

**TOWN OF HERNDON, VIRGINIA
HISTORIC DISTRICT REVIEW BOARD
VIRTUAL PUBLIC HEARING AGENDA
MAY 19, 2021
HERNDON COUNCIL CHAMBERS BUILDING
765 LYNN STREET
7:00 P.M.**

CALL TO ORDER

1. Roll Call
2. Determination of Quorum

APPROVAL OF MINUTES

3. April 7, 2021 Work Session Draft Minutes
4. April 21, 2021 Public Hearing Draft Minutes

COMMENTS

5. Comments from the Board Members
6. Comments from the Staff Members

PUBLIC HEARINGS

7. **APPLICATION FOR AMENDING A CERTIFICATE OF APPROPRIATENESS FOR A PREVIOUSLY APPROVED APPLICATION, HDRB #21-007**, to consider an application to modify conditions of approval of a previously approved HDRB Certificate of Appropriateness related to the reduction of the required front yard building setback from 35' to 20', permissible within the Heritage District Overlay, on the single-family residential property at 764 Grace Street, Herndon, Virginia, located at the southeast corner of the intersection of Grace Street and the Washington and Old Dominion Trail right-of-way, and further identified as Fairfax County Tax Map 0104-02-0017. The property is zoned R-10, Residential, Single Family; and consists of 16,074 total square feet of land. Owners/Applicants: Bryce A. Perry and Phuong T. Pham.
8. **APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR AN ADDITION TO AN EXISTING STRUCTURE, HDRB #21-008**, to consider an application for a Certificate of Appropriateness for the construction of a one-story addition to the single-family residential dwelling at 764 Grace Street, Herndon, Virginia, located at the southeast corner of the intersection of Grace Street and the Washington and Old Dominion Trail right-of-way, and further identified as Fairfax

County Tax Map 0104-02-0017. The property is zoned R-10, Residential, Single Family; and consists of 16,074 total square feet of land. Owners/Applicants: Bryce A. Perry and Phuong T. Pham.

ADJOURNMENT



,MEMORANDUM

To: Chair Walker & Members of the Historic District Review Board

From: Elizabeth M. Gilleran, AICP, Director of Community Development

Date: May 14, 2021

Subject: HDRB #21-007, 764 Grace St. Application for Reduction in Setback

This memo serves as an update for HDRB #21-007, scheduled for the May 19, 2021 HDRB Public Hearing.

Attached is the following item:

Attachment #1, Revised resolution dated May 19, 2021

Staff has revised the resolution to add the following language under “BE IT FURTHER RESOLVED”:

3.b. A portion of the contributing resource, including an existing opening to be used as access to the future addition, encroaches into the front setback.

Staff will be happy to answer any questions regarding this revision and other minor formatting changes during the May 19, 2021 public hearing.

TOWN OF HERNDON, VIRGINIA

RESOLUTION DRAFT

May 19, 2021

Resolution- to consider HDRB #21-007 an application to allow a reduction of the front yard setback from 35 feet to a minimum of 20 feet to accommodate a future addition located at 764 Grace Street, Fairfax County Tax Map Number 0104-02-0017, that will modify previously approved conditions of approval and rescind the Certificate of Appropriateness of HPRB #20-019.

WHEREAS, the applicant, Bryce A. Perry, submitted an application for a reduction in front setback, under the provisions of Sec. 78-60.3 of the Town of Herndon Zoning Ordinance, to permit a proposed encroachment of up to 15 feet within a required 35-foot front yard setback to accommodate a future addition on a property improved with a contributing structure and was approved with conditions through HPRB #20-019; and

WHEREAS, the applicant has applied to modify the conditions of approval of HPRB #20-019 to accommodate revisions to the design of the proposed addition; and

WHEREAS, the massing diagrams submitted with HPRB #20-019 and HDRB #21-007 are for informational purposes, only to assist in the determination of the case at hand for a reduction in setback and are not afforded any guarantees in regard to future approvals; and

WHEREAS, the future addition shall be the subject of a separate HDRB application; and

WHEREAS, The Historic District Review Board has reviewed this application to amend HPRB #20-19 through the adoption of HDRB #21-007 and has held a public hearing on May 19, 2021.

