

**TOWN OF HERNDON, VIRGINIA
HISTORIC DISTRICT REVIEW BOARD WORK SESSION AGENDA
NOVEMBER 3, 2021
HERNDON POLICE DEPARTMENT, COMMUNITY ROOM
397 HERNDON PARKWAY
7:00 P.M.**

CALL TO ORDER

1. Determination of Quorum

PUBLIC HEARING

2. **APPLICATION FOR BUILDING ADDITION, HDRB #21-013**, to consider an application for an one-story with basement, 2,410 square foot, rear addition to a single family detached residence located at 809 Monroe Street, Herndon, Virginia, approximately 200' north of the intersection of Monroe Street and Madison Street, and further identified as Fairfax County Tax Map 0104-02-0035. The property is zoned as R-10, Single Family Detach Residential, and consists of 19,533 square feet of land. Applicant/Owner: Shane Todd-Williams.

DISCUSSION

3. **PRE-APPLICATION FOR DEMOLITION AND NEW BUILD, HDRB**, to discuss a future application for demolition and new construction: two story commercial building, at 771 Center Street, Herndon, Virginia, on the site of existing structure.

COMMENTS

4. Comments from the Staff Members
5. Comments from the Board Members

ADJOURNMENT

Case Number & Type: HPRB #20-013; residential addition
Case Summary: One story addition with basement and deck to the rear of noncontributing single family detached house
Case Location: 809 Monroe Street

Location Map



Property Information

Applicant/Owner:	Shane Todd-Williams		
Property Use:	Single Family Residential		
Zoning District:	R-10, Residential Single Family	HPOD Designation:	Noncontributing
Adjacent Zoning:	North: R-10, Residential Single Family South: R-10, Residential Single Family	East: R-10, Residential Single Family West: R-10, Residential Single Family	
Adjacent Property HPOD Designation:	North: Contributing South: Contributing	East: Contributing West: Non-contributing	
Building Type(s):	Single family residential	Date of Construction:	1948
Architectural Style(s):	Ranch style house with modifications and additions.		
Exterior Material(s):	Stucco exterior with some elements clad with lap or tongue-and-groove siding. Roof material consists of composition asphalt shingles. Windows vary throughout from 8-over-8, 6-over-6, single pane short etc.		
Neighborhood Design Profile:	Traditional single family residential		

Staff Recommendation	Staff is withholding its recommendation pending the provision of additional information
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Case Details

Case Description:

The proposed rear addition is one-story with a full basement. It would add 2,410SF to the existing house. The addition also consists of a basement patio under a new main floor deck at the center of the rear elevation. The addition's width matches that of the existing house and extends the existing side wall planes 24' towards the rear of the property. As proposed, it is covered with three roof forms, a center shed roof and two front gable roofs on either side. The proposed addition mirrors many characteristics seen in the existing ranch style home including massing, forms, and rooflines. A more thorough description of the proposed addition can be completed with the provision of additional information as expressed in the staff analysis of this report.

Resource Background:

This property is a single-family detached house, modified ranch style with additions and modifications over time. The Fairfax County tax map identifies the construction year as 1949 but does not identify when the additions and modifications were completed. The residence is noncontributing to the Historic District Overlay. The exterior is stucco and siding, and the overall design displays distinct features of a ranch style residence including its one story, simple design, shallow high placed windows, and simple gables and setback entrance.

Applicable Design Guidelines & Criteria:

- Town Zoning Ordinance Section 78-60.3. - Heritage Preservation Overlay District (HP District)
- Town of Herndon Historic District Overlay Guidelines, Chapter 8 Treatment of Noncontributing Buildings, New Additions p. 102-3

Staff Analysis

1. The Guidelines Matrix provides the full staff assessment of this application against the applicable design guidelines. In summary of the analysis, staff finds that:
 - The proposed addition is situated in a way to be minimally visible from the right of way, limiting its impact on the character of the surrounding area. Staff feels that the scale and massing of the proposed addition is appropriate to this type of building and would not impact the neighborhood and the HDO in a negative manner.
 - The proposed addition generally mirrors the existing structure, extending the lines of the two existing gables in the front with two proposed gables in the rear. However,

November 3, 2021

it is not an exact mirror, and the concept drawings indicate that the addition will be slightly narrower and shorter than the main part of the existing residence. This will help the addition to be understated and limit visibility from the right of way so that it has minimal impact on the surrounding area.

- Information regarding proposed exterior wall materials and finishes is limited at this point. Staff has requested additional details regarding this. It appears from the concept designs that the exterior siding will be a form of plank siding, which references portions of the existing front façade, but there is no indication about the material or color in relation to the existing structure.
2. There are a variety of windows portrayed in the concept designs with the most prevalent being undivided, 1-over-1 windows, normally in groups of two. way. No material, color, or functionality details are provided. The existing structure has a variety of window styles as well, though most are divided by muntins. It is unlikely that any of the windows of the new addition will be visible from the right of way.
 3. No information is provided regarding doors, their style, material, functionality, or location though presumably there would be a door at the basement level and at the deck level. More information is needed in this area to make a proper assessment of character and design and appropriateness.

Board Action:

HDRB Alternatives:	1. Resolution to deny the application. 2. Resolution to approve as submitted. 3. Resolution to approve with condition(s). 4. The HDRB may also continue the review of this item to a future public hearing.
Staff Recommendation:	Staff is withholding its recommendation pending the provision of additional information

Report Attachments

1.	Guidelines Matrix
2.	Site Streetview
3.	Drawings, Plan and Perspective (Applicant Provided)
4.	Property Plats (Applicant Provided)
5.	Architectural Survey (2018)

Staff Contact

Name/Title:	Tamsin Himes / Lead Planner, Design and Development
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November 3, 2021

Phone/Email:	571-612-0537 / tamsin.himes@herndon-va.gov
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Tamsin Himes
Lead Planner/Design and Development



Bryce A. Perry
Deputy Director



GUIDELINES REVIEW MATRIX

HDRB #20-13

November 3, 2021

Historic District Overlay Guidelines Review Matrix		
Chapter 8 – Treatment of Non-Contributing Resources – Additions (pages 102-103)		
#	Guidelines	Evaluation
1	Proposed additions that remove more than 49% of the exterior walls and/or roof require a new construction and demolition COA.	The proposed addition would impact the entire rear elevation of the existing house and most of the backside of the existing side gable roof however, these areas combined still comprise of less than a quarter of the existing wall and roof square footage.
2	The proposed addition(s) should not overpower the form or change the scale of the existing building to avoid impacting the character of the HDO.	The addition is carefully designed and placed to work with the existing house shape and size. The roof ridge is below the existing roof ridge and its width is less than the existing house at it widest and as seen from the street. Both the form and scale of the existing house is retained with this rear addition.
3	The scale, massing and design of the roof should reflect the scale and style of the addition and should not detract from the existing building. a. If the addition and the existing building share a similar roof form, the slope and massing of the addition's roof should reflect the roof slope and massing of the existing building. b. The scale, massing, design and materials of the roof should not detract from the original building or the character of the HDO. c. If the proposed addition(s) removes, modifies or connects to the roof of the existing building, new roof connections should be below the peak of the existing roof. d. The scale of proposed dormers should reflect the scale and massing of the addition and the existing building. e. Proposed dormers should be sized and located so that portions of roof visually frame the sides and top of the dormer as well as the base of the dormer unless the dormer breaks the eaves of the building. f. Dormers should not detract from the character of the existing building or of the HDO. They should generally reflect	The existing house has multiple front and side low-pitch gable roof forms. The addition continues that design characteristics and similarly include multiple low-pitch gable roofs. Confirmation will be necessary on whether exact slopes are used. All of the proposed roof forms attached to the existing roof below its ridge and not character-defining roof form on the existing house is impacted by the addition.

	the architectural style of the associated building.	
4	The exterior wall material and finish of the proposed addition should complement that of the existing building and not detract from the character of the HDO. a. Alternative materials should be evaluated based upon the guidelines for noncontributing resources found in Chapter	It appears the proposed addition include clapboard siding but the proposed roof, siding, foundation wall, window, and door material information has yet to be submitted.
5	On building elevations visible from the right-of-way, exposed foundations should not exceed 2 feet in height, or the height established by the existing building, whichever is less. a. The appearance of exposed foundations should match that of the existing building.	The foundation height exceeds 2' in height, however as a rear addition, it will not be highly visible from the street. Addition information will need to be submitted to verify whether the foundation materials matching that of the existing building.
6	If an alternative architectural style is employed in the design of the addition, it should complement the noncontributing building in its form and scale. a. Alternative architectural styles should reflect the architectural style of the original building or later architectural periods and not attempt to create a false historical narrative.	N/A. An alternative architectural style is not being proposed. The design intend is to reinforce the neo-traditional ranch style form and style of the existing house.
7	The style of the proposed windows and doors, including framing and lite arrangement, should reflect the architectural style and scale of the addition. a. For windows consisting of multiple panes of glass, simulated divided lites should have dimensional muntins or grills on the exterior of the glass. b. Glass should be clear unless decorative elements or frosting are employed consistent with the architectural style of the addition.	It appears that the windows are on-over-one and the doors are full-light. More information is required for the proposed windows along with a clearer understanding of the existing windows, which viewed from the street have more modern colonial muntin patterns.
8	The exterior size, shape, form and materials of new chimneys should reflect the architectural style of the addition. a. Chimneys should be constructed of or clad in natural stone or brick. b. The scale, mass and form of a new chimney should be appropriate to the style of the building.	There does not appear to be any chimneys of flues proposed for the addition or existing chimneys or flues impacted by the addition. Confirmation by the applicant should be sought.

	c. Chimneys and flues should not detract from the overall appearance of the building or the HDO. d. Flues should be screened unless located on a rear elevation not visible from the public right-of-way. e. Flues for manufactured fireplaces should not extend up the exterior side of the building unless enclosed within a masonry clad chimney of a mass, scale and style appropriate to the building.	
9	Second story additions to existing buildings are generally not appropriate unless they can meet the following criteria: a. The massing, scale, and form of the addition does not visually overwhelm the existing building. b. The massing, scale, and design of the addition does not negatively impact the character of the HDO.	N/A. This addition does not include popping up a second story on the existing house.



