree inventory to identify communities in need of tree canopy. A highly diverse selection of species will be planted to create a more resilient urban forest. The Town Arborist will engage with residents to educate and discuss the importance of street trees and the positive effects they have on urban-environmental issues, such as increasing diversity and resiliency, improving air quality, lowering air and surface temperatures, mitigating storm water runoff, and creating a community identity through trees.

3. Approval is requested to appropriate additional General Fund expenditures totaling \$24,387 for fire protection and litter programs made possible based on State Fire and Litter grant revenues higher than expected.

4. For the Golf Fund, approval is requested for \$30,000 of additional materials and

supplies associated with the Master Plan tee project.

5. For the American Rescue Plan Act (ARPA) Fund, approval is requested for a reclass of \$50,000 appropriated funds from the AutoCAD project to the Paving project to cover costs associated with the re-stripping of Sterling Road.

Budget Impact:

The fiscal impact to the General Fund for the \$180,387 expenditure appropriations would be funded via incremental grant revenues and the current available balance of seized asset funds. The increase in expenditures for the Golf Fund will be funded by favorable year-to-date driving range fees. Appropriations in the ARPA fund are capped at the Federal ARPA funding total received of \$25.5M. The request would be a reclass between projects and cost-neutral for the fund.

Recommendation:

Recommend that the Mayor and Town Council adopt the attached draft ordinance.

Attachments:

1. Ordinance (Proposed)
2. Ordinance Attachment A

**TOWN OF HERNDON, VIRGINIA
TOWN COUNCIL**

ORDINANCE

FEBRUARY 13, 2024

Ordinance- to amend the Fiscal Year (FY) 2024 Adopted Budget for the General Fund, Golf Fund, and American Rescue Plan (ARPA) Fund.

In adopting this ordinance, the Town Council has considered the Town Manager's recommended budget modifications as described in Attachment A, FY 2024 Budget Amendment Number 3.

THEREFORE, BE IT ORDAINED by the Town Council of the Town of Herndon, Virginia that:

1. The financial adjustments to the FY 2024 budget, as described in Attachment A, FY 2024 Budget Amendment Number 3 to this ordinance, are approved.
2. This ordinance shall be effective on and after the date of its adoption.

**TOWN OF HERNDON, VIRGINIA
FY 2024**

BUDGET AMENDMENT NUMBER 3

The following appropriations and funding sources are proposed for amendment:

GENERAL FUND

Expenditure Appropriations	Amount	Revenue Budget	Amount
Increase Police Department expenditures	\$40,000	Federal & State Seized Assets revenues	\$40,000
Community Development – Tree Installation	\$125,000	Virginia Forestry Grant – awaiting award	\$125,000
DPW Fire and Litter Programs	\$24,387	Higher Virginia Fire and Litter Grants received	\$24,387
Total Expenditures Increase	\$ 180,387	Total Revenues Increase	\$ 180,387

GOLF FUND

Expenditure Appropriations	Amount	Revenue Budget	Amount
Material & Supplies, Master Plan tee project	\$30,000	Increased driving range fees	\$30,000

AMERICAN RESCUE PLAN ACT (ARPA)

Expenditure Appropriations	Amount	Revenue Budget	Amount
AutoCAD	(\$50,000)	ARPA	\$0
Paving Project	50,000		
Total Expenditures Increase	\$0	Total Revenues Increase	\$0

Agenda Item: Resolution to approve Special Exception SE #23-03, to permit a personal service use consisting of cosmetics and aesthetic services within the multi-tenant commercial office building in a Commercial Office, CO, zoning district

Meeting Date: February 6, 2024

Category: Public Hearings

Prepared by: Fadrique Iglesias, Community Planner

Description:

This application seeks to allow personal service use consisting of cosmetics and aesthetic services. The property owner (and applicant) proposes to reconfigure the existing space to sign a new tenant. The site, located at the northeast corner of Herndon Parkway and Elden Street, encompasses a 916-square-foot tenant space within the Herndon Park Condominium Center, a complex comprised of two interconnected commercial office buildings constructed around 1987. Vehicular access is facilitated by two-way, double-loaded drive aisles on the east and west sides, with entrances at the northwest corner of Herndon Parkway and the southeast corner of Elden Street. The Herndon 2030 Comprehensive Plan designated the property as "Business Corridor Use." Zoned as CO, Commercial Office, the area is a transitional zone between high-intensity commercial activities and residential neighborhoods.

Background:

The existing 916-square-foot tenant space is contained within a three-story multi-tenant commercial office building connected to a second similar building (297 Herndon Parkway). The site is at the northwest corner of the intersection of Herndon Parkway and Elden Street. The two attached buildings, parking, and surrounding site features comprise what is also known as Herndon Park Condominium Center and was constructed circa 1987. Two-way vehicular circulation is achieved through two-way double-loaded drive aisles on the east and west sides of the site and wrapping around the northern part of the site. The site is accessed from Herndon Parkway at the northwest corner of the site and the southeast corner of the site along Elden Street.

The CO zoning district is intended to function as a transitional area between higher-intensity commercial uses and neighborhood residential uses. A previous Special Exception (SE#21-05) was granted to allow a personal service use consisting of cosmetics and aesthetic services within the adjacent unit and an expansion into an additional unit was subsequently granted. The cases are shown below.

- SE #21-05, 299 Herndon Parkway, Suite 108 for personal service use consisting of cosmetics and aesthetic services for a maximum of six people was granted on November 16, 2021.
- SE #21-05 amendment, 299 Herndon Parkway, Suite 107 for an expansion of personal service use consisting of cosmetics and aesthetic services was granted on June 13, 2023, and increase the number of clients to 12 people in total (including employees).

In both cases, the Planning Commission recommended approval with the same conditions, and the Town Council approved the application.

The case (SE#23-03) was presented to the Planning Commission's regular meeting on January 22, 2024. The Commission recommended approval with conditions at their public hearing (5-0).

Budget Impact:

None

Recommendation:

Staff is recommending approval of Special Exception SE #23-03 in accordance with Alternative #2 and with the following conditions:

- a. The personal services business space shall be constructed and utilized in substantial conformance with the original application and updated first-floor plan received on June 27, 2023, and September 25, 2023, subsequently or similar types of cosmetics and personal services uses.
- b. The business operations shall be conducted by appointment only and limited to six total people, including employees, occupying the space at any given time; and
- c. The retail sales floor space allocation shall be limited to not more than 50 square feet within the tenant space.

Attachments:

1. Staff Report
2. Resolution (Proposed)
3. Applicant Narrative
4. Proposed Special Exception Floor Plan
5. TP #86-08 As-Built

STAFF REPORT

Agenda Item: Resolution to approve Special Exception SE #23-03, to permit a personal service use consisting of cosmetics and aesthetic services within the multi-tenant commercial office building in a Commercial Office, CO, zoning district

Meeting Date: February 6, 2024

Staff Contact: Fadrique Iglesias, Community Planner; David Stromberg, AICP, Zoning Administrator

Summary Information:

Proposed Modification	This application seeks to allow personal service use consisting of cosmetics and aesthetic services. The property owner (and applicant) proposes reconfiguring the existing 916 square feet of tenant space to sign a new tenant. The property is zoned CO, Commercial Office. The Herndon 2030 Comprehensive Plan designated the property as "Business Corridor Use." The property is located within the Herndon Park Condominium office building and is located at the northeast corner of the intersection of Herndon Parkway and Elden Street.		
Address	299 Herndon Pkwy Ste 106 Herndon VA 20170 4467		
Fairfax County Tax Map Number	0171 13 0106		
Owners	Nghiem Minh Huynh Yen		
Applicant	Nghiem Minh		
Business/Organization	Rosslyn Cosmetology, LLC.		
Property Use	Multi-story, multi-tenant commercial office		
Zoning District	CO, Commercial Office		
HDO Designation	N/A		
Adjacent Zoning	North: RM, Residential, Multi-family. South: O&LI, Office & Light Industrial East: R-15, Residential, Single-family West: CS, Commercial Services		
Building Type(s)	Three-story, approximately 30,000 square feet (gross floor area). Unit 106 consists of approximately 916 square feet and is in a multi-unit building (Building 2).	Date of Construction:	1987
Comprehensive Plan Land Use Designation	Business Corridor		

Location Map:



Background & Site Description:

The existing 916 square foot tenant space is contained within a three-story multi-tenant commercial office building which is connected to a second similar building (297 Herndon Parkway). The site is at the northwest corner of the intersection of Herndon Parkway and Elden Street. The two attached buildings, parking and surrounding site features comprise what is also known as Herndon Park Condominium Center and was constructed circa 1987. Two-way vehicular circulation is achieved through two-way double loaded drive aisles on the east and west sides of the site and wrapping around the northern part of the site. The site is accessed from Herndon Parkway at the northwest corner of the site and at the southeast corner of the site along Elden Street.

The CO zoning district is intended to function as a transitional area between higher-intensity commercial uses and neighborhood residential uses. A previous Special Exception (SE#21-05) was granted to allow a personal service use consisting of cosmetics and aesthetic services within the adjacent unit and an expansion into an additional unit subsequently granted. The cases are shown below.

- SE #21-05, 299 Herndon Parkway, Suite 108 for personal service use consisting of cosmetics and aesthetic services for a maximum of six people was granted on November 16, 2021.
- SE #21-05 amendment, 299 Herndon Parkway, Suite 107 for an expansion of personal service use consisting of cosmetics and aesthetic services was granted on June 13, 2023, and increase the number of clients to 12 people in total (including employees).

In both cases The Planning Commission recommended approval with the same conditions, and the Town Council approved the application.

Case Details & Proposal:

The applicant proposes to reconfigure the existing 916 square feet of tenant space into a cosmetics and personal services business to sign a new tenant. These personal services may include a spa salon and cosmetic services.

Planning Commission

The case was presented to the Planning Commission regular meeting on January 22, 2024. The Commission recommended approval with conditions at their public hearing (5-0).

Staff Analysis:

Zoning Ordinance Compliance

The proposed personal services use, and retail sales use is only allowed by special exception in accordance with the Town's Zoning Ordinance [78-40.3](#) - CO - *Commercial office district*, Table 78-40.3(c)(3).

The zoning ordinance allows for flexibility for instances like this, when businesses traditionally located with other commercial service and retail sales uses have operational characteristics that make them appropriate to operate in traditional office park developments, provided adequate development and land use controls exist. In this case, the proposed personal services and retail sales uses are consistent with the purpose and intent of the Commercial Office Zoning District and the additional controls that can be implemented through the special exception process.

Based upon the application submitted and reviewed for compliance with the town's above code sections, staff believes this proposal complies with the referenced Town of

Herndon Zoning Ordinance section. It will be compatible with the existing uses on site and not negatively impact adjacent residential uses to the north and east of the site. Staff also evaluated the criteria for review of special exceptions found in Zoning Ordinance Section 78-153.3(e):

Comprehensive Plan Adherence

Corridor Land Use Policies. Most particularly, the proposal aligns with Land Use Policies for Business Corridor #1 and #3 (Herndon 2030 Comprehensive Plan, pages III-11 and III-12).

Criteria from Section 78-153.3(e)	Meets/ Does Not Meet	Why the application meets or does not meet the criteria of Section 78-153.3(e)
a. Is consistent with the Comprehensive Plan.	Meets	The Comprehensive Plan Land Use Section provides policies for provision of goods and services to the local community and positive economic benefits of new businesses. The proposed uses will be in conformance with the comprehensive plan policies.
b. Is free of conflict with any provision of this chapter and related regulations or any other applicable local, state, or federal laws and regulations.	Meets	The proposed special exception uses are provisioned with the base zoning district and do not create any substantial conflicts with other regulatory requirements. The use and business operations will be conditioned to ensure the use continually meets the purpose and intent of the Commercial Office Zoning District.
c. Does not adversely affect the health or safety of persons residing or working in the neighborhood of the proposed use.	Meets	The proposed uses are generally compatible to the site / neighborhood. This proposed project does not alter the intensity of use of the site and does not disproportionately increase the number of users or vehicular traffic on the site during limited business hours. Thus, health and safety of the occupants and the neighborhood is not impacted negatively.
d. Consistent with the purpose and intent of the zoning district in which it is located or will improve compatibility among uses	Meets	The proposed use, personal services, is compatible with the intent of the CO district “to provide development

and will ensure efficient development within the town.		opportunities for office uses that are principally used during daylight hours and that may serve as a transition between residential and retail commercial and service commercial uses.”
e. Minimizes adverse visual impact of the proposed use on adjacent lands.	Meets	The proposed uses are exclusively indoors and will not alter or increase impacts on any adjacent lands.
f. Contributes to a logical and orderly development pattern consistent with accepted or emerging planning practices.	Not Applicable	The only physical alterations are internal to the existing structure and thus not subject to this criterion.
g. Minimizes adverse impact on surrounding lands regarding service delivery, parking and loading, odors, noise, glare, and vibration, and should not create a nuisance.	Meets with conditions	Staff recommended conditions limit the overall capacity and distribution of customers in order to prevent negative impacts to parking, loading, and noise.
h. Avoids significant adverse impacts on the property values of surrounding lands or substantially and permanently injures the use of neighboring property for those uses that are permitted in the zoning district.	Meets	The proposed use has virtually no external impacts and provides needed space utilization for the new business owners
i. Does not significantly and adversely impact the natural environment, including but not limited to, air, noise, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment.	Meets	The proposed use is exclusively indoors and will not alter and not impact any adjacent lands.
j. Results in development that is adequately served by transportation facilities, including whether or not a substantial deterioration of the level of service on the town's transportation network would occur and whether or not the proposed use is designed to ensure safe ingress and egress onto the site and safe road conditions on and around the site.	Not Applicable	The only physical alterations are internal to the existing structure and thus not subject to this criterion.
k. Results in development that is adequately served by public facilities (roads, potable water and sewage, schools, parks, police, and fire and emergency medical facilities).	Not Applicable	The only physical alterations are internal to the existing structure and thus not subject to this criterion.

l. If infill and redevelopment is consistent with the redevelopment criteria and other applicable guidelines as stated in the Herndon 2030 Comprehensive Plan (adopted August 12, 2008), as amended.	Not Applicable	The only physical alterations are internal to the existing structure and thus not subject to this criterion.
m. If located in the floodplain overlay district, meets floodplain overlay standards.	Meets	There are no physical changes in the building footprints or grading within the FPO and this site will be removed from the FPO.

Fiscal Impact:

The proposal encourages uses that provide a variety of personal services as well as promotes economic development that increases employment and adds to the community tax base.