NOW THEREFORE, BE IT RESOLVED that the Historic District Review Board of the Town of Herndon, Virginia, HEREBY:

Rescinds approval of the Certificate of Appropriateness of HPRB #20-019 and approves HPRB #21-007 allowing a reduction of up to 15 feet into the required 35-foot setback, to accommodate a future addition located at 764 Grace Street, Fairfax County Tax Map Number 0104-02-0017, in accordance with the conditions set forth below to ensure that the permitted extension into the front setback and along the forward portion of the north façade is not averse to the Guidelines regarding the need for additions to remain visually subordinate to the historic resource;

1. The façade of the addition shall be setback at least one foot from the northwest corner of the front façade.
2. The addition and its roof shall not touch the roof or eaves of the historic resource.
3. The addition shall not exceed one and a half stories.
4. Landscaping between the addition and the Grace Street right-of-way shall consist of a minimum of 2 understory trees and 5 shrubs with medium to large growth habit. The landscaping is not intended to completely shield the addition from view, but rather make it less visible than the historic resource.

BE IT FURTHER RESOLVED that this decision by the Historic District Review Board of the Town of Herndon is based upon the following findings:

1. The intent of the Historic District designation and the associated Historic District Overlay Guidelines is not to prevent change, but to guide change in a manner appropriate to the historic resources within the District and the District itself.
2. The preferred location for an addition to this contributing structure (historic resource) is along the northern elevation due the following factors:
 - a. The situation of the contributing structure negates the ability to achieve additional usable building square footage along the rear of the structure due to the structure's position within, and closely adjacent to, the required 25-foot rear yard located along the eastern property line.
 - b. The orientation of the historic resource, placement and nature of abutting land uses and curvature of the right-of-way makes the southern façade of the property highly visible from the right-of-way and from several contributing structures, while the north façade has limited visibility from within the Historic District.
 - c. The south façade of the contributing structure should remain visible to preserve historic form and the presence of significant architectural features on the south façade of the historic resource, to include the now enclosed but discernable historic side porch and the visible differentiation of the historic rear extension of the structure, which is not visible on the north façade.
3. To build an addition on the north side of the historic resource a reduction in setback is necessary for the following reasons:
 - a. The north façade of the historic resource is located near the apex of the triangular lot providing limited space between the required front and rear yards.

- b. A portion of the contributing resource, including an existing opening to be used as access to the future addition, encroaches into the front setback.
 - c. In accord with best preservation practices and in keeping with the adopted Guidelines, an addition on the northern elevation will preserve a greater amount of the historic façade material because of the location of existing facade openings.
- 4. These findings and conditions are related to the permitted extension into a front setback. Any future application for an addition shall be decided upon the ability of that application, through the design of the addition, to meet the Guidelines for New Additions, per Chapter 5 of the Town of Herndon Historic District Overlay Guidelines, and the conditions set forth above.



MEMORANDUM

To: Chair Walker & Members of the Historic District Review Board

From: Elizabeth M. Gilleran, AICP, Director of Community Development

Date: May 14, 2021

Subject: HDRB #21-008, 764 Grace St. Addition Update

This memo serves as an update for HDRB #21-008, scheduled for the May 19, 2021 HDRB Public Hearing.

Attached are the following items:

Attachment #1, Revised resolution dated May 19, 2021
Attachment #2, Letter from the applicant dated May 13, 2021
Attachment #3, Revised perspective drawings
Attachment #4, Roof deck parapet images
Attachment #5, Siding at wall openings – design options

The revised resolution (Attachment #1) incorporates new material provided by the applicant. As stated in the May 5, 2021 staff report and during the work session, staff's analysis of the addition determined that it meets the proposed conditions of HDRB #21-007 and the applicable guidelines in chapter 5 of the Town of Herndon Historic District Overlay Guidelines, Treatment of Contributing Buildings, New Additions. The new information does not alter the previous findings. A slightly revised matrix, addressing the applicable guidelines and staff's analysis, has been incorporated into the draft resolution.