SITE LOCATION – Streetview

Imagery prepared by Town of Herndon
Department of Community Development
Image source: Googlemaps

Brian D. Laug, AIA
ARCHITECT

architecture & design
16925 Old Sawmill Road
Woodbine, MD 21979
ph: 443-250-6557
email: blaug@verizon.net

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SEAL:

CONTRACTOR:

OWNER:

PROJECT:

Williams Addition

809 Monroe Street
Herndon, VA 20170

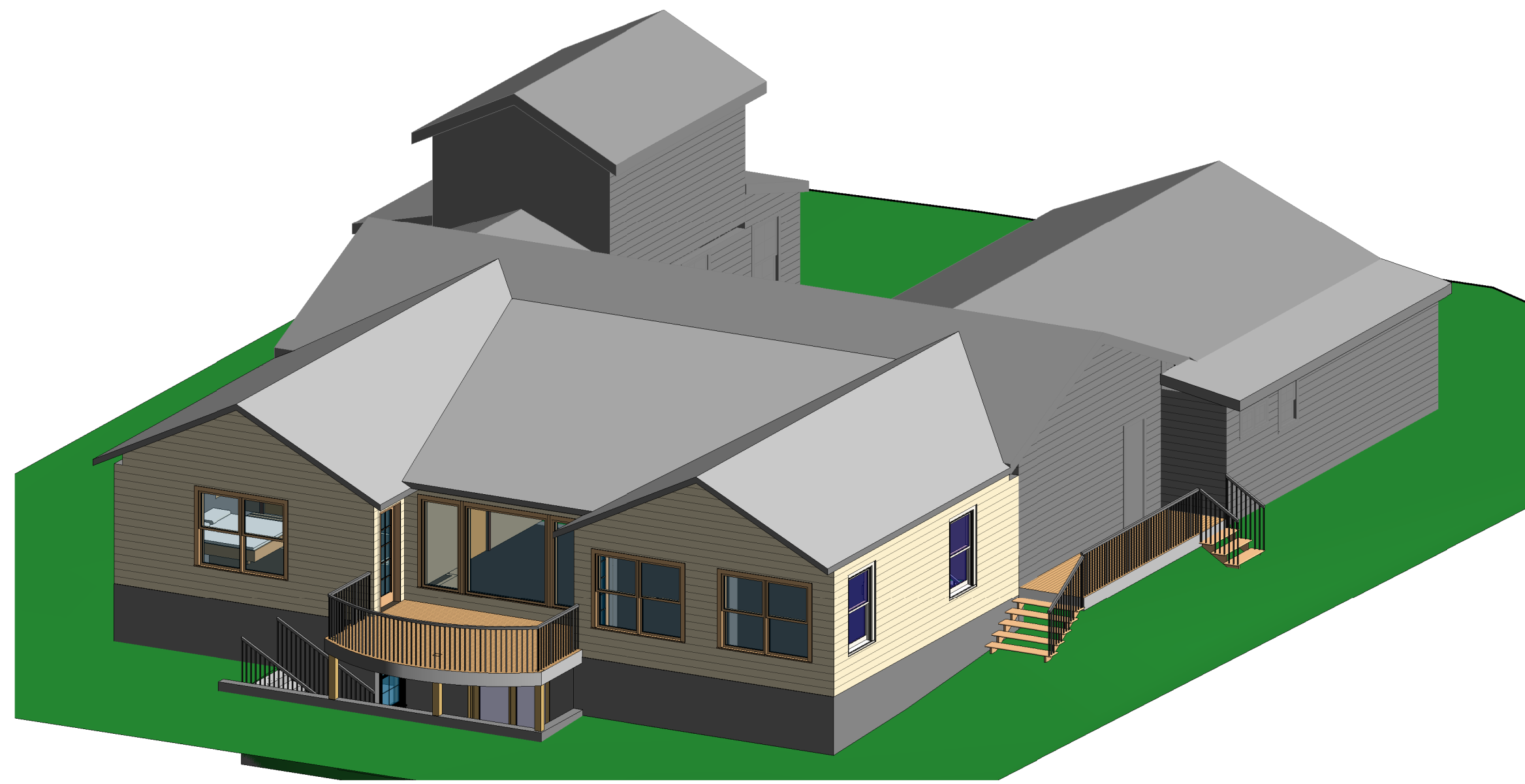
DRAWING TITLE:

Floor Plans

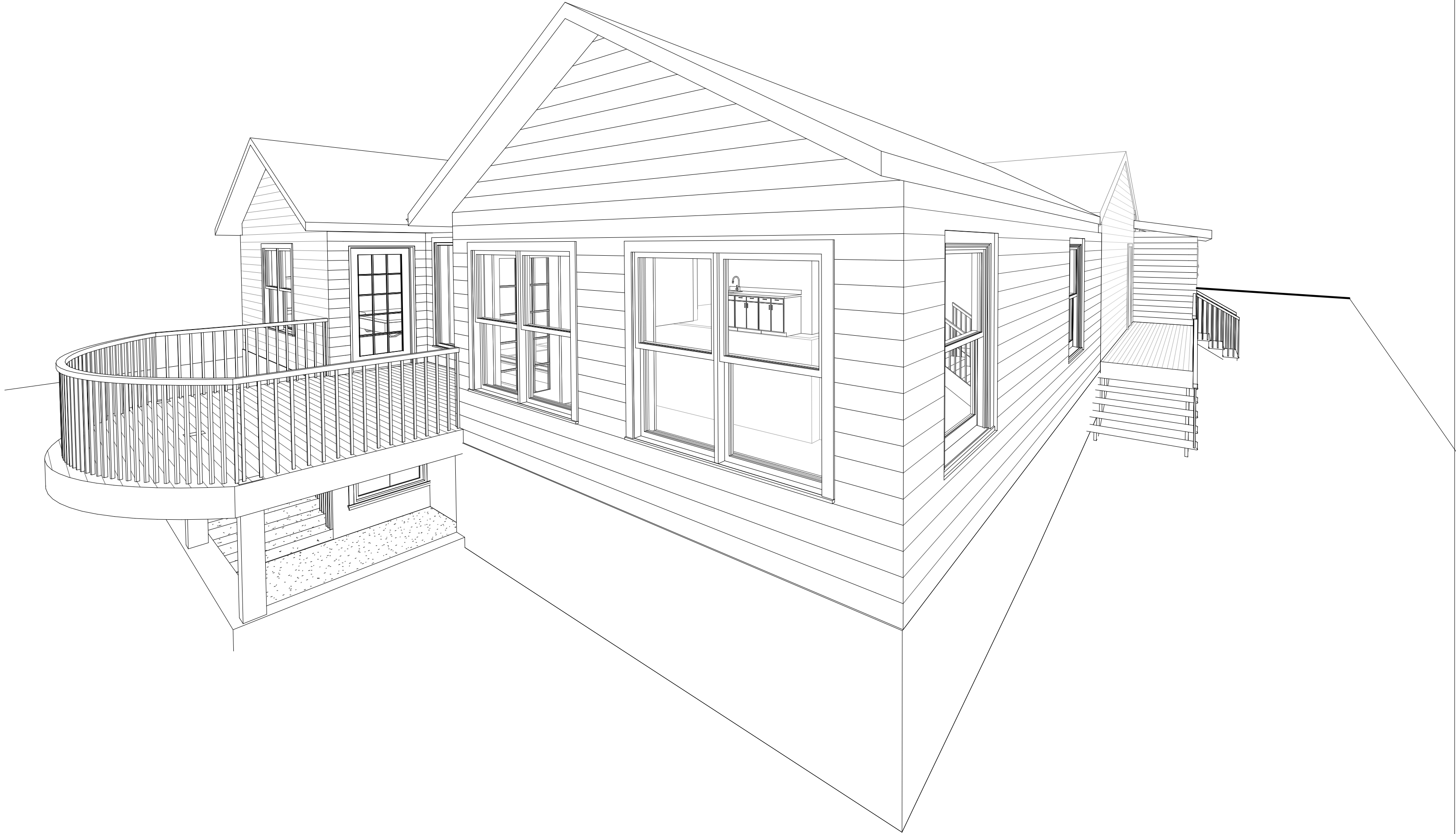
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DRAWN BY: BDL	DATE: 3/25/2021
SCALE: AS NOTED	PROJECT NO.