Transportation

The property contains a parking lot with 108 spaces. Additionally, the business is located approximately 100 feet from the nearest Fairfax Connector bus stop along Route 926 on Elden Street and 200 feet from the nearest Fairfax Connector bus stop along Route 924 on Herndon Parkway.

Analysis of Conditions

Staff is recommending three conditions for this special exception, listed in the following conditions analysis table. Staff believes these conditions provide reasonable ways in which the proposed use can be permitted while properly mitigating potential impacts, as well as achieving the purpose and intent of the applicable zoning district.

#	Condition	Covered by language in the Zoning Code	Reason for Condition
1	Substantial conformance with the submitted application	No	This condition is what gives the town the authority to ensure the proposed use is developed in the way that is presented to the Planning Commission and the Town Council.
2	Business operations shall be conducted by appointment only and limited to six (6)	No	Personal service and retail uses typically generate more vehicle trips and parking demand than office uses. Conditions to limit

	total people, inclusive of employees, occupying the space at any given time.		occupancy and requiring appointments will maintain a similar intensity as uses that are allowed by right in this zoning district. This capacity ratio is consistent with the already approved special exception for personal service uses in the office park.
3	Allocation of retail sales to not more than 50 square feet within the tenant space.	No	Limiting retail space will allow the owner to have accessory retail associated with their provided services without the impacts generated by a full retail outlet.

Any future tenants proposing a personal service use will be required to comply with these three conditions. Any changes to these conditions can only be approved through an amendment of this special exception at a public hearing of the planning commission and town council. Any violation of the aforementioned conditions or other sections of the Herndon Town Code shall be grounds for revoking the special exception pursuant to the manner described in Section 78-155.3(h).

Town Council Alternatives:

The following alternatives are available to the Town Council for its decision on SE #23-003.

1. Recommendation for approval.
2. Recommendation for approval with conditions.
3. Recommendation for denial.
4. Continuance of the application to the February 27, 2024, Town Council meeting or later specified meeting date.

Staff Recommendation:

Staff is recommending approval of Special Exception SE #23-03 in accordance with Alternative #2 and with the following conditions:

1. The personal services business space shall be constructed and utilized in substantial conformance with the original application and updated first-floor plan received on June 27, 2023, and September 25, 2023, subsequently or similar types of cosmetics and personal services uses.
2. The business operations shall be conducted by appointment only and limited to six total people, including employees, occupying the space at any given time; and
3. The retail sales floor space allocation shall be limited to not more than 50 square feet within the tenant space.

**TOWN OF HERNDON, VIRGINIA
TOWN COUNCIL**

RESOLUTION

FEBRUARY 13, 2024

Resolution- to approve Special Exception SE #23-03, to permit a personal service use consisting of cosmetics and aesthetic services within the multi-tenant commercial office building in a Commercial Office, CO, zoning district.

The applicant, Nghiem Minh, has submitted a request for a special exception to permit a personal service use consisting of cosmetics and aesthetic services within the multi-tenant commercial office building at 299 Herndon Parkway, Suite 106, further identified as Fairfax County Tax Map # 0171 13 0106.

On January 22, 2024, the Planning Commission recommended that the special exception with conditions be approved based upon the finding that the proposed use meets the purpose and intent of the Zoning Ordinance.

The Town Council has reviewed this application and has held a public hearing in accordance with the provisions of §15.2-2204 of the State Code and recommended that the application be approved with amended conditions based upon the finding that the amended conditions still meet the purpose and intent of the Zoning Ordinance, in particular Section 78-155.3(e).

THEREFORE, BE IT RESOLVED by the Town Council of the Town of Herndon, Virginia that:

1. The Town Council Recommends approval of amending Special Exception SE #23-03 that shall run with the land and not be voided or extinguished from a change in ownership of the property in accordance with the conditions set forth below to achieve compliance with the standards found in Section 78-155.3:
 - a. The personal services business space shall be constructed and utilized in substantial conformance with the original application and updated first-floor plan received on June 27, 2023, and September 25, 2023, subsequently or similar types of cosmetics and personal services uses.
 - b. The business operations shall be conducted by appointment only and limited to six total people, including employees, occupying the space at any given time.
 - c. The retail sales floor space allocation shall be limited to not more than 50 square feet within the tenant space.

Lux Nail & Spa
299 Herndon Pkwy, suite 106
Herndon, VA 20170

Town of Herndon
Community Development
777 Lynn St. 2nd Floor
Herndon, VA 20170

Application For An Exception

Dear Planning Commission,

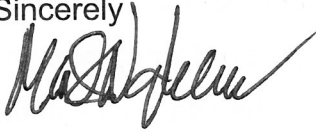
Please reconsider this letter as an application to the 'Special Exception' to permit a personal service use as Nail and Spa Salon. Our condo unit is within the first floor of the multi-tenant commercial building. The site is located at Herndon Park Condominium Center, 299 Herndon Parkway, Suite 106. From what I have learned the site is classified as a commercial office, and our business is classified as personal use. Our Condo unit is currently for rent, for more than two years, there are still no tenants. So we are having a hard time financially.

I would like to request from the Planning Committee to change the status from purpose of use, to personal service retails business. This would help us make use of the vacant office and allow us to bring back revenue, create jobs, and become a part of the town's future business development.

Lux Nail & Spa will be conducting service at approximately 966 square feet. This includes, four pedicure chairs, four manicure tables, one waxing room, and a display shelf to accommodate retail sales. The maximum number of employees will be four at the time shell be able to serve a maximum of up to four customers. Hours of operation will be from Monday through Saturday 9:00 am - 6:00 pm by appointment only. Lux Nail and Spa will also provide product sales in relation to the services provided. The services and products provided to the clients are nail polishing, nail coloring, and skin care products approved by the FDA.

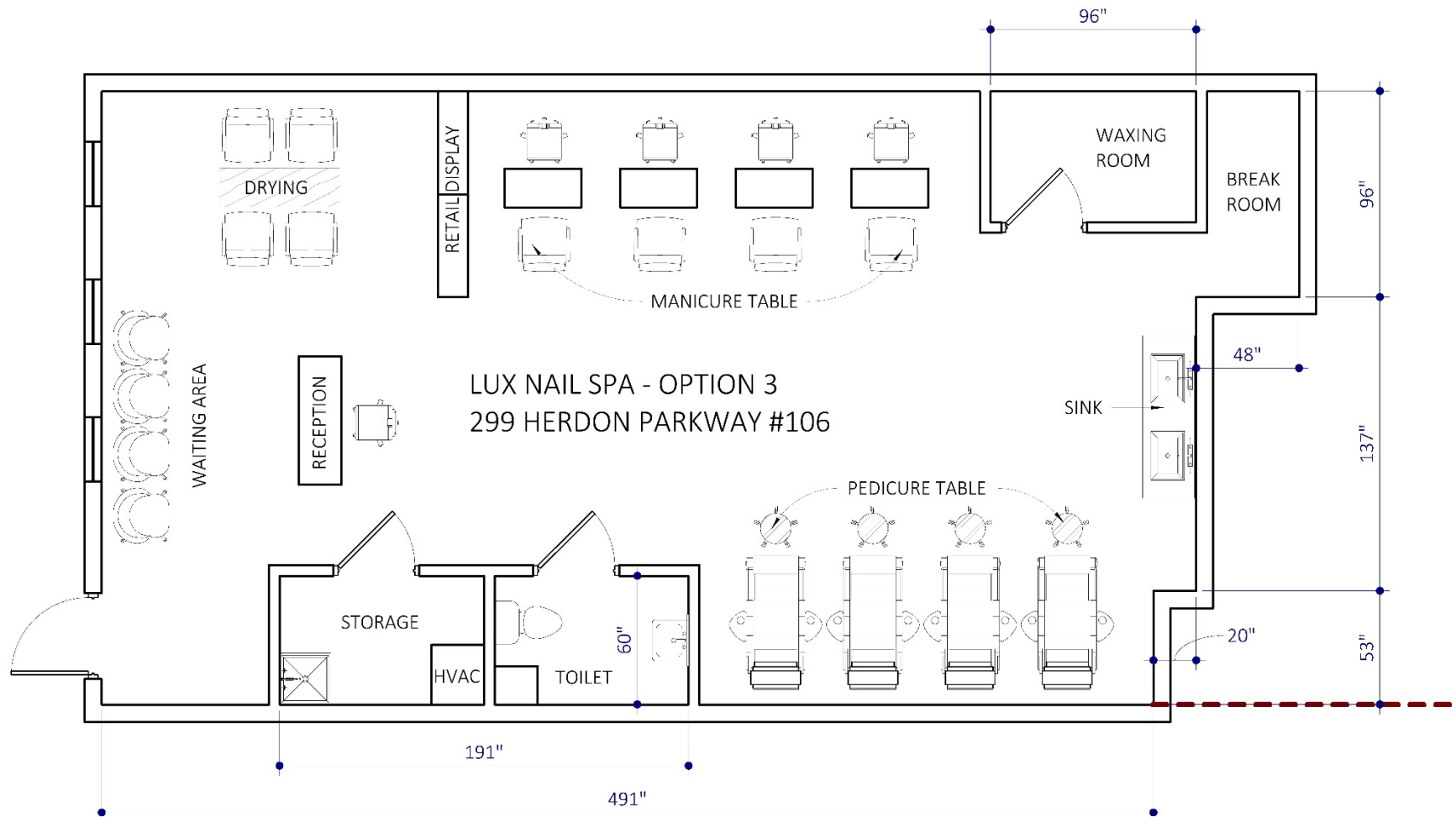
Lux Nails & Spa would like to have the Town of Herndon Community Development Committee to review our 'Special exception' application. We are looking forward to starting our business and to grow alongside the Town of Herndon economic future.

Sincerely

A handwritten signature in black ink, appearing to read 'Minh Nghiem', with a stylized flourish extending from the end.

Minh Nghiem

Owner



PERFORMANCE BOND ESTIMATE

ITEM NO.	ITEM	QUANTITY	UNIT	UNIT PRICE	COST
1	CLEARING & GRUBBING	1.3	ACRES	2060	2678
2	EXCAVATION		CU. YDS.		
3	EMBANKMENT		CU. YDS.		
4	OVERLOT GRADING	1	LOTS	150	150
5	DI-3D	1	Ea	2060	2060
6	CONCRETE PIPE 15" CL II	19	LIN.FT.	51	969
7	CONCRETE PIPE		LIN.FT.		
8	CONCRETE PIPE		LIN.FT.		
9	CONCRETE PIPE		LIN.FT.		
10	CONCRETE PIPE		LIN.FT.		
11	PAVED DITCH		LIN.FT.		
12	RIP RAP	180	SQ.FT.	45	810
13	SODDED SWALE				
14	CONCRETE ENDWALL		EACH		
15	CONCRETE ENDWALL		EACH		
16	CONCRETE ENDWALL		EACH		
17	CONCRETE ENDSECTION		EACH		
18	RELOCATION OF TRAFFIC LIGHT	1	LS	35,000	35,000
19	DRIVEWAY ENTRANCE, TYPE CG-10A	2	EACH	2500	5000
20	SIDEWALK	200	LIN.FT.	90	1800
21	HEADER CURB	170	LIN.FT.	10	1700
22	CURB & GUTTER	200	LIN.FT.	11	2200
23	VALLEY GUTTER		EACH		
24	GRAVEL BASE		SQ.YDS.		
25	GRAVEL BASE		LIN.FT.		
26	GRAVEL SHOULDERS		SQ.YDS.		
27	SURFACE TREATMENT		SQ.YDS.		
28	BITUMINOUS CONCRETE SURFACE 2" 8-5	660	SQ.YDS.	44	3036
29	BASE COURSE 6" 8-3	660	SQ.YDS.	13.8	9108
30	SUBBASE MATERIALS 10" 2-A	182	CU.YDS.	20.5	3731
31	STREET SIGNS		EACH		
32	STREET LIGHTS		EACH		
33	ROADSIDE DELINEATORS		EACH		
34	TRAFFIC BARRICADE		EACH		
35	SCREENING & REINFORCEMENT				
36	PIPES AS SHOWN ON PLAN	8	EACH	6300	50400
37	MONUMENTS AS SHOWN ON PLAN		EACH		
38	WATER LINE	110	LIN.FT.	29	3190
39	FIRE HYDRANTS	1	EACH	1490	1490
40	SANITARY SEWER	260	LIN.FT.	34	8840
41	AS BUILT PLAN	1.75 AC	LUMP SUM	570.00	997.50
42	PLUS 10% ENGRG. FEE & MISC.				8326.35
43	TOTAL				91589.85

HEREBY CERTIFY THAT THE FOREGOING IS MY BEST ESTIMATE OF THE QUANTITIES OF IMPROVEMENTS IN THIS SUBDIVISION OR SITE PLAN.