The staff encourages members of the HDRB to consider whether there is anything in the table that they disagree with or if there is information that they wish to add. Changes to the language can be accommodated during the public hearing provided consensus can be obtained.

In his letter dated May 13, 2021 (Attachment #2), the applicant expresses his appreciation for the guidance provided by the HDRB during the May 5, 2021 work session. Furthermore, he explains the rationale for the proposed revision to the parapet design, as demonstrated in the revised drawings (Attachment #3). Photographs of various roof deck parapets (Attachment #4) are also provided. The photographs contain designs used by the applicant and his architect to develop the currently proposed concept. The intent of the revision is to continue the horizontality of the siding and the simple modern aesthetic while reducing the mass and scale of the parapet wall. The applicant is requesting that the HDRB approve the design of the parapet but permit some flexibility to allow further refinement.

The window options (Attachment #5) consist of extending open jamb boards to be flush with the siding and allowing the siding to abut the board edge, or having mitered siding wrap the jambs and returns to the window frame. The photographs provided by the applicant clearly demonstrate the visual difference between the two approaches. While the applicant currently prefers Option 1, the applicant is requesting the flexibility to utilize either option. Staff supports this request. While the staff prefers Option 2, as it minimizes the visibility of the bronze metal and displays only the window frame, both options 1 and 2 reflect the simplified contemporary design of the addition.

As indicated above, the staff supports the revisions provided by the applicant in response to work session comments. The options for both the parapet and the windows are consistent with the overall architectural style of the proposed addition. The simplicity of the form and details make the addition compatible with the simple vernacular Victorian architecture of the contributing structure. The modern reinterpretation of the traditional clapboard gable end form and the scale of the proposed addition ensures that it will not detract from the property's contributing structure, other contributing structures within the Historic District Overlay or the district as a whole.

While the contemporary style of the addition may surprise some, it appears to embody the historic preservation principle of consistent, harmonious and differentiated. The staff recommends approval of HDRB #21-008 per the draft resolution dated May 19, 2021 (Attachment #1).

Staff will be happy to answer any questions regarding this memo during the May 19, 2021 public hearing.

TOWN OF HERNDON, VIRGINIA

RESOLUTION

May 19, 2021

Resolution- to consider HDRB #21-008, 764 Grace Street, a Certificate of Appropriateness to allow the construction of a one-and-one half story addition to a contributing structure.

WHEREAS, the applicant, Bryce A. Perry, has submitted an application for the construction of a one-and-one half story addition to the primary dwelling located at 764 Grace Street and identified as Fairfax County Tax Map Number 0104-02-0017; and

WHEREAS, the applicant has previously applied for and obtained approval with conditions of HDRB #21-007, to permit an addition to encroach up to 15 feet within a required 35-foot front yard setback for said property; and

WHEREAS, the HDRB#21-008 complies with Conditions #1, #2 and #3 of the HDRB #21-007, and

WHEREAS, the proposed addition complies with the applicable zoning ordinance regulations as specified in the Town of Herndon Zoning Ordinance Articles III and XV; and

WHEREAS, the proposed addition received an approved Building Location Survey, BLS #20-32; and

WHEREAS, the Town of Herndon Historic District Review Board has reviewed this application and has held a public hearing on May 19, 2021.

NOW THEREFORE, BE IT RESOLVED that the Historic District Review Board of the Town of Herndon, Virginia, HEREBY:

Approves HDRB #21-008, for the construction of a one-and-one half story addition to the primary structure located at 764 Grace Street in Herndon, VA, to be constructed in substantial conformance with the application and supporting materials as submitted and revised per the exhibits presented at the May 19, 2021 public hearing and described in the applicant's letter dated May 11, 2021 and dependent upon compliance with the following conditions:

1. The applicant shall submit a landscape plan, utilizing the approved BLS, to demonstrate compliance with Condition #4 of HDRB #21-007 for review by Community Development staff prior to issuance of a building permit.