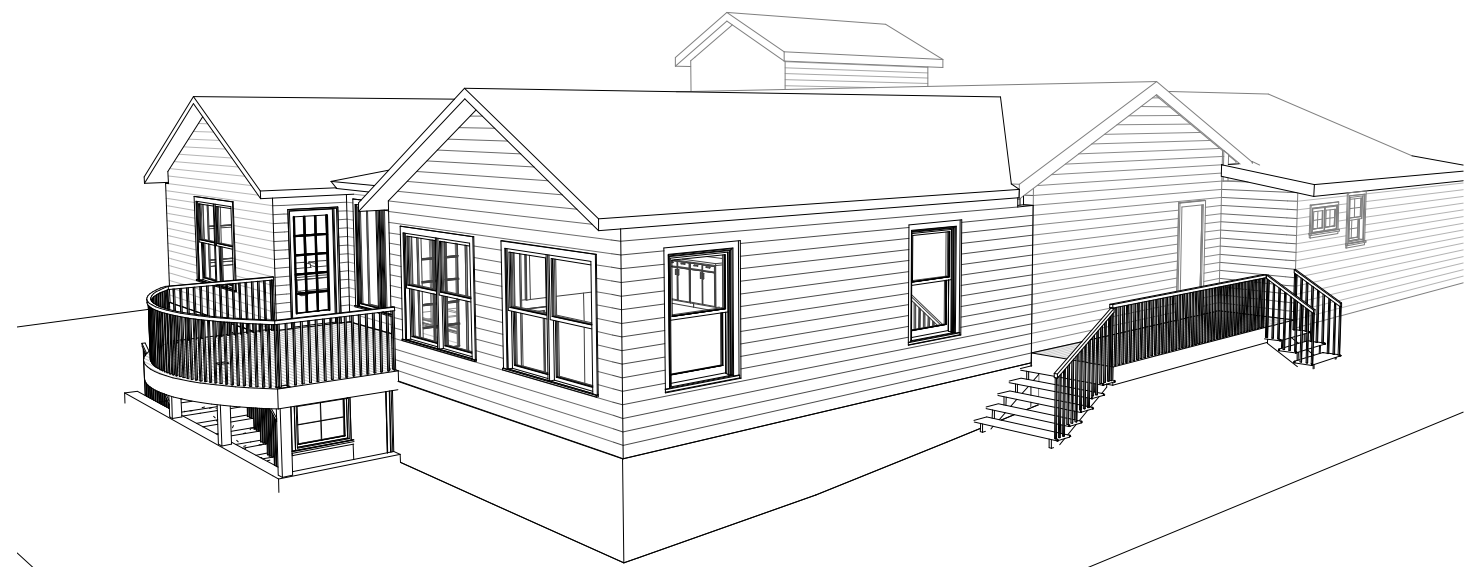
SK-1



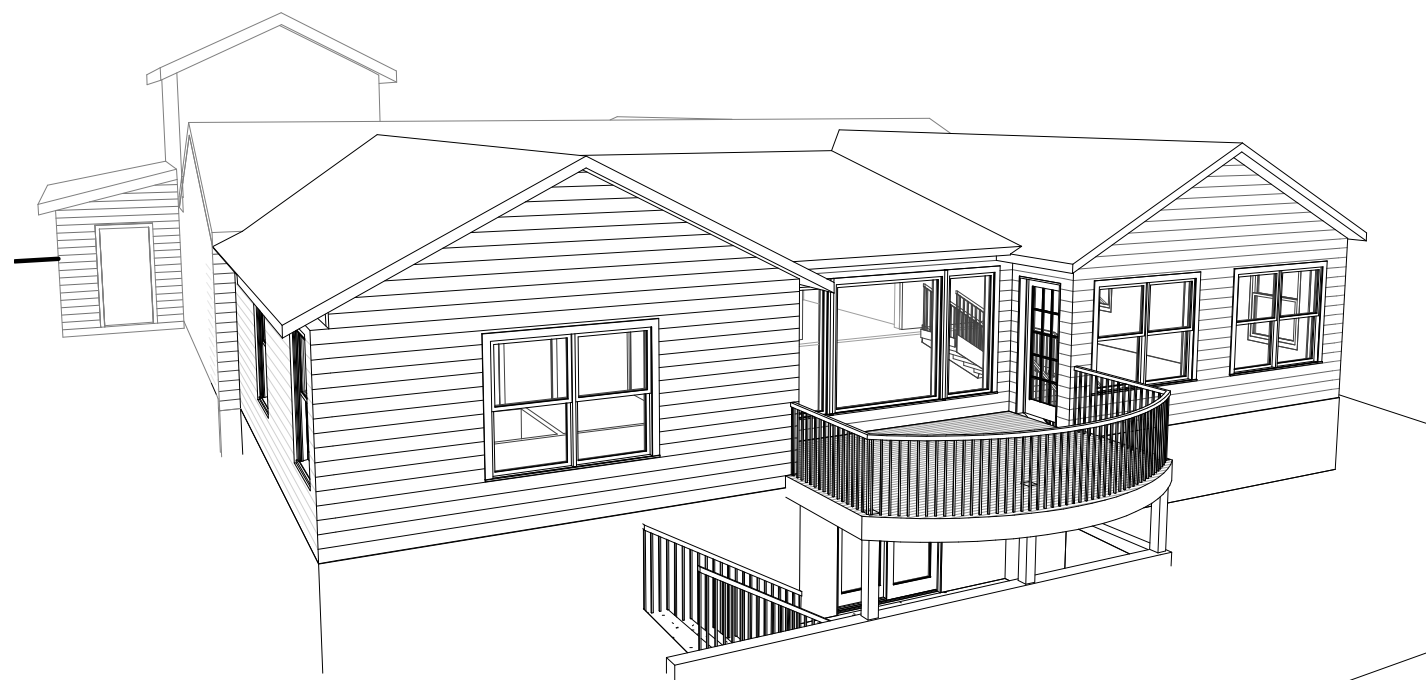
1 Perspective



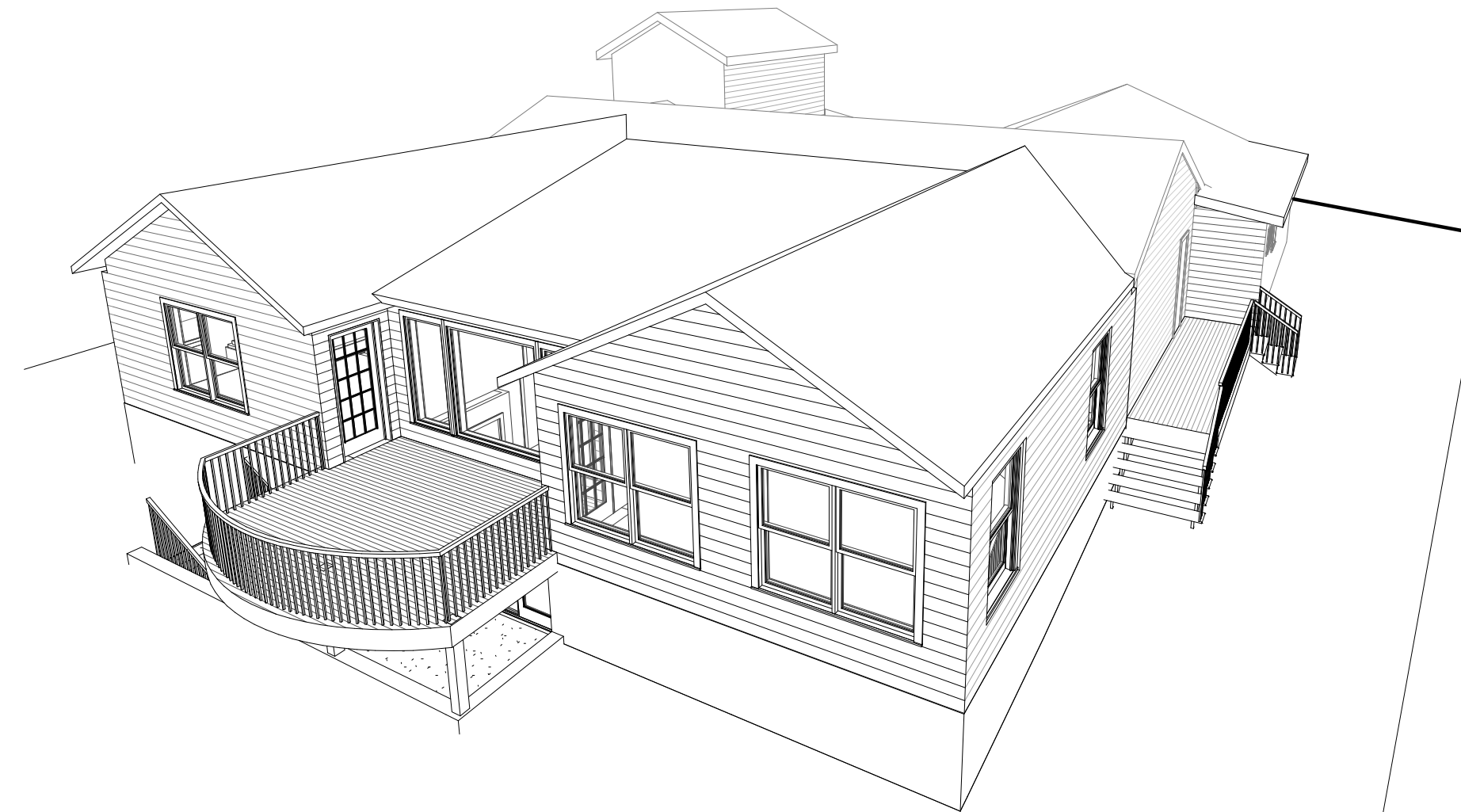
2 3D View 4



3 3D View 1



4 3D View 2



5 3D View 3

Brian D. Laug, AIA
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CONTRACTOR:

OWNER:

PROJECT:

Williams Addition

809 Monroe Street
Herndon, VA 20170

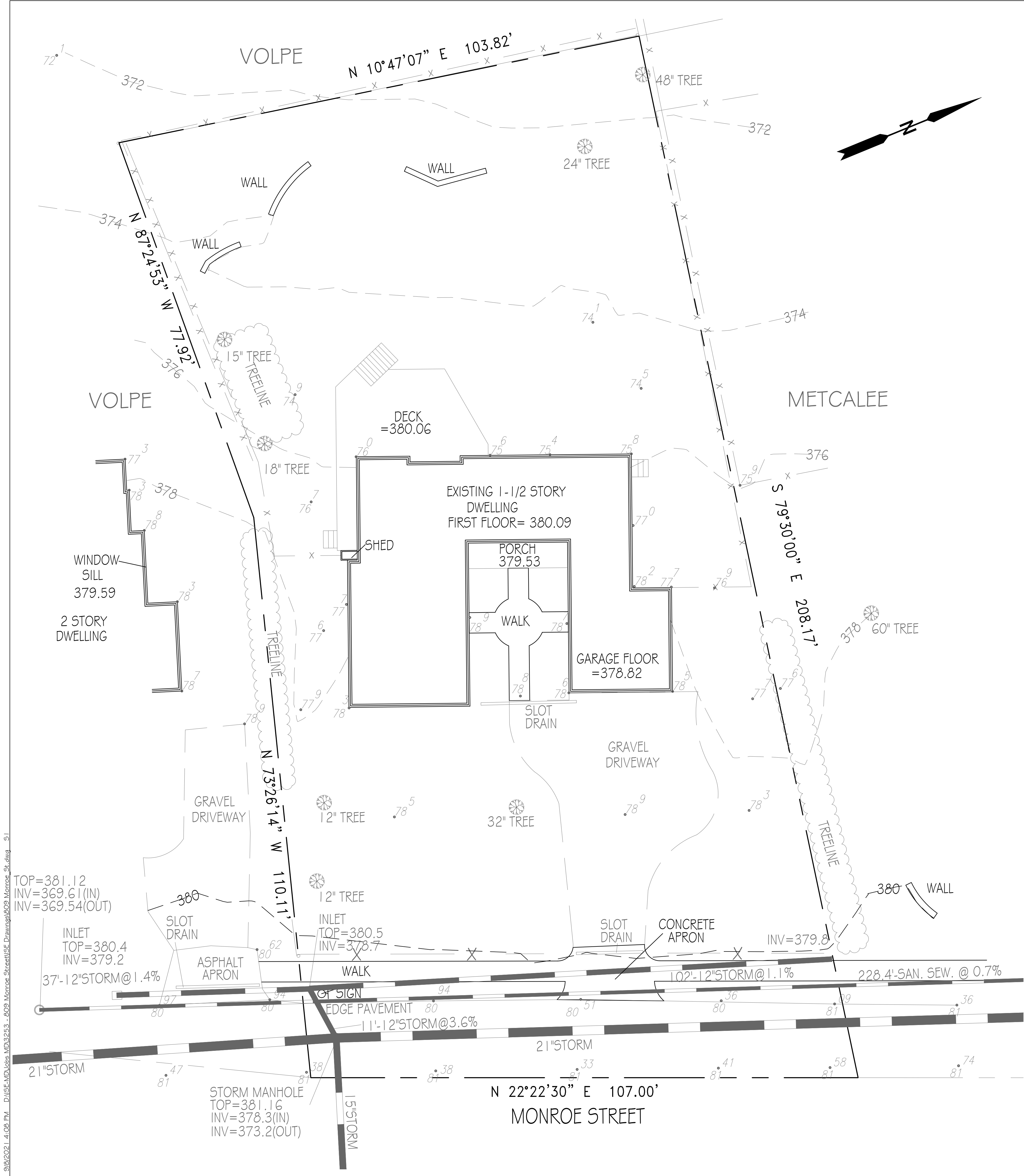
DRAWING TITLE:

Perspective views

Issued/Revision Schedule		
No	Description	Date
2	CLIENT REVIEW	3/25/21

DRAWN BY:	DATE:
BDL	3/25/2021
SCALE:	PROJECT NO.
AS NOTED	

SK-2



TOPOGRAPHIC CERTIFICATION

Attachment #4

THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF J.F. VEATCH, SR FROM AN ACTUAL GROUND SURVEY, MADE UNDER MY SUPERVISION; THAT THE DATA WAS OBTAINED ON AUGUST 5, 2021; AND THAT THIS PLAT MEETS THE MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

- NOTES
- 1) TOPOGRAPHY PERFORMED FOR: INNOVATIVE SITE, CIVIL, & STRUCTURAL ENGINEERING
 - 2) TOPOGRAPHIC SURVEY SCALE: 1"=20', CONTOUR INTERVAL TWO FOOT VERTICAL DATUM IS AS-BUILT SURVEY FROM TOWN OF HERNDON.
 - 3) NORTH BASED ON DEED BOOK: 26743 PAGE: 2138.

TOPOGRAPHIC SURVEY
THE PROPERTY OF
SHANE ALAN
TODD-WILLIAMS

809 MONROE STREET
TOWN OF HERNDON
FAIRFAX COUNTY, VIRGINIA

PLAN TO ACCOMPANY BUILDING PERMIT
APPLICATION



INNOVATIVE

SITE, CIVIL & STRUCTURAL

ENGINEERING

Quality with Value

30 S. MAIN STREET

BEL AIR, MD 21014

(410) 399-9844

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809 MONROE STREET

HERNDON, VA

PROJECT NUMBER:

21-3253

SHEET TITLE:

EXISTING CONDITIONS

DATE:

9/07/21

DRAWN BY:

WJM

ENGINEER:

CJC

APPROVED BY:

CJC

NO.	REVISION	DATE

PROJECT PHASE:

SCALE:

AS SHOWN

0

10'

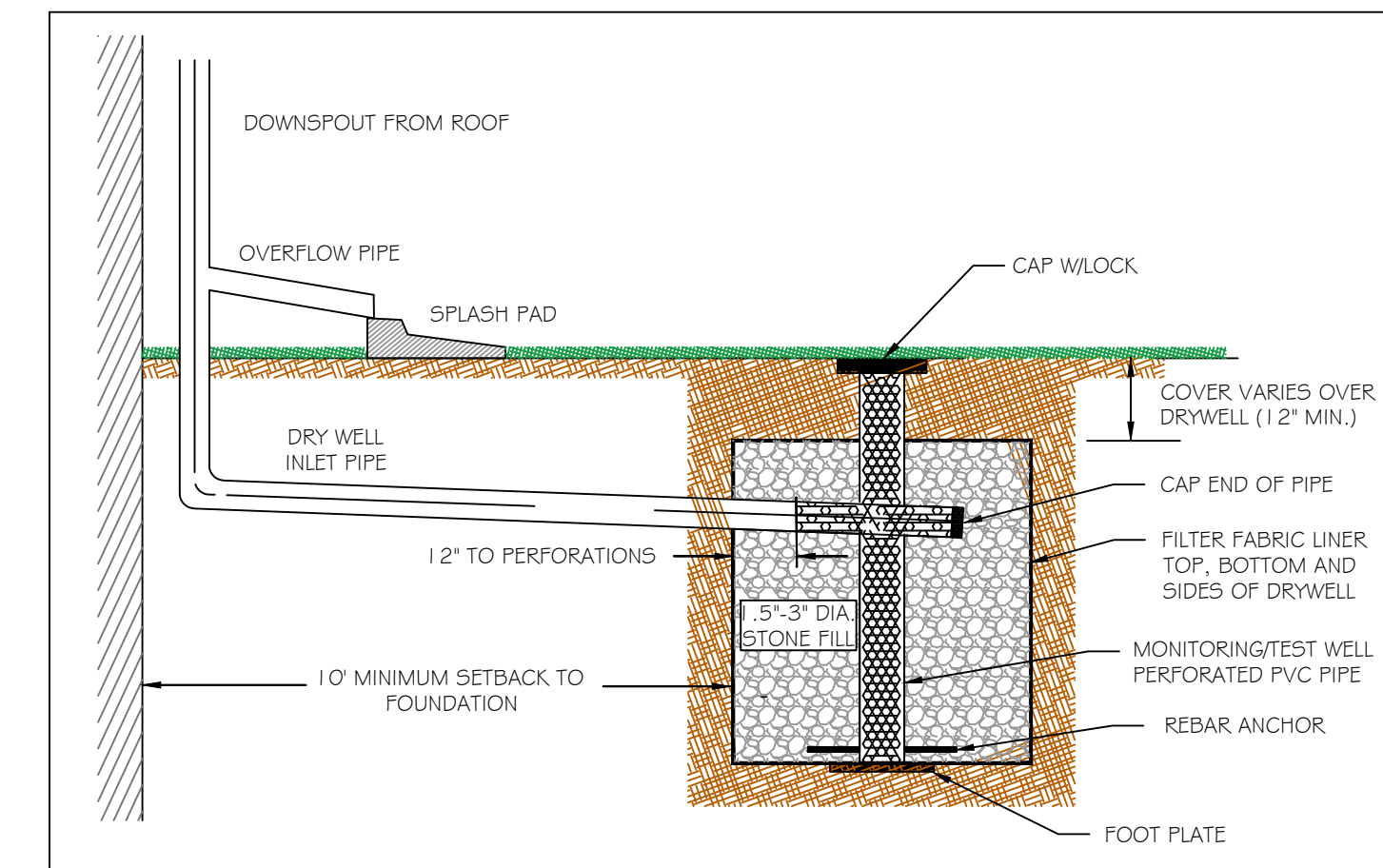
20'

40'

ORIGINAL SIZE 24"x36"

SHEET #:

51



DRY WELL DETAIL
NOT TO SCALE

1. DRYWELLS MINIMUM SIZE 6' D X 5' W X 5' L
2. DRYWELLS TO BE LOCATED A MINIMUM 10' DOWNSTREAM FROM PROPOSED STRUCTURE FOUNDATION. HOMEOWNER MAY LOCATE DRY WELLS ACCORDING TO SITE CONDITIONS OR PREFERENCES.