SIGNATURE: *[Signature]* DATE: 9-8-86

CASH ESCROW BOND ESTIMATE

ITEM NO.	ITEM	QUANTITY	UNIT	UNIT PRICE	COST
1.	EROSION/SEDIMENTATION CONTROL (SEE ZONING ORD. FOR APPROPRIATE FEE)	175		300	1000 MIN.
2.	ARBORIST FEE (PER L.F. OF TREE CLEARING LINE)		L.F.	100	
3.	DAMAGE TO EXISTING PUB. UTILITIES (TO BE COMPUTED BY TOWN OF HERNDON.)		L.S.		10,000
4.	LANDSCAPING		L.S.		14,950.00
	TOTAL:				24,950.00

FEE SCHEDULE

ITEM	QUANTITY	UNIT	FEE PER UNIT	FEE
BITUMINOUS SURFACE	3780	SQ. YD.		1323
CURB & GUTTER	1600	LIN. FT.	.60	960
HEADER CURB	150	LIN. FT.	.60	90
SANITARY SEWER	260	LIN. FT.	1.60	416
SIDEWALK	630	LIN. FT.	.60	378
STORM DRAINAGE		LIN. FT.	2.90	
T.V. INSPECTION	260	LIN. FT.	1.38	351
WATERLINE	68	LIN. FT.	1.35	91.8
OVERLOT GRADING AND SURFACE DRAINAGE PLAN (per division of land or per disturbed acre, whichever is greater)	13	LOT/ACRE	100.00	130
MISCELLANY SCREENING		ACRE		920.00(min)
5' LINEAR FEET OF STREET		LIN. FT.	1.60	
ESTIMATED FEE - TOTAL				\$40908
INITIAL FEE PAYMENT (50% OF ESTIMATED FEE)				\$20454
BALANCE OF FEE (COMPUTED BY TOWN)				

NOTES

- The methods and materials used in the construction of the improvements herein shall conform to the current Town of Herndon Standard Specifications, current Fairfax County Design and Construction Standards, and the current VDOT Road and Bridge Specifications. In the event of conflict between the standards and specifications, prevailing guidelines shall be selected by the Town of Herndon.
- A permit must be obtained from the Town of Herndon before any construction is started in conformity with these plans.
- A permit must be obtained from the office of the Resident Engineer, VDH&T, Fairfax, Virginia, before any construction is started on any existing state highway.
- The Developer is required to notify the Town of Herndon, in writing, three (3) days prior to the beginning of construction. The Developer shall require that all of his contractors specifically request inspection at least twenty four (24) hours before beginning:
 - Clearing and grubbing
 - Installation of siltation and erosion control measures
 - Earth work
 - Installation of any underground utility
 - Installation of any forms
 - Placing any concrete
 - Before placing subbase, base, or paving surfaceFailure to do so for any reason shall constitute rejection of said work.
- All existing underground utilities shall be physically located by the Developer or his engineer prior to the beginning of any construction in the vicinity of these utilities.
- All utilities installed as a part of this development shall be placed underground.
- All underground utilities within the street right-of-way and all service connections shall be installed to the required distance beyond the right-of-way line prior to the installation of any subbase material, curb and gutter, or sidewalk.
- All utilities to be taken over by the Town for maintenance purposes must be inspected, tested and approved by the Town before being accepted into the Town's system.
- Cut sheets shall be submitted and approved by the Town of Herndon prior to the start of construction of any underground utilities, streets, or curbs and gutters.
- Sanitary Sewers: All sanitary sewer materials and methods of construction shall comply with the current Town of Herndon Standards and Specifications.
- Storm Sewers: (A) Storm sewer and culvert pipe shall be reinforced concrete pipe to conform to the current A.A.S.H.T.O. designation M 170, unless otherwise designated on the plans. Class II pipe will be permitted beyond the limits of the street right-of-way. Class III pipe will be required within the limits of the right-of-way. (B) Underdrains and/or crossdrains shall be installed by the Developer where deemed necessary by the Town of Herndon.
- Streets: (A) All base and subbase material shall be compacted to 95% of theoretical maximum density as determined by A.A.S.H.T.O. T-99 method A, within plus or minus 2% of optimum moisture for the full width of any dedicated right-of-way and all townhouse streets, commercial and industrial parking lots, private streets, parking bays, curb and gutter, and sidewalks adjacent to streets and parking lots (not intended to include lead sidewalks). (B) Soil reports and subgrade specifications shall be submitted to the Town of Herndon for approval prior to the start of construction of any sidewalks, curb and gutter, streets or parking areas. (C) Subbase depth is based on a CBR of 10. Where CBR is less than 10, one inch of subbase or base material shall be added for each point below CBR 10. Where CBR is greater than 10, subbase may be reduced one inch for each five points above CBR 10. All special designs are subject to approval by the Town of Herndon. (D) Standard street name signs shall be installed at each intersection by the Developer, as well as required traffic control signs in the development. (E) A minimum of one driveway entrance shall be provided per lot. Driveway entrances, CG-10A, shall be installed in conformity with the standards. Pipestem lot driveways are subject to approval by the Town of Herndon. (F) Surfaced streets shall be maintained in a clean condition, mud and dust free at all times, and adequate means shall be provided to clean trucks and other equipment using the completed streets. (G) Street names shall be approved by Fairfax County. (H) Street lights shall be installed according to Town of Herndon standards.
- Water Distribution: (A) All water main materials and construction shall comply with the regulations of the standard specifications and plans of the Town of Herndon and the current Waterworks Regulations of the Virginia State Board of Health. (B) All water mains shall have a minimum cover of 4.0 feet. Water mains shall be installed eight (8) feet north or east of the centerline of the street unless otherwise designated on the plans. (C) Working pressure shall be > 20 psi.
- Land Conservation Notes: (A) Measures to control erosion and siltation shall be provided pursuant to and in compliance with current state and local regulations. However, the approval of these plans shall in no way relieve the Developer or his agent of any legal responsibility which may be required by the Code of Virginia or any ordinance enacted by the Town of Herndon. (B) No disturbed area will be denuded for more than 60 calendar days. (C) All erosion and siltation control measures are to be placed prior to or as the first step in clearing. (D) All storm and sanitary sewer lines not in streets are to be mulched and seeded within 15 days after backfill. No more than 500 feet are to be open at any one time. (E) Electric power, telephone and gas supply trenches are to be compacted, seeded and mulched, within 15 days after backfill. (F) All temporary earth berm diversions and silt dams are to be mulched and seeded for temporary vegetative cover within 10 days after grading. Straw or hay mulch is required. The same applies for all stock piles. (G) During construction, all storm sewer inlets will be protected by silt traps, maintained and modified as required by construction progress. (H) All disturbed area not paved, sodded, or built upon by November 1, or disturbed after that date, is to be seeded within 15 days with oats, alfalfa, or equivalent and mulched with hay or straw at the rate of 2 tons per acre. (I) Prior to beginning any work on this site, the Contractor must read and adhere to the "Protection of Trees" Guidelines, Volume III, Fairfax County Public Facilities Manual, and Section 28-22A of the Town of Herndon Zoning Ordinance.
- These plans and specifications are based on the minimum requirements for CO zoning. This plan contains NO dwelling units.
- All elevations must be based on the U.S.C. & G.S. or the U.S.C. & G.S. mean sea level datum.
- Prior to any approved clearing and grading on a site, a tree protection fence shall be erected in accordance with the fence detail on the approved landscape plan.

FIRE FLOW INFORMATION

FH # 1528 (APPROX. 750' FROM ELDEN STREET INTERSECTION)
STATIC 75 PSI RESIDUAL 65 PSI
FLOW = 1250 GPM.
Q20 = 3198 GPM.

Construction Type - 3B
Gross floor area of each building 15,000 Sq. Ft.
Maximum Height of building - 35'
Number of stories - 3 1/2
Building shall not be sprinklered.

INDEX

COVER SHEET
SITE PLAN

I HEREBY CERTIFY THAT THIS AS-BUILT CONFORMS WITH THE APPROVED SITE PLAN EXCEPT AS SHOWN AND REPRESENTS ACTUAL FIELD CONDITIONS ON THE SITE.

DATE: 2/10/88 HAROLD A. LOGAN
INDICATES "AS-BUILT"



STORM DRAINAGE PRO-RATA SHARE TABULATION

Project: HERNDON PARK
Watershed: SUGARLAND RUN
Pro-Rata Share: 2000.00 per impervious acre
Area: 1.75 acre
% Impervious: 90.00
2000.00 x 1.75 x 0.90 = 3150.00
DATE COMPUTED: 2-24-86

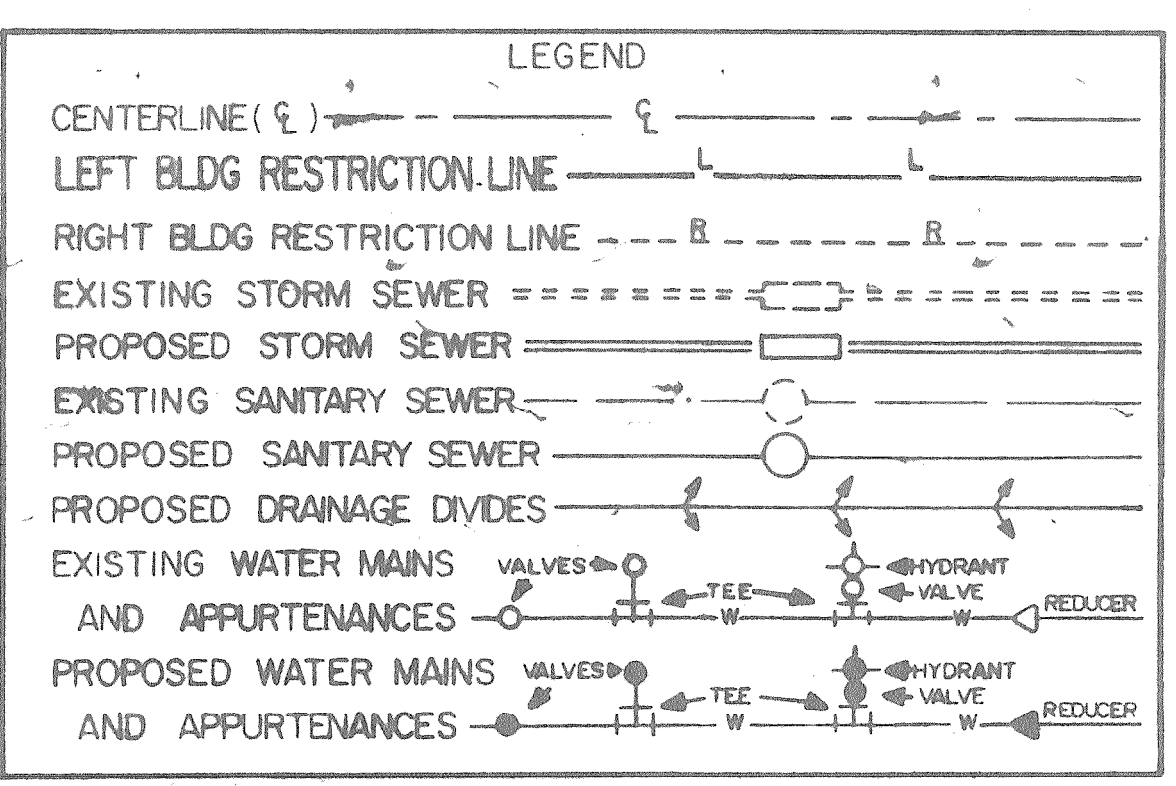
EMERGENCY
POLICE — FIRE — RESCUE
911
HERNDON POLICE 437-1118

THE DESIGNING FIRM HAS CONTACTED ALL UTILITY OPERATORS FOR THE HORIZONTAL LOCATION OF THEIR UNDERGROUND UTILITIES, IF ANY, AND THIS PLAN SHOWS THEIR LOCATION IS MARKED BY THE OPERATIONS.

NOTICE REQUIRED

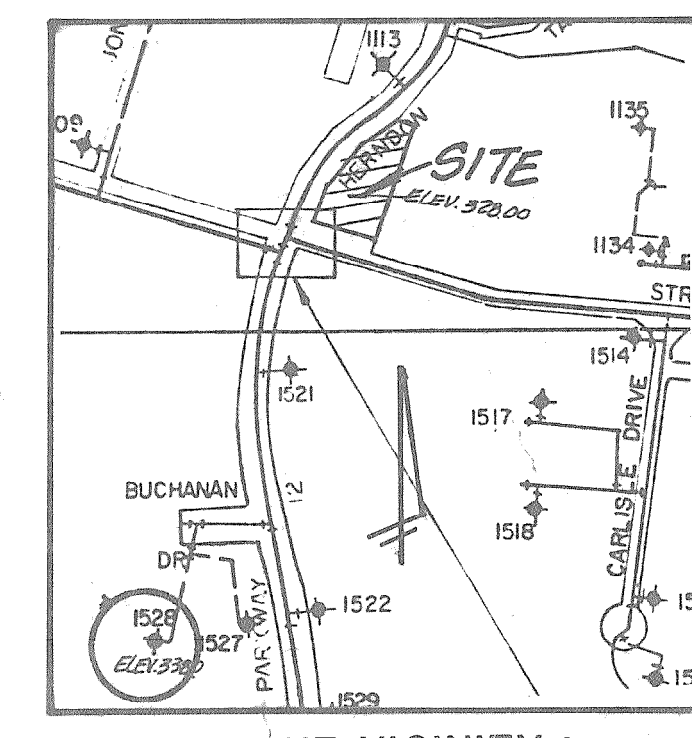
Contractors shall notify operators who maintain underground utility lines in the area of proposed excavation or boring at least two working days, but not more than ten working days prior to commencement of excavation or demolition in accordance with Section 10(a) of Chapter 6B of the Fairfax County Code. Names and telephone numbers of the operators of the underground utility lines in Fairfax County appear below. These numbers shall also be used to serve in an emergency condition, as required by Section 15(b) of Chapter 6B of the Code.

COLUMBIA GAS PIPELINE CO. 759-2115
FAIRFAX CITY WATER SERVICE 385-7915
TOWN OF HERNDON DPW 435-6856
A.T. & T. CO.
CHESAPEAKE & POTOMAC TELE. CO.
COLONIAL PIPELINE CO.
COLUMBIA GAS OF VA.
CONTINENTAL TELEPHONE OF VA.
PLANTATION PIPELINE CO.
TRANSO GAS PIPELINE CO.
VERCO
Miss Utility (301) 559-0100

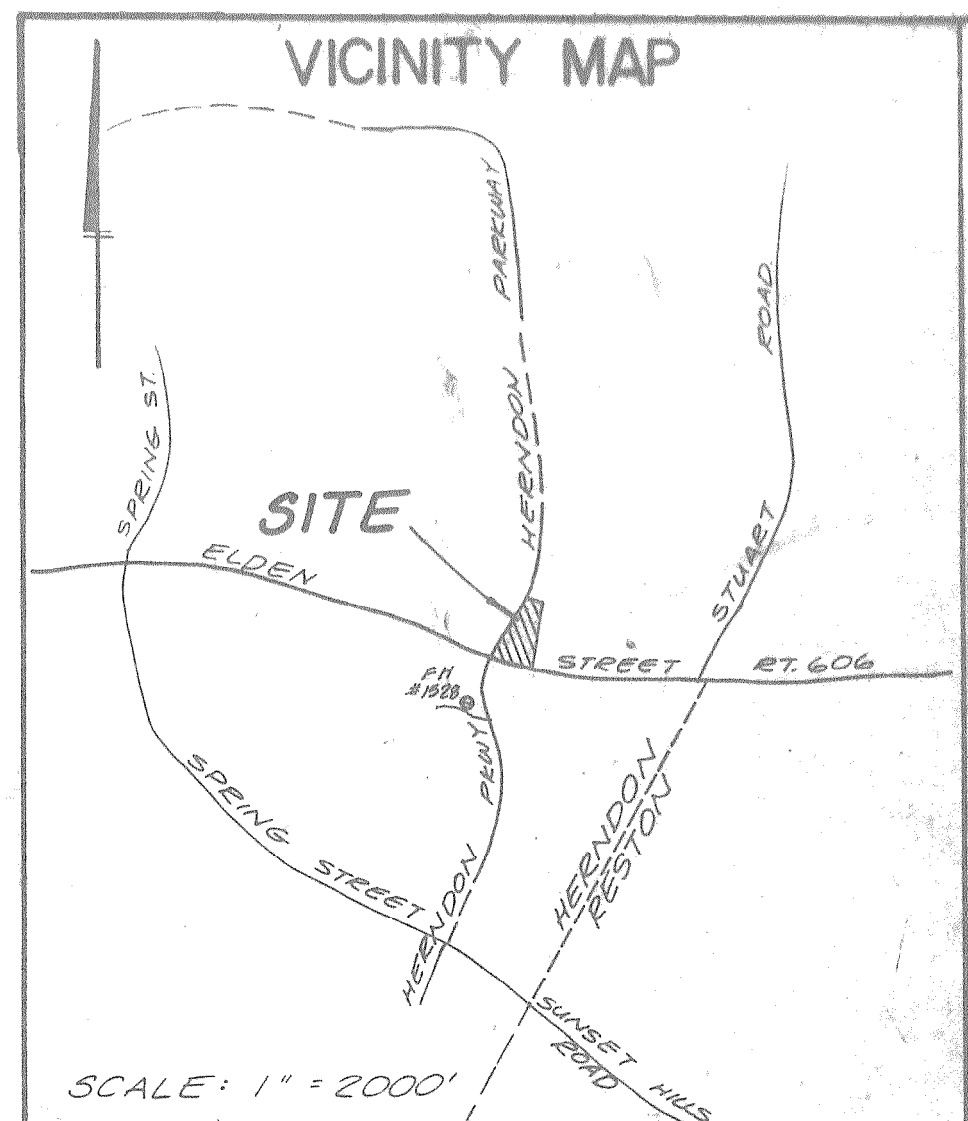


PLAN APPROVAL SHALL NOT BE GIVEN UNTIL ALL DEDICATIONS AND EASEMENTS HAVE BEEN RECORDED AND DEED BOOK AND PAGE NUMBER PROVIDED TO THE PLANNING DEPARTMENT OF THE TOWN OF HERNDON.