2. The applicant shall have the option of abutting the siding to the window jambs or returning the siding onto the jambs.
3. The applicant shall work with staff on final design details of the proposed parapet, which is to be in general conformity with the drawings and images submitted on May 13, 2021.

BE IT FURTHER RESOLVED that this decision by the Historic District Review Board of the Town of Herndon is based upon the following findings:

1. The proposed addition's form, scale, materials, fenestrations, trim features and window and door selections are compatible with the simple vernacular Victorian architecture of the contributing structure; and
2. The modern reinterpretation of the traditional clapboard gable end form and the scale of the proposed addition ensures that it will not detract from or adversely affect the property's contributing structure, other contributing structures within the Historic Overlay District or the district as a whole.
3. The addition has been found to meet the adopted guidelines for new additions to contributing structures as demonstrated in the following table.

Chapter 5 Treatment of Contributing Buildings Guidelines for New Additions (pages 73-74)	
Guidelines	Evaluation and Finding
1. Proposed additions that remove more than 49% of the exterior walls and/or roof require new construction and demolition COAs. The Zoning Administrator will determine whether or not new construction and demolition COAs are required.	The Zoning Administrator has determined that the proposed addition does not remove more than 49% of the exterior walls and/or roof. The application complies with this guideline and does not required a demolition or new construction COA.
2. New additions should be designed to preserve significant historic materials, features, and form. a. The design of a new addition should minimize the requirement for historic material loss at the connection point to the historic building. b. To retain historic exterior materials on the interior of the new addition, new additions should utilize historic openings to access the new addition rather than cutting new openings or construct a small hyphen to connect the historic building to the new addition.	The placement and construction of the addition retains most of the original north wall of the primary dwelling. Non-historic aluminum siding will be removed, exposing (to the interior of the new addition) the original wood siding of the structure. The design utilizes existing openings, altering existing windows to provide doorways. The existing first floor windows are altered to provide doorways into the addition, while one second floor window is altered to provide access to a rooftop deck. No new openings are proposed, minimizing loss of historic material.

	Further, the applicant has utilized a hyphen to minimize impact to the original structure and clearly differentiates the old structure and the new addition. The application complies with this guideline.
3. New additions should be subordinate to the historic building. - The new addition should be sized as secondary to the primary historic resource. - New additions should not overpower the form or change the scale of the historic building. - The placement, orientation, massing, and scale of the new addition should be designed in such a manner that it does not impact the integrity of the historic building. - New additions should not be visible or should be minimally visible from the public right-of-way. - Second story additions on historic buildings are generally not appropriate unless the addition is designed in such a way that it does not impact the massing, scale, and character of the historic building.	The addition is of a smaller scale and height, thus not detracting from the existing dwelling and does not overpower the form or change the scale of the historic building. Related case HDRB #21-007, provides specific finding as to why the placement of this addition is appropriate given the configuration of the parcel, required yards imposed by current zoning, the architectural features of the contributing structure and the visibility from other contributing structures along the block. As such the addition has been placed in the most advantageous and least visible location unique to this parcel. The proposed addition meets the conditions HDRB #21-007 regarding location, height and massing. There is not a second story addition proposed with this project, thus the guideline related to 2nd story additions does not apply. The application complies with this guideline.
4. New additions should be compatible with, but differentiated from the historic building. - The openings of the new addition should mimic the rhythm of the historic building but differentiate them in design and configuration. The arrangement of the proposed windows and doors should reflect that of the existing building. - A physical break (if using a hyphen connection) or a small setback between the historic building and the new addition should be provided to create visual distinction between the historic and modern portion of the building.	The proposed addition has achieved the compatibility and differentiation through sameness of form and the rhythm of fenestration on the front facing façade. A flat roofed hyphen connects the addition to the contributing structure and the modern reinterpretation of the traditional clapboard gable end form and the scale of the proposed addition ensures that it will not detract from the property's contributing structure, other contributing structures within the Historic Overlay District or the district as a whole. The simplicity and contemporary design details of the horizontal cladding material and modern door and window selections achieve an