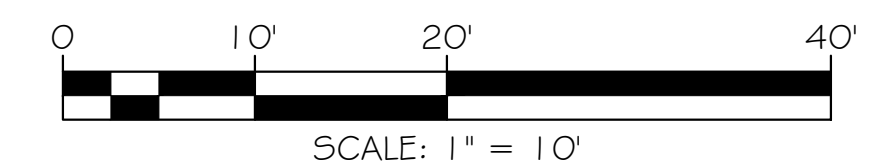
RESIDENTIAL DRYWELL OPERATION AND MAINTENANCE

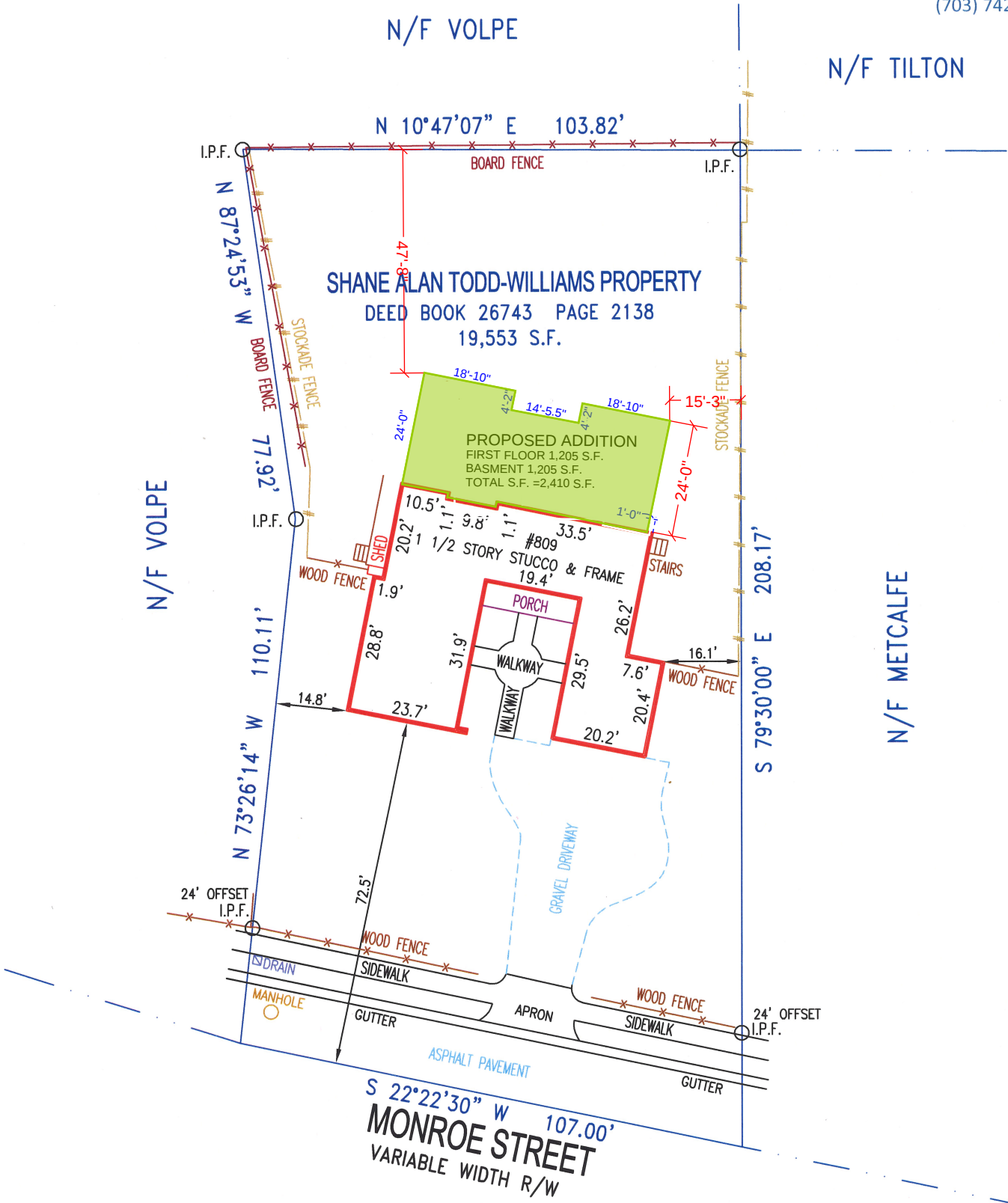
1. DRYWELLS SHALL BE INSPECTED AND CLEANED ANNUALLY.
2. PONDING, STANDING WATER OR ALGAE GROWTH ON THE TOP OF A DRYWELL MAY INDICATE FAILURE DUE TO SEDIMENTATION IN THE GRAVEL MEDIA.
3. IF WATER PONDS FOR MORE THAN 48 HOURS AFTER A MAJOR STORM OR MORE THAN 6" OF SEDIMENT HAS ACCUMULATED, THE GRAVEL MEDIA SHOULD BE EXCAVATED AND REPLACED.
4. PRIVATELY OWNED PRACTICES SHALL HAVE A MAINTENANCE PLAN AND SHALL BE PROTECTED BY EASEMENT, DEED RESTRICTION ORDINANCE OR OTHER LEGAL MEASURES PREVENTING ITS NEGLIGENCE, ADVERSE ALTERATION AND REMOVAL.

NOTES:

1. ENTIRE SITE LIES WITHIN HYDROLOGIC SOILS GROUP C
2. NO HEAVY CONSTRUCTION VEHICLES OR TRAFFIC IS INTENDED TO ACCESS THE PROJECT AREA, THEREFORE NO CONSTRUCTION PATH IS PROVIDED.
3. GRADING MUST MEET ALL APPLICABLE CODES INCLUDING USBC WHICH REQUIRES 6" OF FALL WITHIN 10' OF ALL SIDES OF THE PROPOSED STRUCTURE.

PLAN TO ACCOMPANY BUILDING PERMIT APPLICATION





I hereby certify that the position of all existing physical improvements shown hereon have been located using a surveying transit, tape measure and/or other electronic measuring device.

No title report has been furnished.

Unless otherwise noted, no property corner markers have been set as per 54.1-407 of the Code of Virginia.

At the client's request

- Fencing encroachments have not been identified nor dimensioned.
- The distance to the nearest intersection from the property corner has not been shown.



**Town of Herndon Survey
Fairfax County, Virginia**

Surveyor: EHT Tracerics (B. Marzella)

Date: July 24, 2017

Street #: 809 Street Name: Monroe Street DHS ID#: 235-0003-0123

Primary Resource Property Name (if any):

Resource Category: Domestic Resource Type: Single Family Dwelling
 Construction Date: 1948 Exact VDHR Time Period: The New Dominion (1946-1991)
 Contributing Status: Non-contributing (date) Condition: Excellent Style: Contemporary
 Bldg. Type: L-Shaped Bays: 3 Stories: 2

Primary Cladding Material: Primary Treatment: Stuccoed Primary Material: Stucco
 Secondary Cladding Material: Secondary Treatment: Siding, German/Cove Lap Secondary Material: Wood
 Roof Type: Hipped w/Lower Cross Gables Roof Material: Asphalt shingle (architectural)
 Chimney Type: Unknown Chimney Treatment: N/A Chimney Material: N/A
 Dormer Type: None Dormer Material: N/A
 Foundation Type: Unknown Found'n Treatment: N/A Found'n Material: N/A
 Porch Type: Inset/Engaged Support Type: Square Posts Floor Material: Concrete
 Window Type: Double-Hung Glazing Type: 1/1 True Window Material: Vinyl
 Shutter Type: Fixed Shutter Treatment: Louvered Shutter Material: Vinyl
 Garage Type: Attached/Engaged Garage Treatment: Front-loaded No. of Bays: 2

Describe the following features, where present:

Main Entry Door: Side-facing door not visible from street
 Front Porch: One-story porch beneath main beneath main hipped roof. Metal posts and concrete base
 Signs and/or Murals: None



Photograph - Primary Elevation(s)

Details or
Character-
Defining
Features:

Describe the following features, where present:

Non-contributing ranch house with Colonial Revival

Major
Additions
and/or
Alterations:

Second-story addition above garage, constructed before 1989



Photograph - Secondary Elevations or Details

Secondary Resource #1

Resource Type: None Condition: —
Construction Date: —
Stories: — Bays: —
Resource Description:

*(Note location,
size, and
distinctive
features)*

Photograph - Secondary Resource(s)

Primary Cladding Material:	Primary Treatment:	—	Primary Material:	—	
Secondary Cladding Material:	Secondary Treatment:	—	Secondary Material:	—	
Roof Type:	—		Roof Material:	—	
Chimney Type:	—	Chimney Treatment:	—	Chimney Material:	—
Foundation Type:	—	Found'n Treatment:	—	Found'n Material:	—
Porch Type:	—	Support Type:	—	Floor Material :	—
Window Type:	—	Glazing Type:	—	Window Material:	—

Additional Resources

Resource Description:

(Note location, type, & appearance)



MEMORANDUM

To: Chair Blaker-Glass & Members of the Historic District Review Board

From: Tamsin Himes, Lead Planner/Design and Development ~~771~~

Date: October 29, 2021

Subject: Pre-application HDRB case, 771 Center Street, Herndon Virginia

Description:

This pre-application work session review is for a new building at 771 Center Street for the Herndon Biergraten. As proposed, it would replace and the require the demolition of the existing non-contributing commercial structure on the site formally occupied by the Herndon Iron Works. Preliminary concept designs have been submitted that illustrate a post-modern design, multi-material cladding, angular design with an industrial theme. The proposed project includes a fair amount of outdoor space, hardscaping, and site lighting. The information Staff and the Board have regarding the project is limited at this point, so this review is not comprehensive. The purpose of this review is for the Board to provide preliminary feedback on the overall design to the best of its ability given the materials provided for review.