THIS APPROVAL IS NOT A COMMITMENT TO PROVIDE PUBLIC SANITARY SEWER



SCALE: 1" = 500'



LOCATION OF BENCHMARKS:
EXISTING SANITARY MANHOLE AT ELDEN STREET, TOP OF MANHOLE ELEVATION 318.75 U.S.G.S. DATUM.

RECOMMENDED FOR APPROVAL

DATE: _____ FAIRFAX COUNTY FIRE MARSHAL

DATE: _____ DIRECTOR OF PUBLIC WORKS

DATE: _____ DIRECTOR OF PLANNING

PUBLIC HEARINGS

DATE: _____ BODY: _____ ACTION TAKEN: _____

APPROVED FOR CONSTRUCTION AND ISSUANCE OF BUILDING PERMITS TOWN OF HERNDON, VIRGINIA

DATE: _____ TOWN PLANNER

SITE PLAN APPROVAL VOID IF FINAL BUILDING PERMITS HAVE NOT BEEN OBTAINED WITHIN ONE YEAR.
SUBDIVISION APPROVAL VOID IF FINAL SUBDIVISION PLAN IS NOT RECORDED WITHIN ONE YEAR AFTER APPROVAL OF PRELIMINARY PLAN.

SITE PLAN #86-8 SUBDIVISION

TOWN OF HERNDON, VIRGINIA
COVER SHEET

SUBDIVISION NAME OR SITE PLAN AND NUMBER: HERNDON PARK

OWNER, ADDRESS, INCLUDE ZIP: RESTON/HERNDON LIMITED PARTNERSHIP, 8150 LEESBURG PIKE SUITE 1200, VIENNA, VIRGINIA 22180, TELEPHONE: 555-0000

CODE AND TELEPHONE NUMBER: SAME AS ABOVE

DEVELOPER, ADDRESS, INCLUDE ZIP: SAME AS ABOVE

CODE AND TELEPHONE NUMBER: SAME AS ABOVE

CERTIFIED ENGINEER, ARCHITECT OR SURVEYOR SUBMITTING PLAN, ADDRESS, INCLUDE ZIP CODE AND TELEPHONE NUMBER: HAROLD A. LOGAN ASSOCIATES - PC, 4200 DANIELS AVE., ANNANDALE, VIRGINIA 22003, PHONE: (703) 941-3531

TAX MAP SECTION NUMBER: 17-1, DOUBLE CIRCLE NUMBER: 4, PARCEL NUMBER: 3129

TOTAL AREA: 1.75 AC. PRESENT ZONING: CO

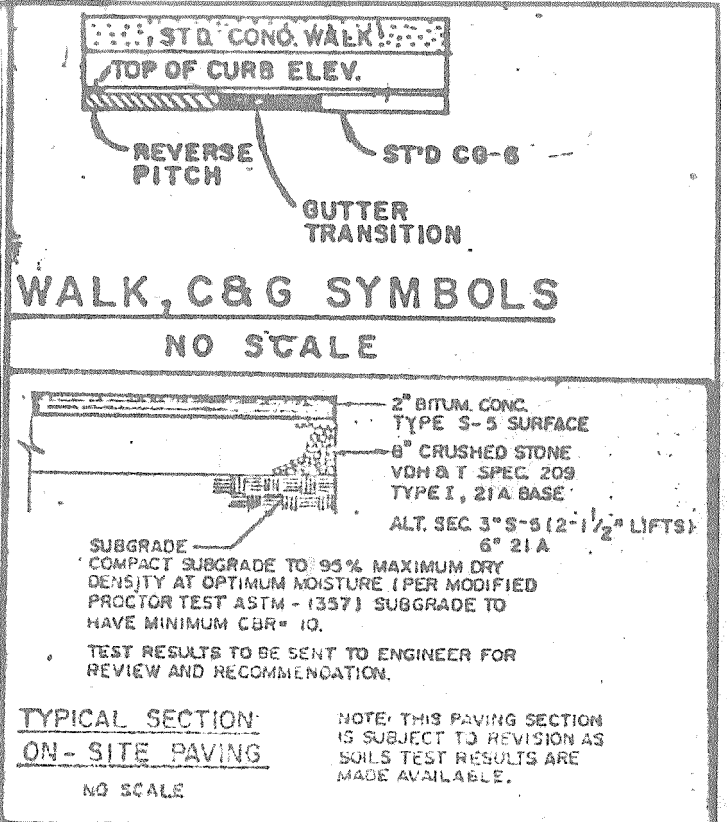
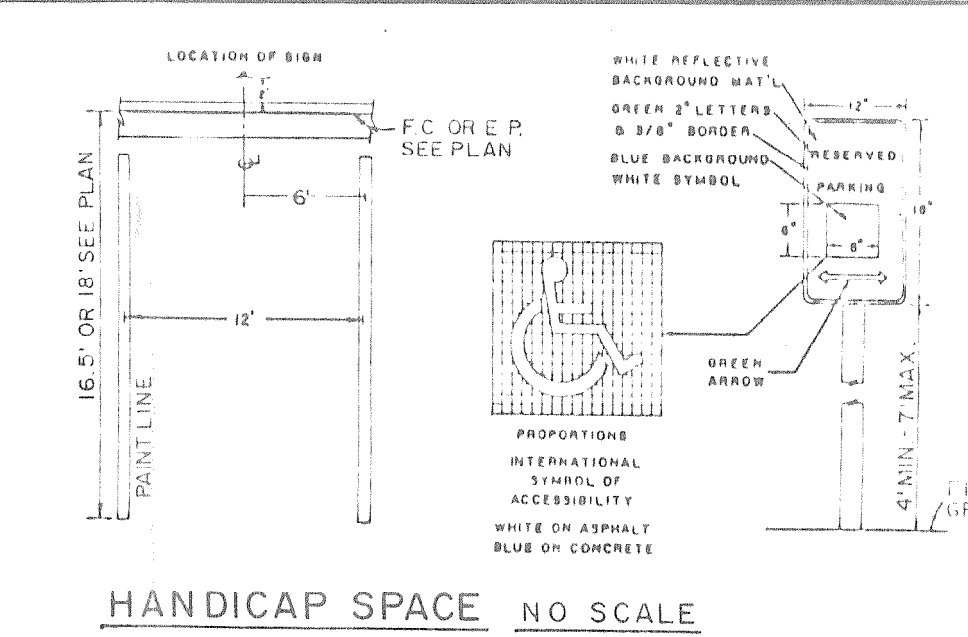
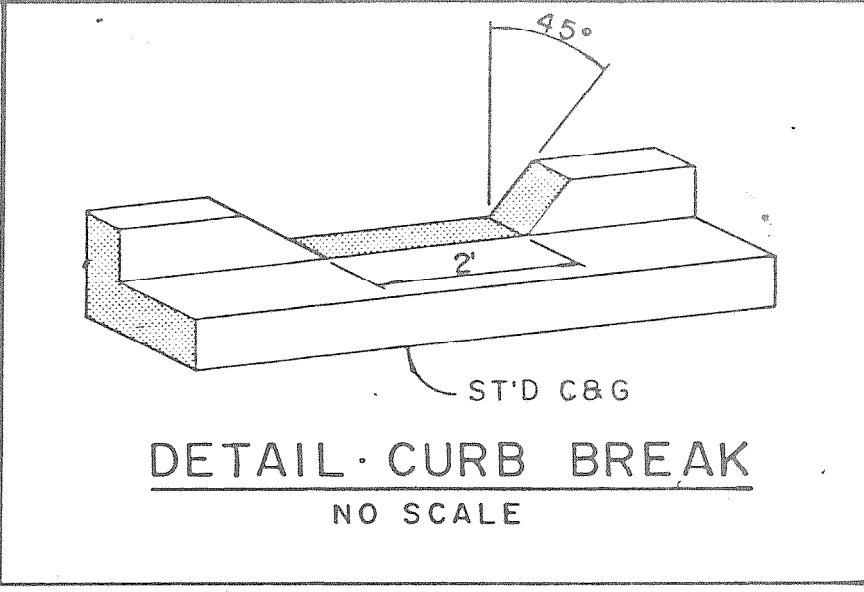
DRAWN: JUNE, 1977 (DSP), REVISED DEC., 1977 (DSP), REVISED JAN., 1979 (DSP), REV. NOV. 1980 (DSP)

PAGE 1 OF 5 PAGES

REV. AUG., 1982, REV. DEC., 1982, REV. NOV., 1984

AS BUILT

APPROVED 3-21-88
Herndon Park
Elyse T. H. I.



 **TOWN OF HERNDON**
730 ELDON STREET
P.O. BOX 427
HERNDON, VIRGINIA 22070

STANDARDS AND PROCEDURES FOR CONSTRUCTION IN THE RIGHT OF WAY

- No excavation will be left open overnight. All excavations shall either be backfilled or covered with a steel plate.
- All excavations shall be protected from storm water, so that the excavated area does not serve as a collection point for surrounding areas.
- All excavations must have a Temporary bituminous concrete patch within 24 hours of being backfilled.
- All excavations shall be backfilled and compacted in 6 inch lifts to a minimum density of maximum density (DASSTO-99).
- All excavations in the street shall be repaired with a permanent bituminous concrete patch within 24 hours of completion of work.
- All excavations outside of the pavement shall be returned to its previous condition within 24 hours of completion of work.
- All excavations shall be backfilled and compacted in 6 inch lifts and compacted to a minimum density of maximum density (DASSTO-99).
- All excavations beneath sidewalks shall be backfilled in 6 inch lifts and compacted to a minimum density of maximum density (DASSTO-99).
- All permanent patches and concrete sidewalk shall be inspected by a representative of The Department of Public Works prior to placement of the sidewalk. Inspections should be requested 24 hours in advance.

GENERAL NOTES

1. AREA OF SITE IS 1.715 ACRES AND IS ZONED C-O.

2. THE PROPERTY DELINEATED ON THIS PLAN IS SHOWN ON TAX MAP 17-1-004-3 AND 25 AND 17-1-005-A.

3. ELEVATION DATUM: U.S.G.S. (SAN. SEW. AS-BUILT)

4. CONTOUR INTERVAL IS 2 FEET.

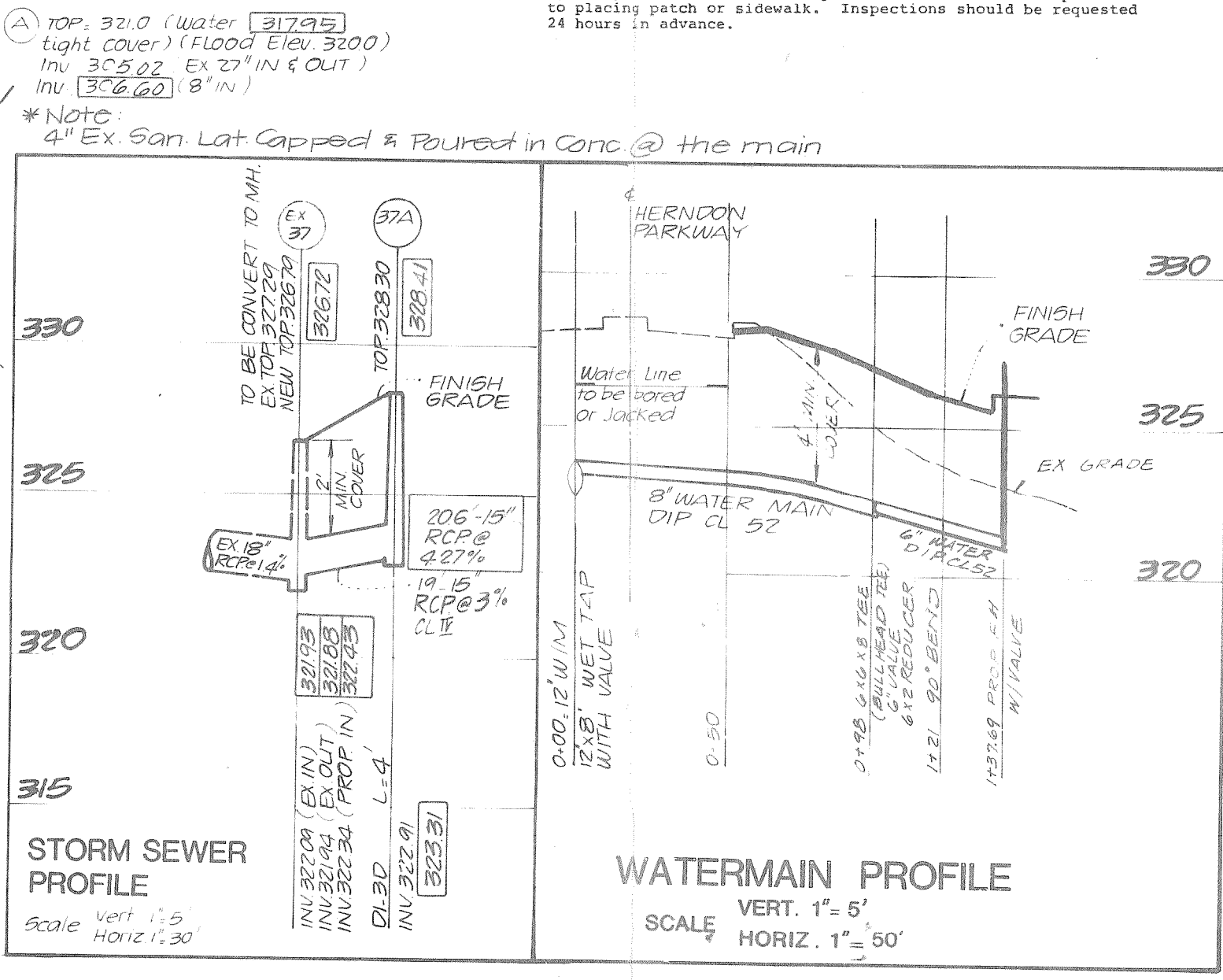
5. THESE PLANS AND THE CONTRACT SPECIFICATIONS SHALL BE MUTUALLY SUPPLEMENTARY.