c. Materials should be compatible but differentiated from those found on the historic building. d. Alternative materials can be appropriate for new additions as a means of differentiating the addition from the historic building, Refer to Chapter 6, Use of Alternative Materials, for information on selecting an appropriate alternative material.	appropriate differentiation of the old and new. While a 1' setback alone would normally not be sufficient, this minor setback, in conjunction with the hyphen and the modicum of alteration to the existing structure, with no impact to the existing roof form, creates an adequate physical break. Further, the applicant has proposed the use of common modern materials, such cementitious fiber board wall cladding and 3-tab asphalt shingles common to non-contributing structures, contributing structures and new additions within the Historic District Overlay. The proposed addition complies with the guidelines.
5. The style of the proposed windows and doors should be compatible with the contributing building's existing windows and doors but should not attempt to replicate them. a. Glass should be clear in all cases other than for decorative accent windows. b. For windows consisting of multiple panes of glass, simulated divided lites should have dimensional muntins or grills on the exterior of the glass.	The proposed design includes windows that are somewhat proportional and placed similarly as the windows of the existing dwelling. However, the windows are more modern casement windows using newer modern composite materials and employ small casements windows not found on the original historic resource. The introduction of these smaller windows does not appear to be disruptive due to their smaller size and simplicity. In this case, the windows do not have light divisions have clear glass as do the existing windows of the primary dwelling. As noted in previous design guideline evaluation sections, the new fenestrations are both complementary and are differentiations that clearly do not replicate the existing fenestrations and window/door selections. The proposed addition generally complies with these guidelines.
6. New chimneys should be clad in masonry. a. Weatherboard siding is not appropriate for chimneys. b. Fireplace vents should not be located on front facades c. Metal flues should only be exposed above the eaves of the roof.	No new chimney feature is depicted in the submission materials; thus, these guidelines do not apply.

7. New roof connections should be below the peak of the existing roof. a. Proposed dormers should be sized to reflect the scale and architectural style of the addition and not detract from the contributing building.	There are no new connections to the existing roof or dormers proposed with this project; thus, these guidelines do not apply.
8. Place new additions to avoid damage or elimination of historic site features. a. If historic site features exist on the property, ensure the placement of new addition does not negatively impact or eliminate these features.	The proposed addition does not impact (other than the primary dwelling) or eliminate any historic features on the site; thus, these guidelines do not apply.

Town of Herndon
Historic District Review Board
May 13, 2021

RE: COA Application for Addition at 764 Grace Street

Board Members and Town Staff:

Thanks for the helpful work session discussion for my addition application. Your support for the design is truly appreciated. As a follow up to the discussion, I am providing revised drawings, details of the siding design at wall openings, and concept images for a revised roof deck parapet and railing.

The revised elevation drawings correct the minor inconsistencies that existed between them and the perspective renderings and show a new parapet wall design around the roof deck. The new design includes solid wall topped with an open horizontal-oriented railing. Many options were considered but this design, we concluded, offered the best compromise between continuing the horizontal emphasis of the siding and maintain the simple modern aesthetic while also reducing the mass and scale of the parapet wall and adding some degree of openness. The images provided show a collection of roof decks that were used as inspiration for the design. Our preference is to be allowed some flexibility to work from this design but refine it with further staff review.

The additional wall opening information includes both construction details and precedent images. As of now, the preference is to abut the siding to the window jamb boards, shown as option 1, but we would like the flexibility of also possibly returning the siding onto the jambs, shown as option 2.

We are very much looking forward to having this move forward and get closer to construction!