Background:

Though there have been similar cases to this reviewed by the HDRB in the past, this is the first demolition/new build case that is being reviewed with the updated Guidelines. Past cases similar to this may not be an appropriate standard given changes to the Guidelines. The proposed building is currently in site plan review. Following that review, the applicant is able to submit the applications for a COA.

Staff Comments:

In evaluating this case, the Downtown Pattern Book should be used for design guidance in addition to the new construction provisions in the Historic District Overlay Guidelines.

1. The existing structure on this site is a commercial building constructed in 1967. The design is simple, modern commercial, semi-brutalist, constructed with CMU, cinderblock, cement, and composition shingle roofing. The structure itself though not part of the period of significance and not contributing to the HDO, does have some merit as a record of its time and a reference to the rural and industrial history of Herndon.

2. Though preliminary, staff found general adherence to many of the applicable guidelines for the proposed building. Using Chapter 9 as the basis for evaluation, findings include the following:
 - The proposed building is sited the same as the existing building, maintaining existing pattern and rhythm, and working within lot orientation
 - The street facing façade is pedestrian-oriented with traditionally scaled storefront and proximity to street. The proposed designs would also improve the streetscape, visually elevating the surrounding area.
 - With simple forms and lines, the proposed structure has a modern interpretation akin to austere mid-century industrial and commercial buildings characteristic of the district.
 - Proposed building maintains mostly one-story height while adding some stepped back volume, which improves compatibility with district properties on Center Street. The surrounding properties are primarily multi-story, and the proposed building would add consistency by giving some additional height and slightly increasing the massing from the existing building.
 - The concept designs show traditional looking materials being used in a modern design scheme, further referencing the commercial past of the Historic District.
 - Storefronts play an important part in the relevant architectural past of the district. These designs show traditional elements of industrial or commercial storefront façade used in a modern scheme with the design and placement of doors, windows, and openings. However, care should be taken to ensure clear articulation of openings and true transparency of the glass.
3. The Storefront and Signage portion (Section D) of the Downtown Pattern Book also applies for this proposal. Staff recommends the following findings to be considered:
 - The height of first floor should be a minimum 14', and the storefront schedule of windows, doors, signs and other features should utilize this entire space.
 - Take into consideration the solid to void ratio. Also, keep in mind that glass transparency and visibility into the building is important in a storefront or business façade design that is compatible with the historic district.
 - Lighting is not addressed in the submitted materials. An integrated lighting plan is important to the overall design, look and feel of the building. Florescent or harsh lighting should be avoided.
 - Awnings and canopies can be helpful in breaking up the façade, articulating openings and providing character to a structure. The submitted designs lack elements like these which could further enhance the structure's compliance with the Pattern Book and its cohesiveness with the HDO. One option could be slightly wrapping a canopy on the left side, around the corner of the building.
 - The proposed building does not have traditional storefront components or dimensions, but it does take the approach of emulating the more industrial context of this part of the Historic District.

- Guidelines emphasize the use of a variety of signage. Like canopies and awnings, signage can help to elevate the design and increase the articulation of the façade. Staff suggest the architect could consider both a wall sign and a projecting sign. A specific option for this could be to shift the wall sign, which is shown as centered horizontally on the façade, so that it is off-center and more cohesive with the asymmetry of the rest of the building. The right end of the sign could be aligned with the right side of the front door, for example.

Attachments:

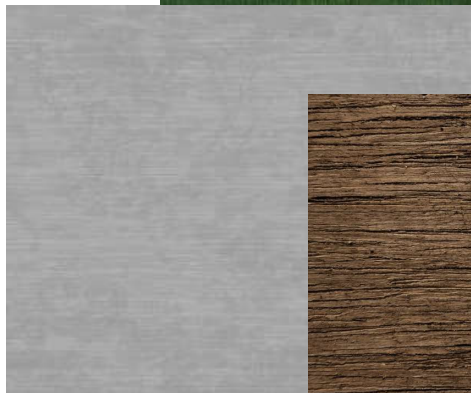
- #1 – Preliminary Design Presentation
- #2 – Exterior Concept Designs

COMMERCIAL

BEER GARDEN - HERNDON, VA

Preliminary Design

MARCH 19, 2020



BEER GARDEN
771 CENTER ST.
HERNDON, VA 20170

*lee design
& interiors*



The entrance door will be a single glass door, next to the entrance door will be a full size garage door with all glass panels.

Next to the garage door will be stationary windows.

This "stationary" windows can be operable where they can open up or slide sideways.

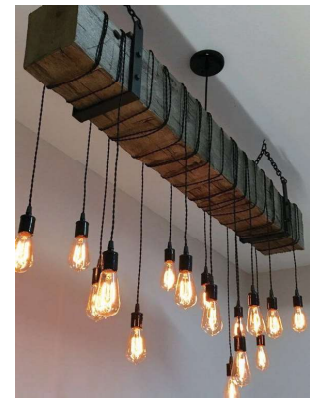
The walls will be painted in a light brown finish

The flooring throughout the first floor is black polished concrete

ENTRANCE

BEER GARDEN
771 CENTER ST.
HERNDON, VA 20170

lee design
& interiors



There are two different seating arrangements on the downstairs level

The communal tables will be wood with concrete countertops and standard height bar stools

The bar stools will have a green vinyl material

There will be a large industrial light fixture above each table

The other seating consists of standard wood tables with benches

The benches will have a brown commercial grade fabric



DINING SEATING

BEER GARDEN
771 CENTER ST.
HERNDON, VA 20170

*lee design
& interiors*



The bar will have black aluminum shelving that is tall enough to serve the outside guests

The shelves will be glass

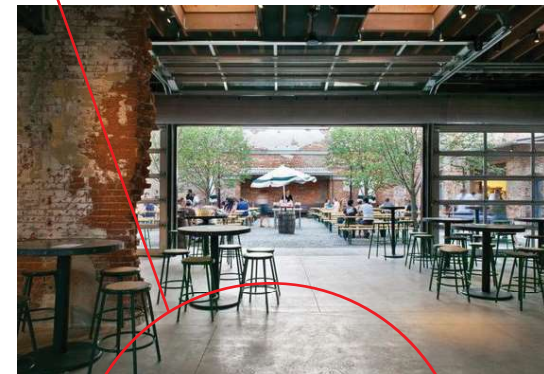
The back wall will have a large light up marquee sign saying "BREWERY"

The back will be a faux brick

The bar will have standard height bar stools that are wood and metal

The walls will be painted with a light brown finish

DOWNSTAIRS BAR



BEER GARDEN
771 CENTER ST.
HERNDON, VA 20170

*lee design
& interiors*



The bar will be made with a black wood

The bar face will have wood panels for detail

The countertops will be a concrete

There will be industrial black metal pendants above the bar

DOWNSTAIRS BAR



BEER GARDEN
771 CENTER ST.
HERNDON, VA 20170

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The Open Kitchen area wall will be a faux brick

There will be glass for people to see through the kitchen

The countertop will be concrete

There will be a large light up marquee sign saying "BEER"

OPEN KITCHEN

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The hallway to the back will be painted a brown finish

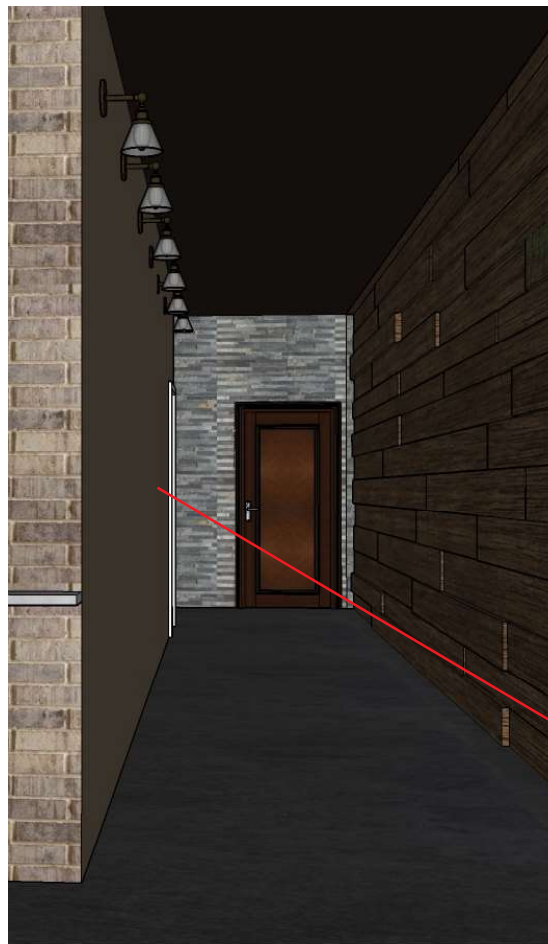
The hallway will have wall sconces

The hallway wall will have a large painted mural

The other side of the hallway will have the wood paneling that ranges in size with vines