6. ALL CONSTRUCTION SHALL CONFORM TO CURRENT TOWNS OF HENDERSON AND VOT & STAIRS AND SPECIFICATIONS EXCEPT AS ALTERED BY NOTES OR DETAILS HEREON.

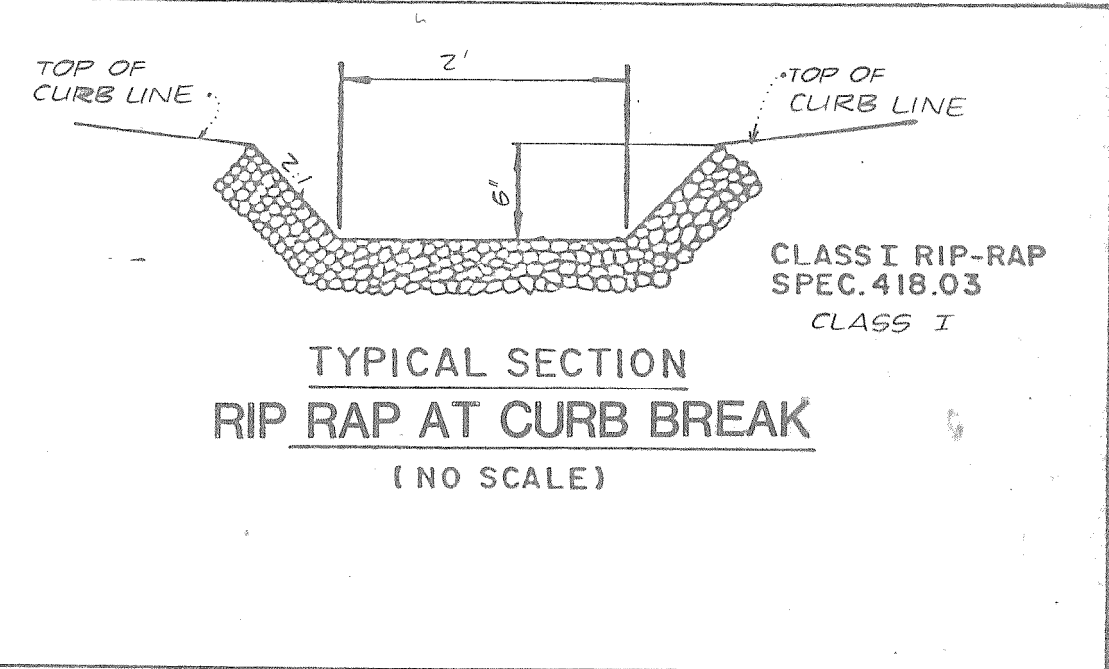
7. ALL FINISH GRADING & PLANTING SHALL BE DONE IN SUCH A MANNER SO AS TO PROTECT THE PORTLAND CEMENT WATER ON THE SITE, ESPECIALLY ADJACENT TO THE BUILDING.

8. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PERFORM THE WORK IN SUCH A MANNER SO AS TO PREVENT THE WASHING OF ANY TOPSOIL, SIFT OR SUBSTRATE UPON THE ADJACENT PROPERTIES AND IT SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE INCURRED FOR A PERIOD OF ONE YEAR AFTER THE COMPLETION OF THE WORK.

9. PAWING LOT AND SERVICE AREA ELEVATIONS SHALL BE ON STRAIGHT GRADES, THE CONTRACTOR SHALL MAINTAIN ALL VERTICAL BEARS WITH SMOOTH SPIRLE CURVES.



SITE TABULATION	
Site Area:	1.715 Ac.
Floor Area:	Gross: 30,000 S.F.
	Net: 24,000 S.F.
Proposed Use:	Office
Parking required:	1 sp/300 S.F. x 30,000 = 100 spaces
	Handicap Required: 3 spaces
Parking provided:	Regular: 05
	Handicap: 3
	TOTAL <u>08</u>
	Loading: 1



3) FIRE HYDRANTS ARE TO BE MULLER CENTURION
OR KENNEDY K. 81

4) ALL STREET CUTS ARE TO BE REPAIRED WITHIN
7 DAYS OF THE INITIAL CUT, IF PERMANENT
REPAIR IS NOT COMPLETE IN THE ALLOTTED
TIME. THE DEPARTMENT OF PUBLIC WORKS WILL
REPAIR THE CUT AT A COST OF \$100.00 PER
SQUARE YARD TO THE OWNER.

THIS PROPERTY IS LOCATED ON TAX MAP
17-1 (4) 3425 & 17-1 (5) A3 AND IS
PRESENTLY ZONED C-0

NOTES:

- 1) ALL CONNECTIONS TO EXISTING UTILITIES ON HERNDON PARKWAY TO BE TUNNELLED, THIS ROAD CANNOT BE OPEN CUT.
- 2) WATER METER TYPE IS TO BE APPROVED BY THE TOWN OF HERNDON PRIOR TO PURCHASE AND INSTALLATION.

REVISIONS 10-8-86 REL. HC SPCS & GRADING		SCALE: 1" = 30' BY: VAN DATE: 2-10-86 REVISIONS: 4.4.86	HERNDON PARK TOWN OF HERNDON, VIRGINIA	
			SITE PLAN	
		HAROLD A. LOGAN — ASSOCIATES P.C. LAND SURVEYING — SITE PLANNING — SUBDIVISION DESIGN 4200 DANIELS AVENUE ANNANDALE, VIRGINIA 22003 941.3531		SHEET 2 OF 5
		1-14-86 Rev. Water Line 1-14-86 Rev. Sewer Line 2-2-86 Rev. Easement 2-2-86 Rev. Easement 2-2-86 Rev. Easement 2-2-86 Rev. Easement	12-22-86 REV. FIRE HYDRANT 2" x 8" PER. OF PAVEMENT 1-17-86 REV. 1" x 6" EAVES PER. COR. RESULT "86- B"	

TOWN OF HERNDON, VIRGINIA
ORDINANCE
JUNE 14, 1983

RESOLVED APPLICATION 77-85-101, WITH PROPOSERS - AN ORDINANCE TO
CHANGE THE ZONING CLASSIFICATION OF PARCELS 3 AND 25, FAIRFAX COUNTY
TAX MAP REFERENCE 17-1-004, FROM RE-0.5, RESIDENTIAL DISTRICT, TO
C-6, COMMERCIAL OFFICE, WITH PROTECTING AND TO AMEND THE OFFICIAL
ZONING MAP SO AS TO SHOW THEREON THIS CHANGE OF ZONING CLASSIFICATION.

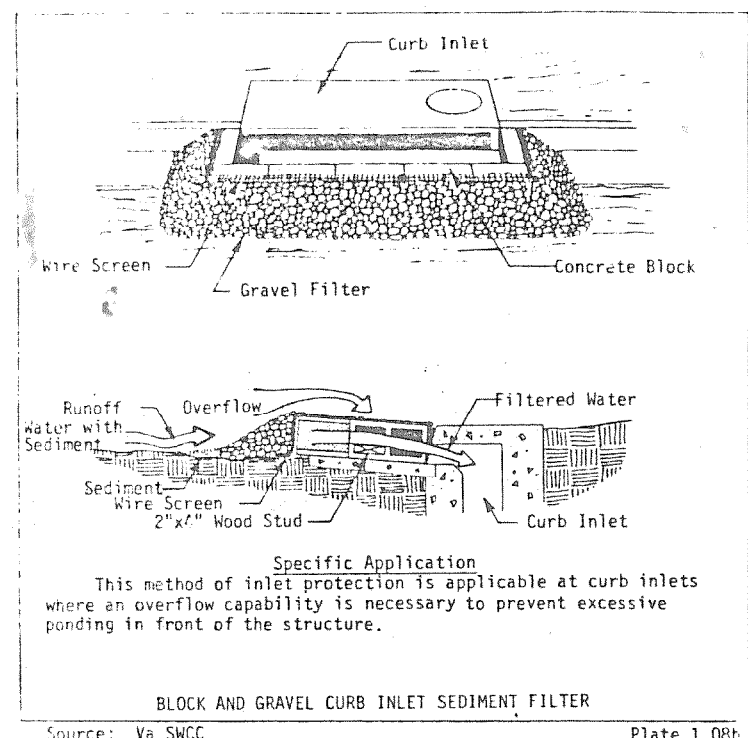
BE IT ORDAINED BY THE Town Council of the Town of Herndon as follows:
1. That the zoning classification of the property identified
as Fairfax County Tax Map Reference 17-1-004, Parcels 3 and 25, is
hereby changed from RE-0.5, Residential District, to C-6, Commercial
Office, with the following provisions:

The undersigned hereby proffer that in the event the
subject property is rezoned to C-6 zoning category by the
Town of Herndon Town Council, development of the property
shall be in accordance with the following conditions: pursuant
to Virginia Code Section 15.1-491(a) and the Zoning
Ordinance of the Town of Herndon:

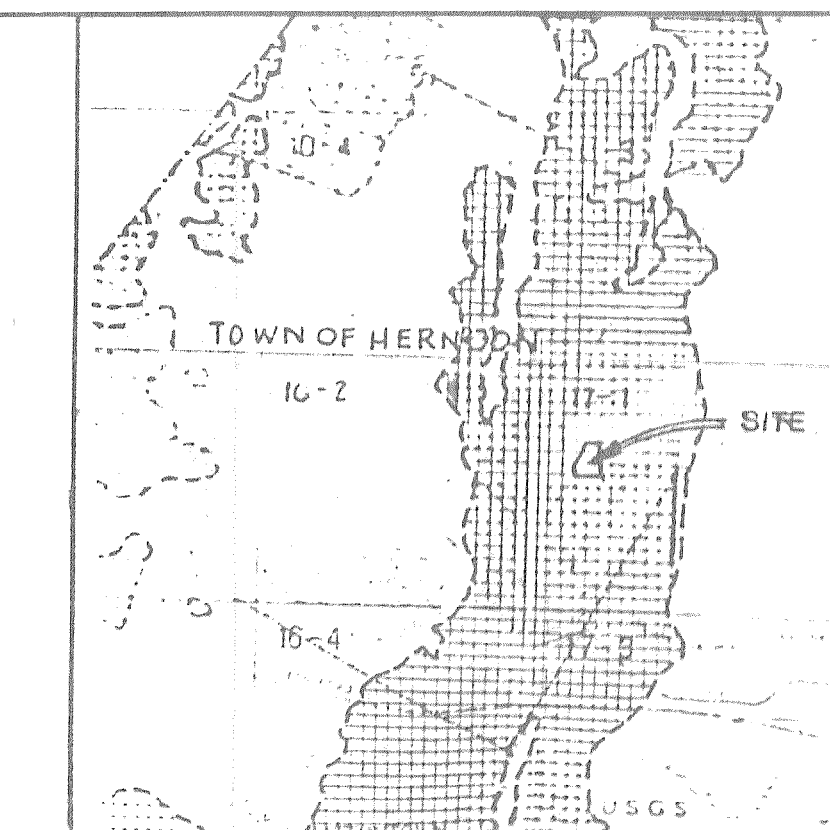
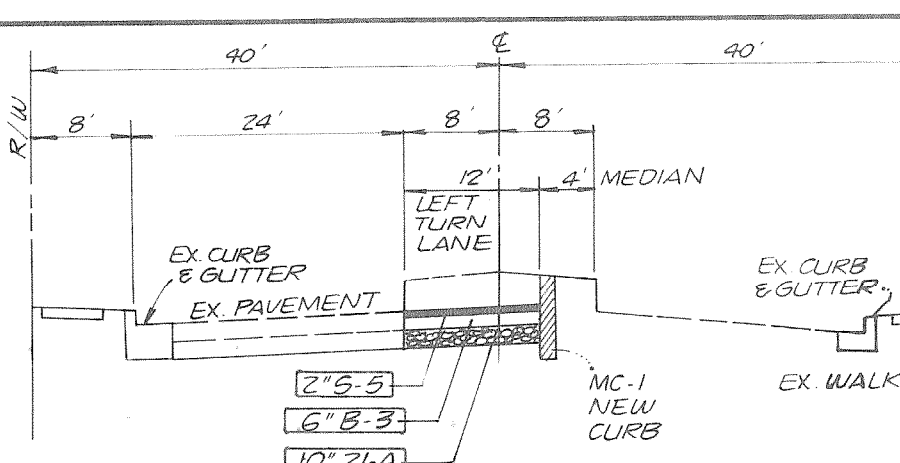
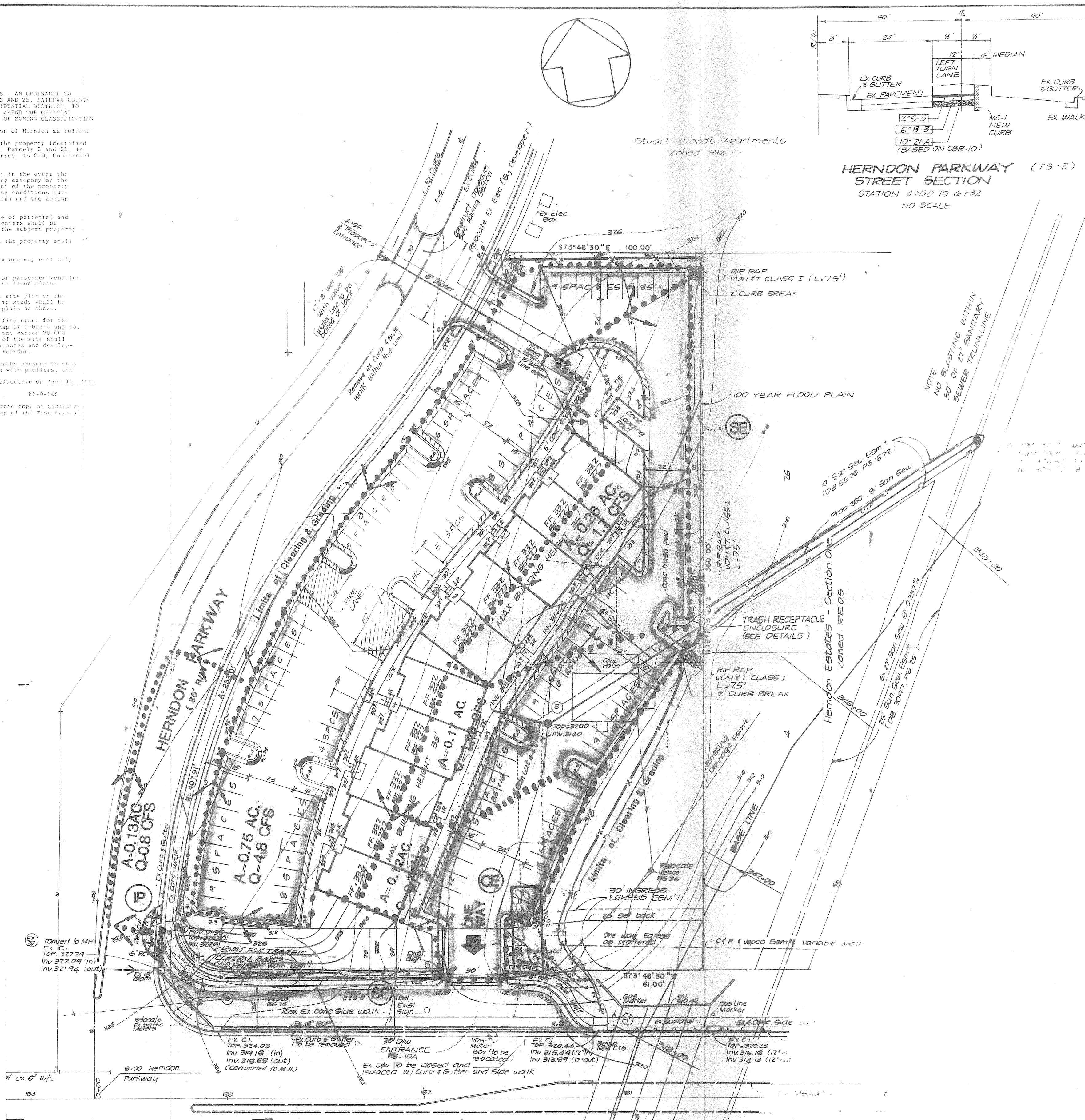
1. Clinics (without overnight care of patients) and
telephone exchanges and dial centers shall be
deleted from use of right on the subject property.
2. The height of the buildings on the property shall
not exceed forty feet.
3. The applicant shall construct a one-way street only,
(express) to Elton Street.
4. Parking of vehicles shall be for passenger vehicles
only on property as shown in the flood plain as shown.
5. Prior to the approval of final site plan or the
subject property a new hydraulic study shall be
submitted regarding the flood plain as shown.
6. The total square footage of office space for the
site, including parcels, Tax Map 17-1-004-3 and 25,
and Tax Map 17-1-004-25 shall not exceed 20,000
square feet. The development of the site shall
conform to all applicable ordinance and develop-
ment standards of the Town of Herndon.