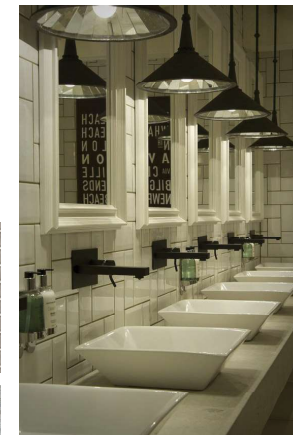
The back wall will be a stone tile and painted a blueish - gray finish

BACK WALL



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Both the Men's and Women's Restrooms are identical in design

The restroom walls will be a transition of subway tile and wallpaper

The flooring will be a tile that has a wood look to it

The double vanity will be wood and aluminum

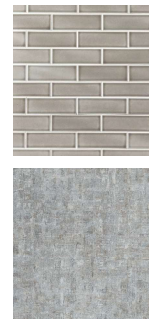
The countertop will be a black quartz with concrete vessel sinks

For the faucets, there will be copper pipes that come down from the ceiling to give that industrial look

There will be an industrial light fixture, vanity mirror, and full length mirror

The restroom partitions will be a gray powder coated steel material

BATHROOMS



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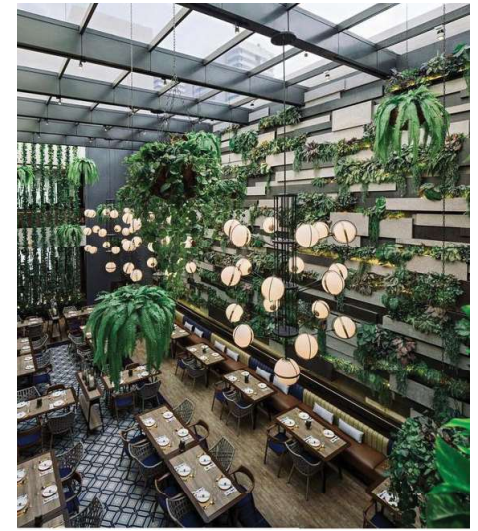
The stair materials will be wood and metal

The wall next to the stairs will be a wood paneling that ranges in size with vines coming through

This “stationary” windows next to the stairs can be operable where they can open up or slide sideways.

There will be a wood closet door located underneath the stairs for storage

STAIRCASE



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The upstairs entrance will have large dark wood barn doors that opens up to the Rooftop Bar area

The Greenhouse Room will just have an opening to enter the space

The walls are painted with a light brown finish

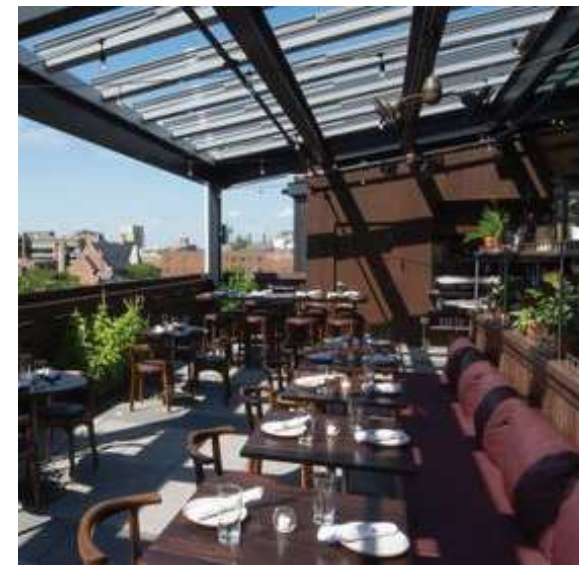
The flooring is an outdoor porcelain tile

UPSTAIRS ENTRANCE



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The first dining area on the rooftop bar will be a green vinyl wrapped banquette

There will be standard wood tables

There will be metal outdoor chairs

UPSTAIRS DINING

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The second dining area will be standard height bar tables and stools

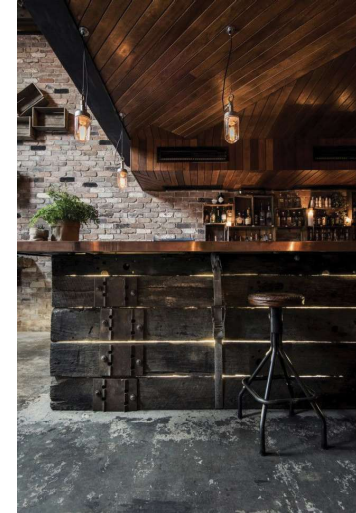
The bar tables are wood and metal

The bar stools are metal

UPSTAIRS DINING

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The Rooftop Bar flooring will be an outdoor porcelain tile

The shelving will be wood with industrial metal pipes holding them up

The wall will be a faux brick

There will be standard height bar stools

ROOFTOP BAR

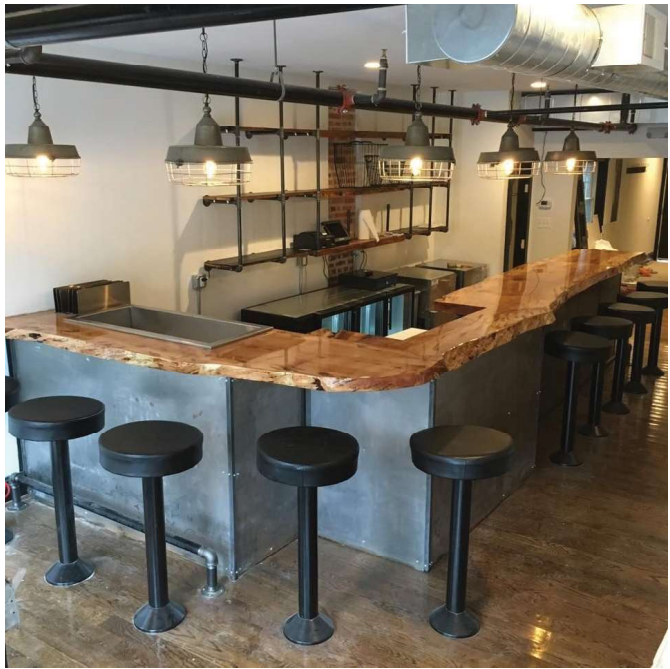


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- The countertop will be a live edged wood countertop
- The bar material is a wood
- The bar face will have corrugated steel panels attached to it
- The light fixtures will be industrial black metal pendants
- There is a sliding glass door in the middle of the bar for the bartenders to go from the rooftop bar to the greenhouse room



ROOFTOP BAR

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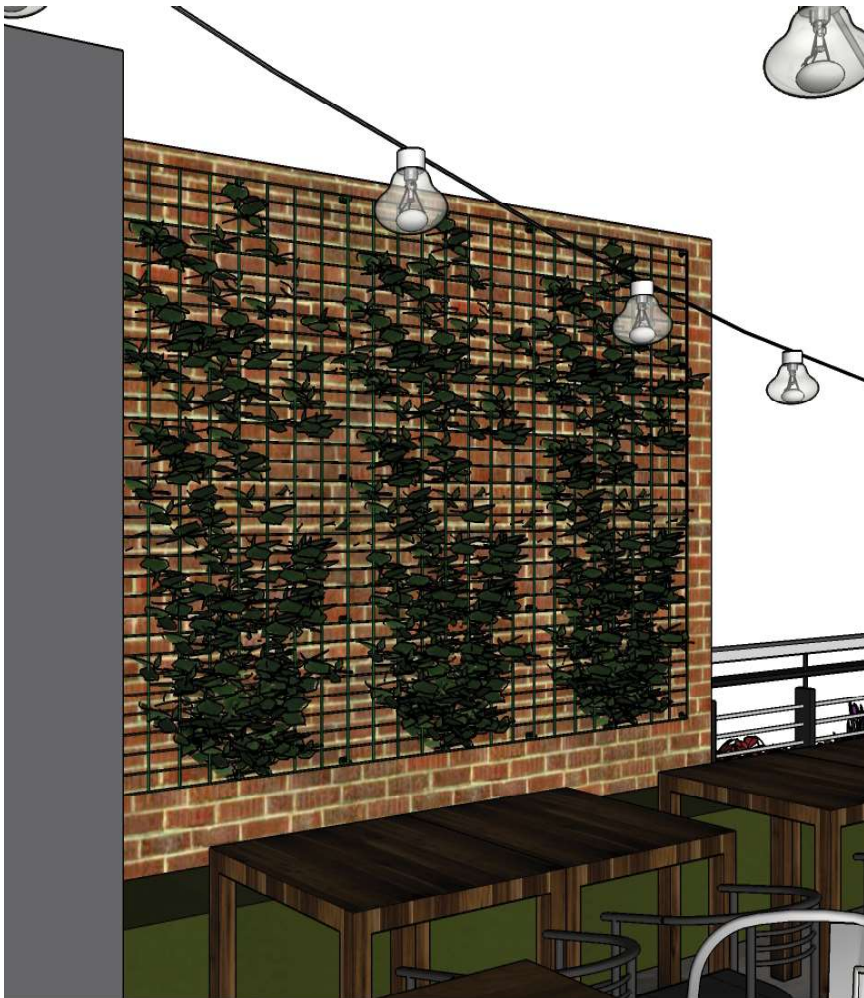
- The rooftop lounge seating will be a range of outdoor couches and lounge chairs
- The chairs and couches will be a beige and green polyester with acrylic material
- There will be two firepits
- In the middle of the lounge area will be two tables that are made out of empty wood beer crates
- There will be string lights starting from the corner to the other side of the rooftop bar