2. That the official zoning map is hereby amended to show
this change of zoning classification with proffer, and
3. That this ordinance shall become effective on June 15, 1983.

83-00-0251
This is certified to be a true and accurate copy of Ordinance
83-00-0251 as recorded at the Office of the Clerk of the Board of
Supervisors on June 14, 1983.

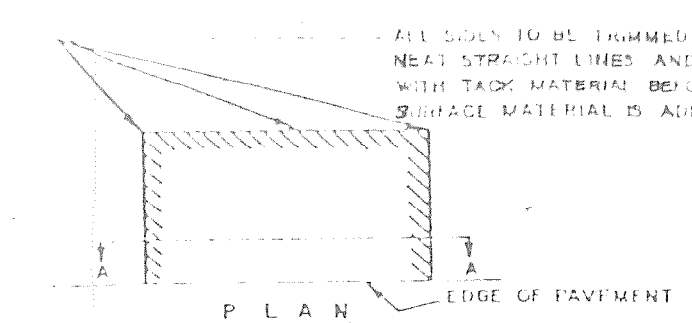


1. The structure shall be inspected after each rain and repairs made
as needed.
2. Sediment shall be removed and the trap restored to its original dimen-
sions when the sediment has accumulated to 1/2 the depth of
the trap. Removed sediment shall be deposited in a suitable area
and in such a manner that it will not erode.
3. Structures shall be removed and the area stabilized when the remain-
ing drainage area has been properly stabilized.



- LEGEND:
- SF SILT FENCE
 - CE CONSTRUCTION ENTRANCE WITH WASH RACK - WATER SUPPLY FROM TEMP WATER SERVICE TO BE METERED AND PAID FOR
 - IP INLET PROTECTION

SOIL MAP
SCALE 1"=2000'



NOTES:
SHOULDER AND UTCH LINES TO BE REPLACED TO CONFORM WITH
EXISTING SHOULDERS AND DITCHES. ADD CRUSHER RUN STONE TO
SHOULDERS.
EACH PAVEMENT CUT SHALL BE COVERED WITH A TEMPORARY OR
PERMANENT ASPHALT PATCH THE SAME DAY EXCAVATION IS MADE.
NO BLOWDOWN MATERIAL SHALL BE APPLIED EXCEPT WHEN THE
ATMOSPHERIC TEMPERATURE IS ABOVE 50 DEGREES AND WHEN
THE WEATHER IS NOT FOGGY OR DAMP.

- LEGEND
- IREDELL SOILS GROUP

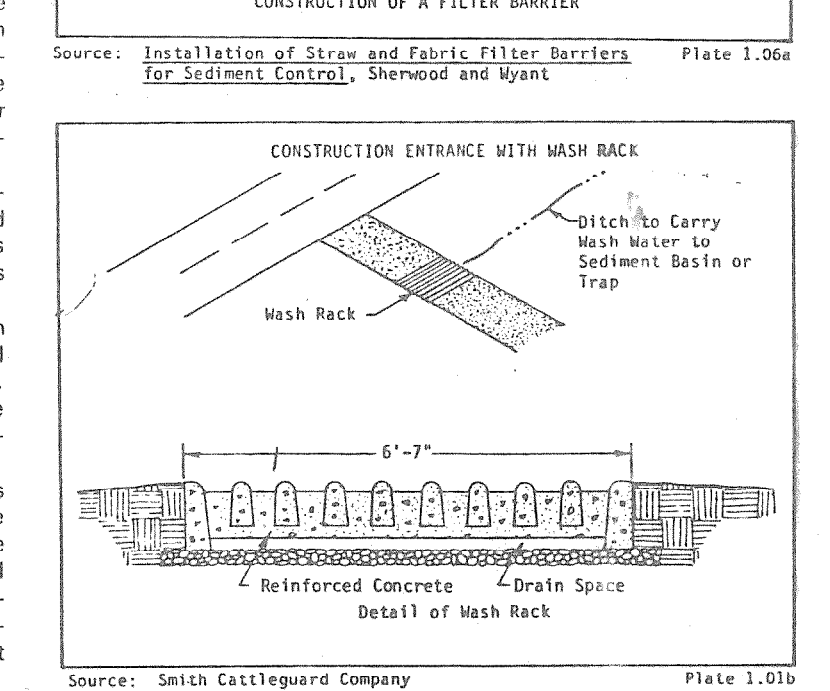
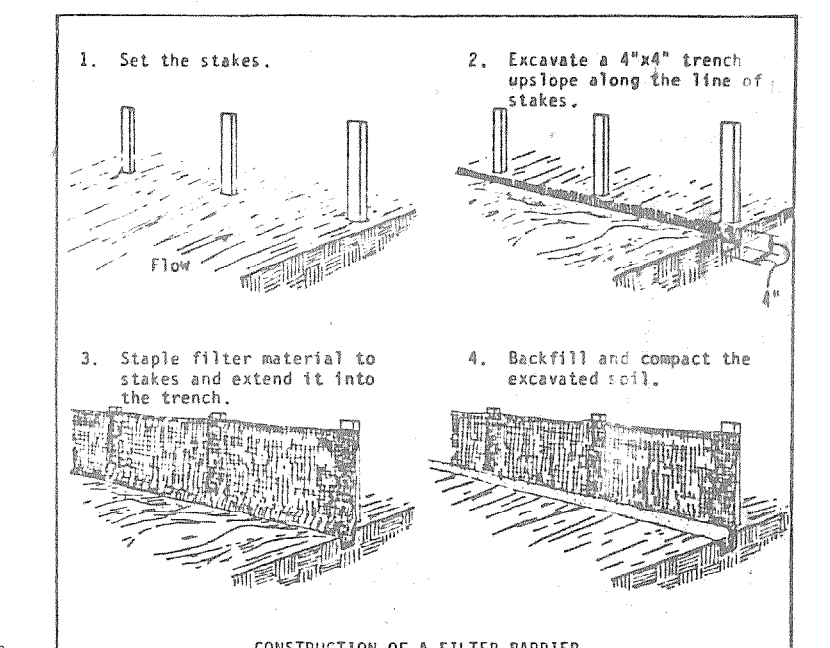
The soils within this group have developed primarily from materials weathered from intrusive diabase dikes and sills. The depth of weathering over the diabase bedrock is usually 3 to 15 feet but ranges from less than 1 to over 20 feet. Joints in the bedrock are near-vertical with subhorizontal joints near the surface. The rock weathering at the deeper depth range is primarily along the near-vertical joints. Large boulders or massive bedrock will often present excavation difficulties in areas of the Inrell and other associated soils within this group. Boulders or bedrock are typically encountered at 3 to 5 feet and excavation below this depth may require blasting.

The Inrell and similar soils within this group typically have a 1 to 3 feet thick plastic clay strata underlying a 0.5 to 1.0 thick silty surface layer. Weathered rock material lying below the plastic clay strata and above hard diabase bedrock are usually sandy clay or clayey sand. The plastic clay strata typically has plasticity indices of greater than 30 and liquid limits of 50-95. Permeability in and below the clay strata is slow to very slow.

The clay type in these soils is predominantly montmorillonite which gives the clay strata a very high shrink-swell potential during changes in soil moisture content. The clays become soft when saturated and have low bearing values. Ground water readily perches in the soil profile during wet periods of the year.

The Fairfax County Code requires that investigation, site recommendations and inspections must be undertaken by a qualified geotechnical engineer in problem areas of these soils. The Inrell soils group occupies approximately 10,400 acres in Fairfax County.

Typical recommendations for residential construction in these soils are as follows: All house foundations must extend through any expansive clay subsoils to weathered or unweathered diabase rock. Expansive clays under floor slab subgrades should be removed and replaced with select structural fill. No expansive clays are to be used as backfill behind basement or retaining walls. Exterior perimeter drains should be used to intercept and remove perched ground water. Under slab drains may be required in some areas. No expansive clay soils should be used as backfill over utility trenches or for structural fill. Rock blasting may be required for excavation of utility trenches. Soil stabilization, fills or soil removal may be required for street subgrade improvement.



STORM DRAINAGE COMPS											
LINE	PAVE	TURF	PAVE	TURF	DISCHARGE	SLOPE	SIZE	V	CAP		
FROM	TO	AC	AC	"C"	1	ΔQ	ΔQ	%	In.	fps	cfs
37A	E 37	0.3	—	—	71	0.8	0.8	3	15	78	95

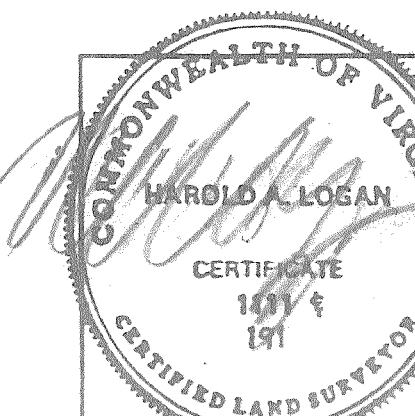
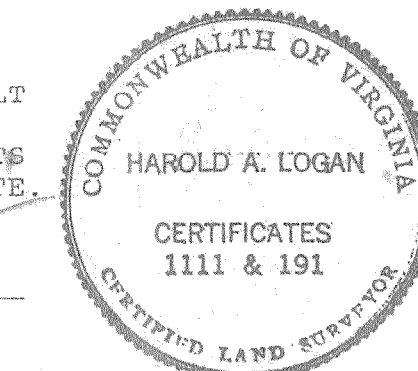
STORM WATER INLET COMPUTATIONS

NO.	INLET TYPE	DRAINAGE AREA	C	I	Q	CARRY-OVER Q	GUTTER FLOW Q	STREET SLOPE %	SPREAD	Intercepted %	Curbside %	REMARKS
37A	DI-30	0.3	0.9	71	0.8	—	0.8	16	38	100	0.8	L-4

THIS SHEET TO BE USED FOR DRAINAGE DIVIDES & EROSION CONTROL PURPOSE ONLY !!

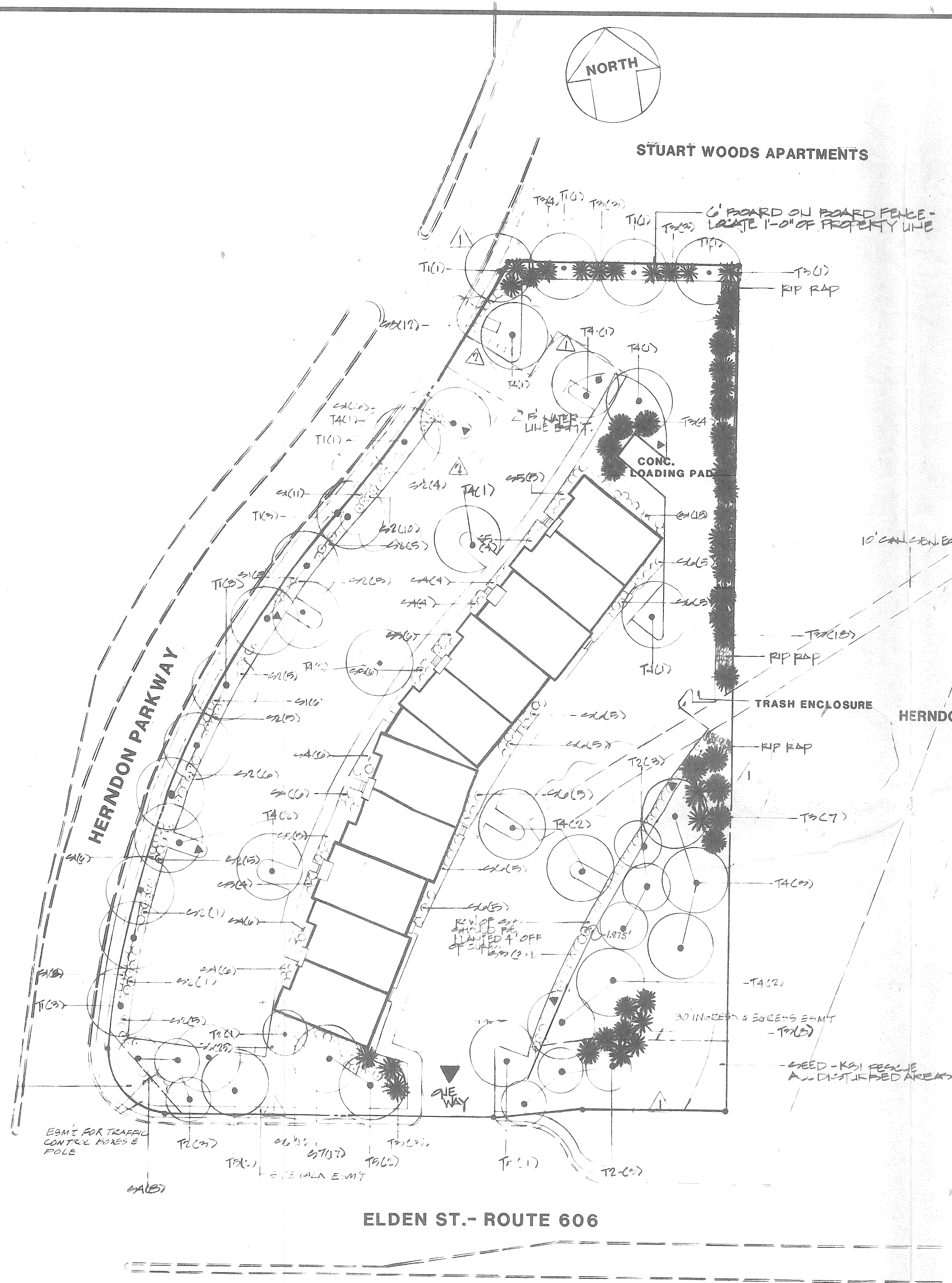
I HEREBY CERTIFY THAT THIS AS-BUILT
CONFORMS WITH THE APPROVED SITE
PLAN EXCEPT AS SHOWN AND REPRESENTS
ACTUAL FIELD CONDITIONS ON THE SITE.

DATE 3/16/84
HAROLD K. LOGAN
INDICATES "AS-BUILT"



SCALE: 1"=30'
BY: VAN
DATE: 4-1-86
REVISIONS:
4-4-86
2-4-86
3-4-86
4-4-86
5-4-86
6-4-86
7-4-86
8-4-86
9-4-86
10-4-86
11-4-86
12-4-86

HERNDON PARK
TOWN OF HERNDON, VIRGINIA
DRAINAGE DIVIDES & EROSION CONTROL PLAN
HAROLD A. LOGAN - ASSOCIATES P.C.
LAND SURVEYING - SITE PLANNING - SUBDIVISION DESIGN
4200 DANIELS AVENUE
ANNANDALE, VIRGINIA 22003
941-3531
SHEET 3 OF 5
AB 330



KEY	COMMON NAME	BOTANIC NAME	QTY.	SIZE	ROOT	COMMENTS
T1	RED MAPLE	ACER RUBRUM	15	2-2 1/2"	B&B	'RED SUNSET'
T2	KANZAN SHERRY	PRUNUS SETHIATA	10	2-2 1/2"	B&B	'KANZAN'
T3	AUSTRIAN PINE	PINUS NISTRA	51	2-3"	B&B	'NIGRA'
T4	PIN OAK	QUERCUS PAUCIFLORIS	17	2-2 1/2"	B&B	
T5	FLAT OAK	PRUNUS CALIFORNIANA	5	2-1 1/2"	B&B	'PRAIRIE'
S1	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS	60	15-24"	CONT.	'SEA GREEN'
S2	DOUGLASS VIRBURNUM	VIBURNUM PUCATUM TOMENTOSUM	64	24-30"	CONT.	
S3	DWARF ELDER	ELDERUS ALATIS	29	15-24"	CONT.	'COMPACTA'
S4	AZALEA	AZALEA OBTUSUM	24	15-24"	CONT.	'ROSEBUD'
S5	AZALEA	AZALEA OBTUSUM	29	15-24"	CONT.	'DELAWARE VALLEY'
S6	SARGENT JUNIPER	JUNIPERUS CHINENSIS	72	15-24"	CONT.	'SARGENTII'
S7	ABERDEEN	ABERDEEN	17	24-30"	CONT.	
S8	HICKS YEW	TAXUS MEDIA	12	24-30"	CONT.	'HICKSII'

ALL TREES TO BE WELL-BRANCHED AND FULL CROWN.
 ▲ - POLE LIGHT - 20' HIGH POLE FORM 10, SHEET BOX ; 175 W METAL HAULIE.

- NOTE: 1. NO LANDSCAPING IS TO BE PLANTED WITHIN 4' OF FIRE HYDRANT OR SIAMESE CONNECTION
2. NO SIGNIFICANT LANDSCAPING IS TO BE PLANTED IN EASEMENTS



RECEIVED
 MAR 11 1988
 METRO PACE CONSTRUCTION
 March 11, 1988

12105 Bennett Road
 Herndon, Va. 22071
 703/620-8899

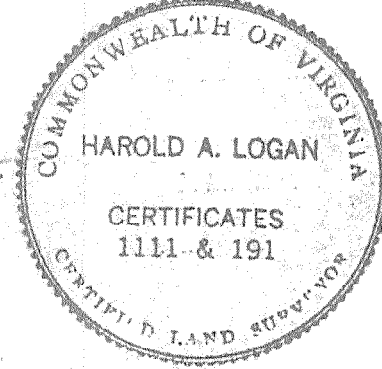
LANDSCAPING REQUIREMENTS

Interior Requirements	Required	Provided
16 Deciduous trees per acre	27	47
10 Evergreen Trees per acre	17	51
1 Shrub at the rate of 1 for every 5 feet of building perimeter	118	150
Landscape Buffer Requirements		
1 Evergreen tree at the rate of 1 for every 15 feet along the entire distance of the buffer strip	74	
Screening Requirements		
1 Deciduous tree at the rate of 1 tree per 30 linear feet of property adjoining the residential district	3	3
1 Evergreen tree at the rate of 1 tree per 10 linear feet of property adjoining the residential district	10	11
Parking Lot Requirements		
1 Deciduous tree for every eight parking spaces	14	13

ELDEN ST & HERNDON PARK
 DECIDUOUS TREES 27
 EVERGREEN TREES 51
 DECIDUOUS SHRUBS 94
 EVERGREEN SHRUBS 22
 SARGENT JUNIPER 72
 EVERGREEN TREES 44
 DECIDUOUS TREES 11
 DECIDUOUS SHRUBS 39

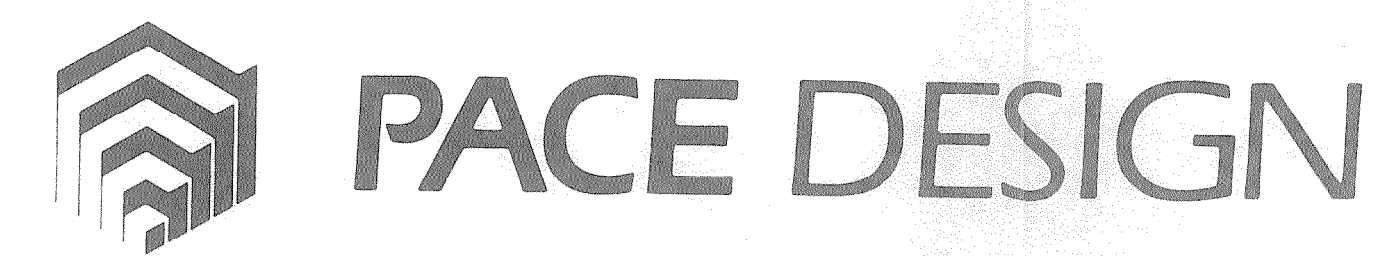
Metro Pace Construction, Inc.
 3654 Chain Bridge Road, Suite 103
 Fairfax, Va 22030
 Attn: Joe Walker
 Re: Herndon Park
 Dear Mr. Walker,
 This is to certify the trees and shrubs installed at Herndon Park; 299 Herndon Parkway; Herndon, Virginia are according to the Landscape plans prepared by Harold A. Logan Associates dated March 16, 1988 and numbered SP 330-4. There were no substitutions, additions or deletions made.
 If further information is needed, please let us know.
 Sincerely,
 Cecilia A. Welch
 CAW/mag

I HEREBY CERTIFY THAT THIS AS-BUILT CONFORMS WITH THE APPROVED SITE PLAN EXCEPT AS SHOWN AND REPRESENTS ACTUAL FIELD CONDITIONS ON THE SITE.
 DATE 3/16/88
 HAROLD A. LOGAN
 INDICATES "AS-BUILT"



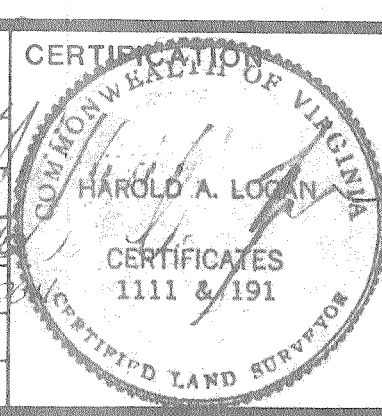
THIS SHEET TO BE USED FOR LANDSCAPING PURPOSES ONLY!

HERNDON PARK
 HERNDON, VIRGINIA



6820 ELM STREET
 MCLEAN, VIRGINIA 22101
 703/442-7373

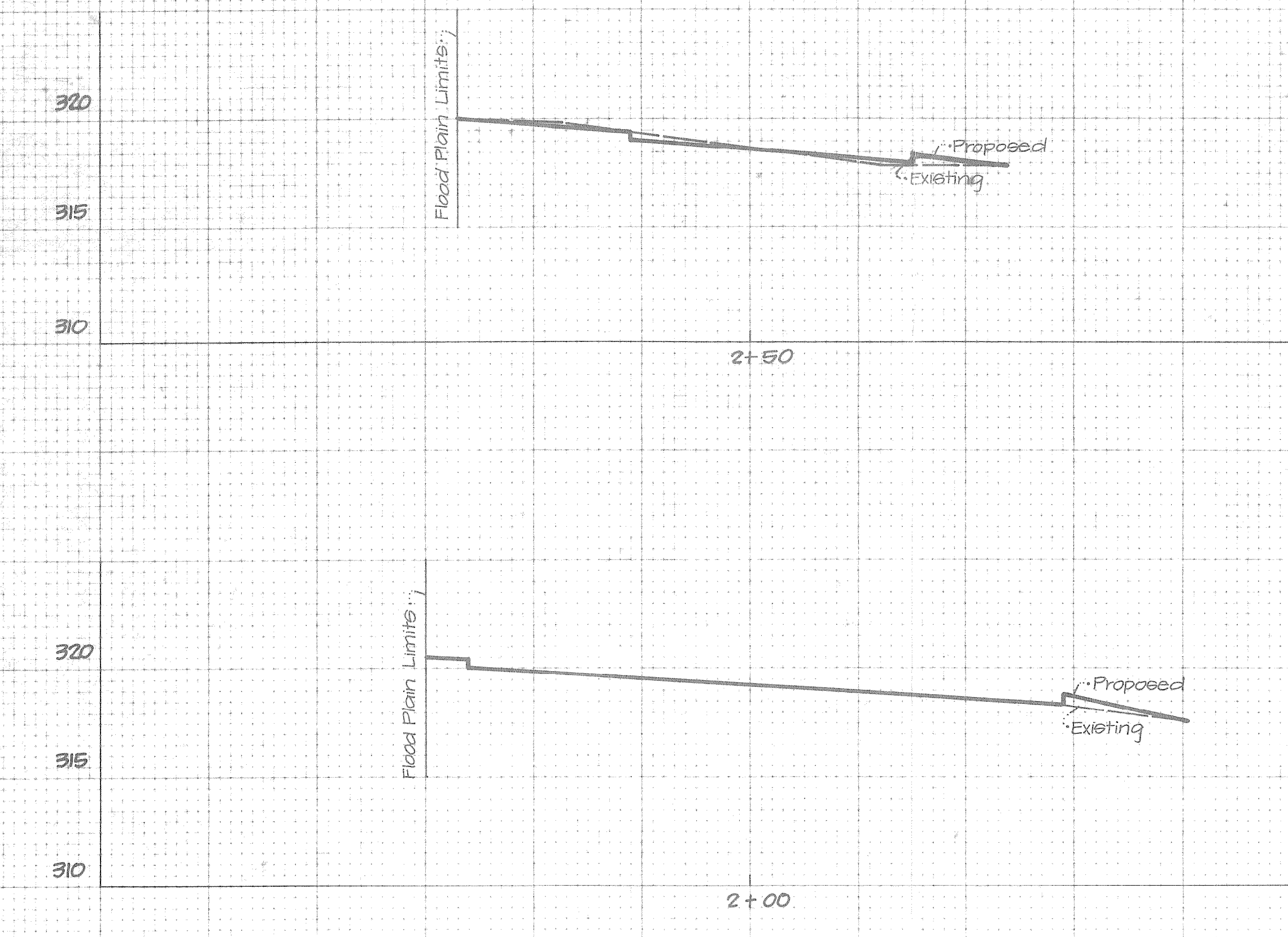
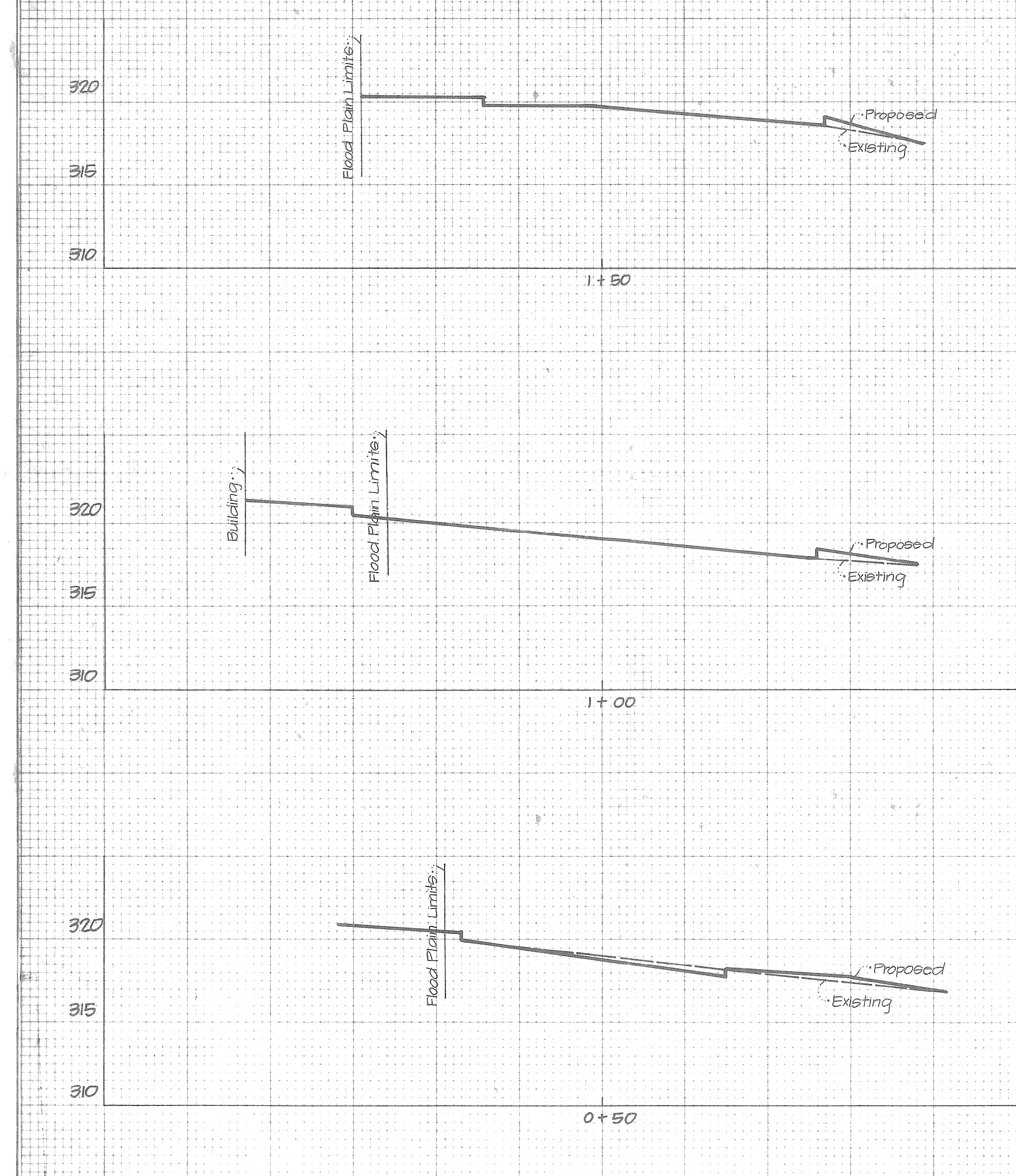
NO.	DATE	REVISIONS	CERTIFICATION
5-22-86			
7-21-86		PERMIT SET	
8-10-86		PERMIT SET REVISION	
9-6-86		PER TALKING WITH H&M	
9-10-86		REV LIGHTING PER H&M	
1-5-86		REV TO ENTRANCE	