LOUNGE SEATING



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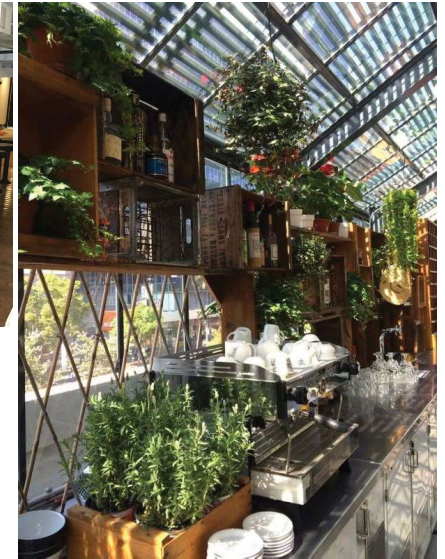
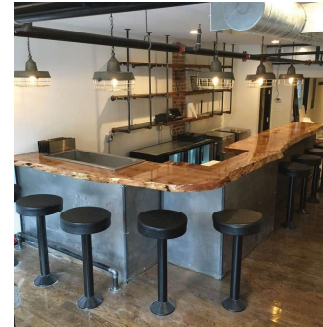
The walls on the rooftop bar will be a faux brick

The walls will have metal grids attached to them with vines going through them

EXTRAS

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The bar material will be black wood

The face of the bar will be a mosaic tile with empty beer bottles stuck to it

The shelving over the bar will be empty wood beer crates

There will be standard height bar stools

There will be hanging plant pots above the bar

GREENHOUSE BAR

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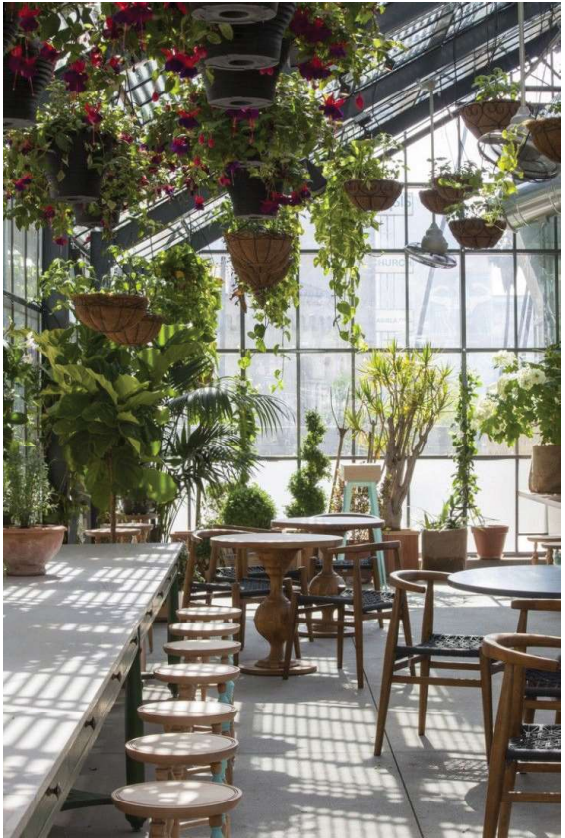
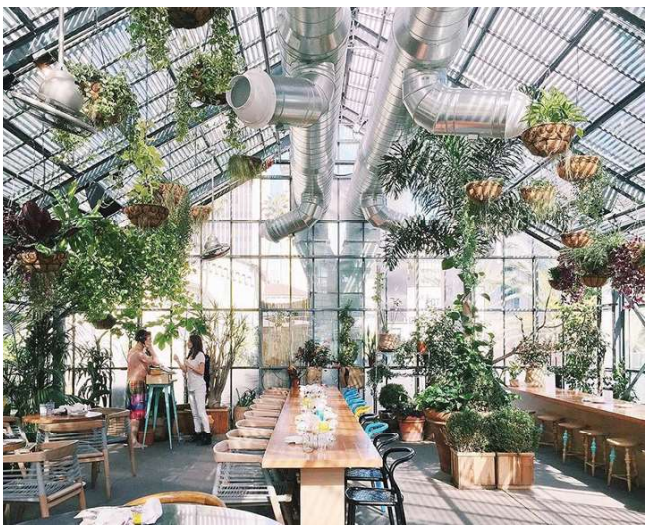
The first dining area will have a large wood table with standard metal chairs

There will be a green wrapped vinyl banquette against the wall

There will be standard wood tables and metal chairs

There will be hanging pendants above the banquette that are edison bulbs and plants

GREENHOUSE DINING

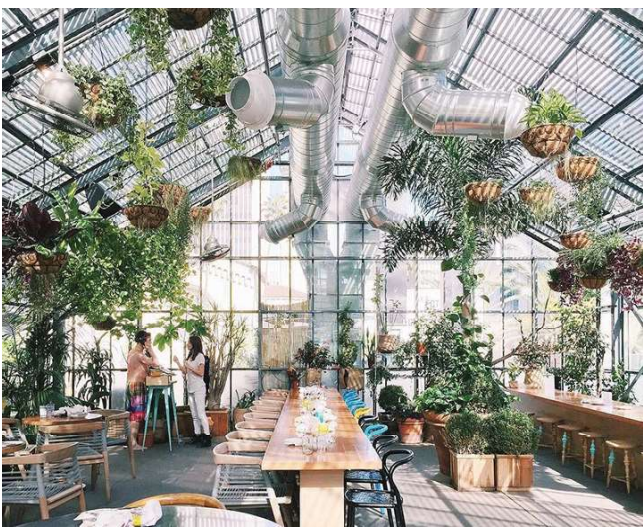


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- The second dining space will be standard wood tables with standard dining chairs
- The dining chairs will be a green commercial grade fabric
- There will be hanging plant pots above the tables



GREENHOUSE DINING

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The walls in the Greenhouse Room will be brick with vines going up the wall

The flooring in the room will be a laminate hardwood

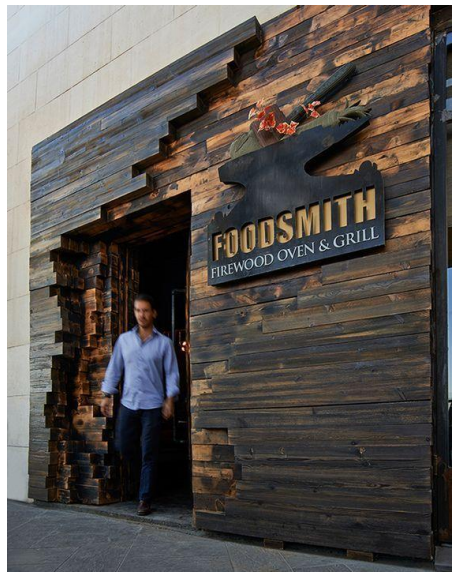
GREENHOUSE EXTRAS

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HERNDON BEER GARDEN EXTERIOR

June 15, 2020



- Use of wood material for the face of the building
- Existing white brick to be painted black
- Name of the brewery to be kept white brick

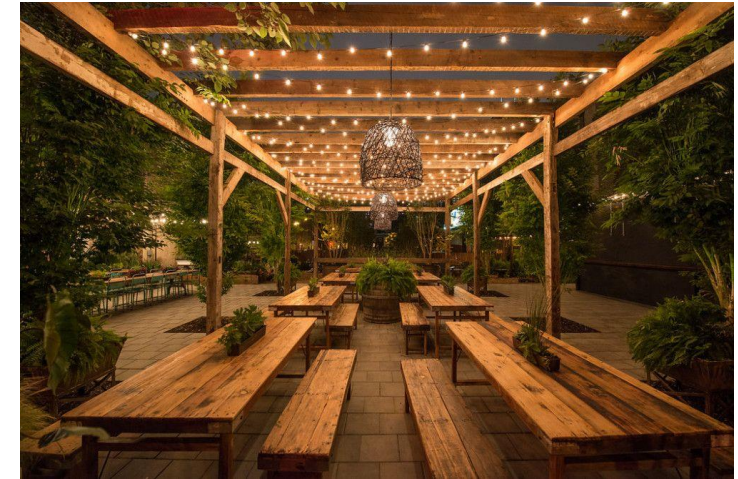




- Side of the building to have a wooden awning over the two way bar
- Columns to have large concrete bottoms
- Corrugated metal above the awning
- Patio to run around the columns for people to stand or there could be some high stop standing tables.



- Other side of the building to continue with the painted black brick.
- Trees to be planted in the section that has no seating to detour people from walking there.
- Second patio located in the back of the side where the new door is located



- Back and side patio to have a mixture of seating
- Black brick to continue around the building.
- Wood slatted awning to wrap around the building, this could have hanging lights or plants as well.



- Back grass area to have a combination of seating options.
- Landscaping and placement TBD, image gives an idea of placement



- Back grass area to have a combination of seating options.
- Landscaping and placement TBD, image gives an idea of placement



- Additional deck space added over the outdoor cooler space. This gives more outdoor seating options.
- Entrance from the closed in portion of the second floor.
- This space will also have outdoor patio lights.
- Secondary exit off the back of the desk. This will go over the fenced in HVAC unit area.
- Outdoor bar to be more “enclosed” with additional bar seats