TITLE	APPROVED BY
LANDSCAPE PLAN	
SCALE 1"=30'-0"	
DRAWN BY DED	

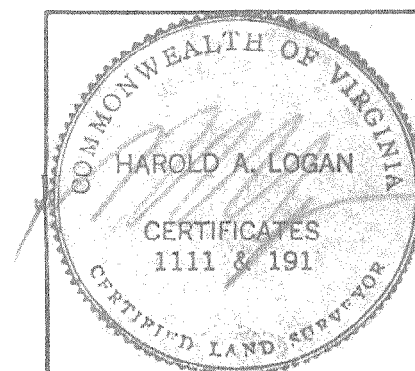
JOB NUMBER 51410
SHEET NUMBER 4 OF 5

STATION	AREA	E AREA	LENGTH	VOL. (CU. FT.)
0 + 00	0			
0 + 50	7.00	3.5	50	175
1 + 00	5.75	6.3		318
1 + 50	6.00	5.8		290
2 + 00	5.90	5.9		295
2 + 50	2.00	4.0		200
3 + 00	0	1.0		50
TOTAL = 1,328 CU. FT. = 49.18 CU. YD.				



I HEREBY CERTIFY THAT THIS AS-BUILT
CONFORMS WITH THE APPROVED SITE
PLAN EXCEPT AS SHOWN AND REPRESENTS
ACTUAL FIELD CONDITIONS ON THE SITE.

DATE 3/16/94 HAROLD A. LOGAN
INDICATES "AS-BUILT"



SCALE: 1" = 10' HOR.
1" = 5' VERT.
BY: JLW
DATE: 3-15-88
REVISIONS:

HERNDON PARK TOWN OF HERNDON, VIRGINIA	
FLOOD PLAIN CROSS SECTIONS	
HAROLD A. LOGAN — ASSOCIATES P.C. LAND SURVEYING — SITE PLANNING — SUBDIVISION DESIGN 4200 DANIELS AVENUE ANNANDALE, VIRGINIA 22003	
941 3531	SHEET 5 OF 5 AB 330

Agenda Item: Ordinance to amend the Herndon Town Code, Chapter 2 (ADMINISTRATION), Article I (In General), Section 2-4 to increase the number of times participation can occur electronically per year, Section 2-5 to reference the ethical duty to attend meetings and to add thereto a new Section 2-6 specifying attendance responsibility and process

Meeting Date: February 6, 2024

Category: General

Prepared by: Presenter - Councilmember Dhakal, Lesa Yeatts, Town Attorney

Description:

Following the Discussion Item initiated by Vice Mayor Hedrick at the January 16, 2024 work session regarding attendance, Councilmember Dhakal conducted research of other jurisdictions and state law regarding electronic participation in meetings. He submitted proposed language to the Town Attorney and the Town Manager on the subjects of electronic participation and attendance process. Councilmember Dhakal asked that the Town Attorney review it, make any necessary changes, put it in ordinance form, and that it be placed on the first set of meetings in February for Council consideration.

The Ordinance amends:

- **Section 2-4** - to increase the allowable number of meetings that a Council member or Board or Commission member may participate electronically for personal reasons per year from, two meetings or 25 percent, whichever is **fewer** to two meetings or 25 percent, whichever is **greater**.
- **Section 2-5** - to add language identifying the ethical responsibility of Town Council members and members of boards and commissions to regularly attend meetings of their public body.
- **Section 2-6** - creates this new section entitled "Attendance" which sets out the specific process a Town Council member takes to document absence from a meeting, the process the Town Clerk takes to report requested absences, and the presumption of good cause for all absences where this process is followed. This section specifies the number of meetings a Town Council member can miss without notification (four (4) consecutive meetings or 25% of work sessions, regular meetings, and special meetings in a 12-month period) and that members

may be subject to censure for such unexcused absences. This amendment also specifies that members of Council appointed boards and commissions continue to be subject to the rules of attendance proscribed by the Code of Virginia, Herndon Town Code, and their applicable Bylaws.

These amendments would take effect upon adoption.

Background:

N/A

Budget Impact:

N/A

Recommendation:

N/A

Attachments:

1. Ordinance (Proposed)

**TOWN OF HERNDON, VIRGINIA
TOWN COUNCIL**

ORDINANCE

FEBRUARY 13, 2024

Ordinance- to amend the Herndon Town Code, Chapter 2 (ADMINISTRATION), Article I (In General), Section 2-4 to increase the number of times participation can occur electronically per year, Section 2-5 to reference the ethical duty to attend meetings and to add thereto a new Section 2-6 specifying attendance responsibility and process.

BE IT ORDAINED by the Town Council of the Town of Herndon, Virginia that:

1. The following sections or provisions of the Herndon Town Code (2000), as amended, are repealed, replaced and re-ordained as follows:

CHAPTER 2 (ADMINISTRATION)

Article 1. In General

Sec. 2-4. – Remote electronic participation in meetings.

(b) On or before the day of a meeting, a member of the public body holding the meeting notifies the chair of the public body that such member is unable to attend the meeting due to an emergency or personal matter and identifies with specificity the nature of the emergency or personal matter; and the public body holding the meeting records in its minutes the specific nature of the emergency or personal matter and the remote location from which the member participated. However, the public body by resolution may vote to disapprove such member's participation, as set out in the next sentence. If a member's participation from a remote location is disapproved because such participation would violate the policy set out in this section, such disapproval shall be recorded in the minutes with specificity. Such participation by the member shall be limited each calendar year to two meetings or 25 percent of the meetings of the public body, ~~whichever is fewer~~ **rounded up to the next whole number, whichever is greater.**

Sec. 2-5. – Code of ethics for the members of the town council and council appointed board and commission members.

Ethical Responsibilities

- (1) *Faithful and impartial performance of duties.* Members of the town council and council appointed board and commission members shall faithfully and impartially perform their duties to the very best of their abilities and demonstrate integrity, independence, honesty, and ethical behavior in the conduct of all town business.

An essential aspect of the obligations of public office conferred upon members of the town council and council appointed board and commissions is commitment to the regular and routine attendance of meetings. Members of the town council and council appointed board and commissions shall commit to the regular and routine attendance of the meetings of their respective bodies.

Sec. 2-6. – Attendance.

- (a) Any councilmember, needing to be absent from any meeting of the Town Council shall provide notification to the Town Clerk, including the reason for the absence, prior to the start of the meeting at which they will be absent. If prior notification is not possible, the councilmember shall notify the Town Clerk as soon as possible, thereafter, providing both the reason for which prior notification was not possible and the reason for the absence. The Town Clerk shall report the notifications received during the Determination of Quorum.
- (b) Absences from meetings shall be presumed to be for good cause when a Member of Council has followed the procedure outlined in subsection (a), unless otherwise determined by the Town Council, in any action taken under subsection (c). The term “good cause” shall have the meaning ascribed pursuant to application in the law of the Commonwealth of Virginia.
- (c) Town Council members who fail to attend four (4) consecutive Town Council work sessions, regular meetings, or special meetings or 25% of work sessions, regular meetings, or special meetings in a twelve-month period (measured from the date of first absence), absent good cause shall be considered to have abdicated their duties. Such members shall

be subject to censure by the body. In any action taken by the Town Council for censure under this section, the Council shall provide reasons, if applicable, for finding that an absence lacked good cause.

2. This ordinance shall be effective on and after the date of its adoption.

Agenda Item: Resolution to award contract RFP #24-01, Custodial Services

Meeting Date: February 6, 2024

Category: General

Prepared by: Tammy Chastain, Deputy Director of Public Works, Andrea Lourenco
Purchasing Agent

Description:

Custodial services contract for town facilities.

Background:

The purpose of this procurement is to establish a term contract with licensed and qualified service providers to render custodial services for the Herndon Police Department, Herndon Municipal Center, Town Hall, Town Shop, and Town Chambers under Option 1, and the Community Center under Option 2 of the contract.

The areas to be cleaned and anticipated demand for custodial services are provided in RFP #24-01 under the Scope of Services and differ from each town facility. There are four one-year renewal options beyond the initial term which are available on mutual written agreement between the town and the service provider.

Proposals for custodial services for town facilities were actively solicited by posting the Request for Proposal (RFP) on eVA (the Commonwealth of Virginia's procurement website) as well as the procurement section of the Town's website to maximize the fullest competition. In addition, the town conducted a mandatory pre-proposal conference and site visit to ensure that all potential offerors were aware of the RFP's key requirements and were familiar with the sites where services would be rendered. The town received nine proposals for evaluation by the RFP due date of December 5, 2023.

An evaluation committee composed of staff familiar with the town's custodial requirements reviewed the proposals and selected two of the proposers who offered services closest to meeting the needs of the town. Based on further review and negotiations with each of the two top-ranked offerors, the selection committee recommends Capital Building Services, Inc. for Option 1, and Able Service Contractors, Inc. for Option 2 to provide custodial services as described in RFP #24-01. The final contract value is a favorable fee:

Contractor	Option	Monthly Cost	Annual Cost
Capital Building Services, Inc	1	\$16,010.32	\$192,123.83
Able Service Contractors, Inc	2	\$20,281.48	\$243,377.76

Budget Impact:

Funds to support RFP # 24-01 Custodial Services, as directed and in accordance with the negotiated cost, are available in the related FY 2024 Budget account: DPW/Building Maintenance Division - Contract Services Account # 0010884 420610.

Recommendation:

Staff recommends the award of RFP # 24-01, Custodial Services, to Capital Building Services, Inc. (Option 1), and Able Service Contractors, Inc. (Option 2).

Attachments:

1. Resolution (Proposed)

**TOWN OF HERNDON, VIRGINIA
TOWN COUNCIL**

RESOLUTION

FEBRUARY 13, 2024

Resolution- to award Contract RFP #24-01, Custodial Services.

The town has solicited by posting the Request for Proposal (RFP) for licensed and qualified service providers to render custodial services for the Herndon Police Department, Herndon Municipal Center, Town Hall, Town Shop, and Town Chambers under Option 1, and the Community Center under Option 2 of the contract. RFP #24-01 was posted October 30, 2023, on eVA Commonwealth of Virginia procurement website and the Town of Herndon website to maximize competition. The town received nine proposals for evaluation by the RFP due date of December 5, 2023.

The two top-ranked offerors recommended by the selection committee, consisting of staff familiar with the town's custodial requirements, are:

Contractor	Option	Monthly Cost	Annual Cost
Capital Building Services, Inc	1	\$16,010.32	\$192,123.83
Able Service Contractors, Inc	2	\$20,281.48	\$243,377.76

Capital Building Services, Inc. (Option 1), and Able Service Contractors, Inc. (Option 2) were found to be responsive and responsible. Funds to support the work established by the contract are available in the FY 2024 Budget.

THEREFORE, BE IT RESOLVED by the Town Council of the Town of Herndon, Virginia that:

1. The Town Council awards RFP Contract #24-01 to Capital Building Services, Inc. (Option 1), and Able Service Contractors, Inc. (Option 2).



**Town Council
Work Session
Agenda Item 5.a.**

Agenda Item: Budget Process Update

Meeting Date: February 6, 2024

Category: Discussion

Prepared by: Bill Ashton , Town Manager

Description:

This discussion will focus on updating the Town Council on the status of the annual budget process.

Background:

N/A

Budget Impact:

N/A

Recommendation:

N/A

Attachments:

None