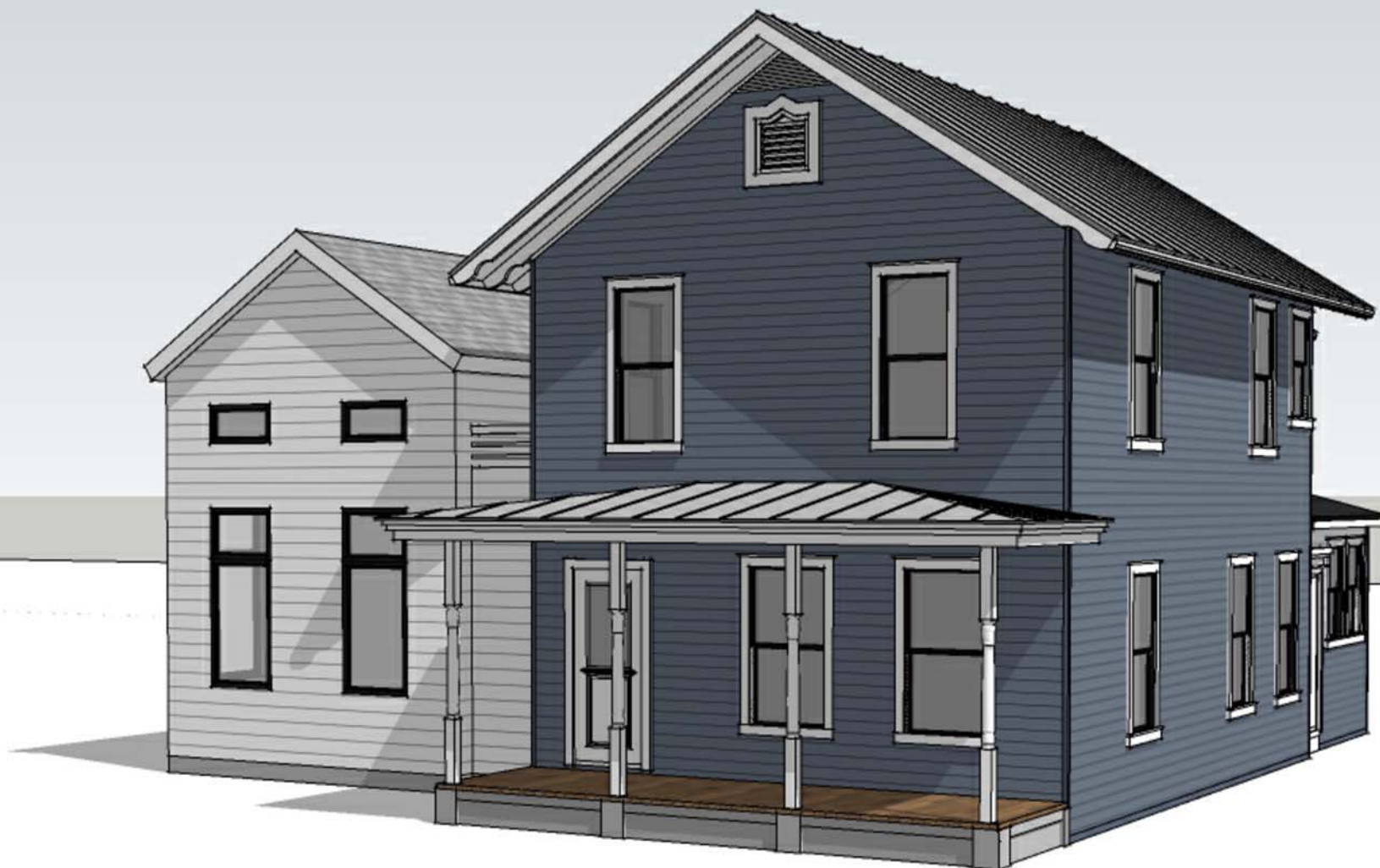
Respectfully,



Bryce A. Perry
Property Owner, 764 Grace Street, Herndon VA

Attached Files:

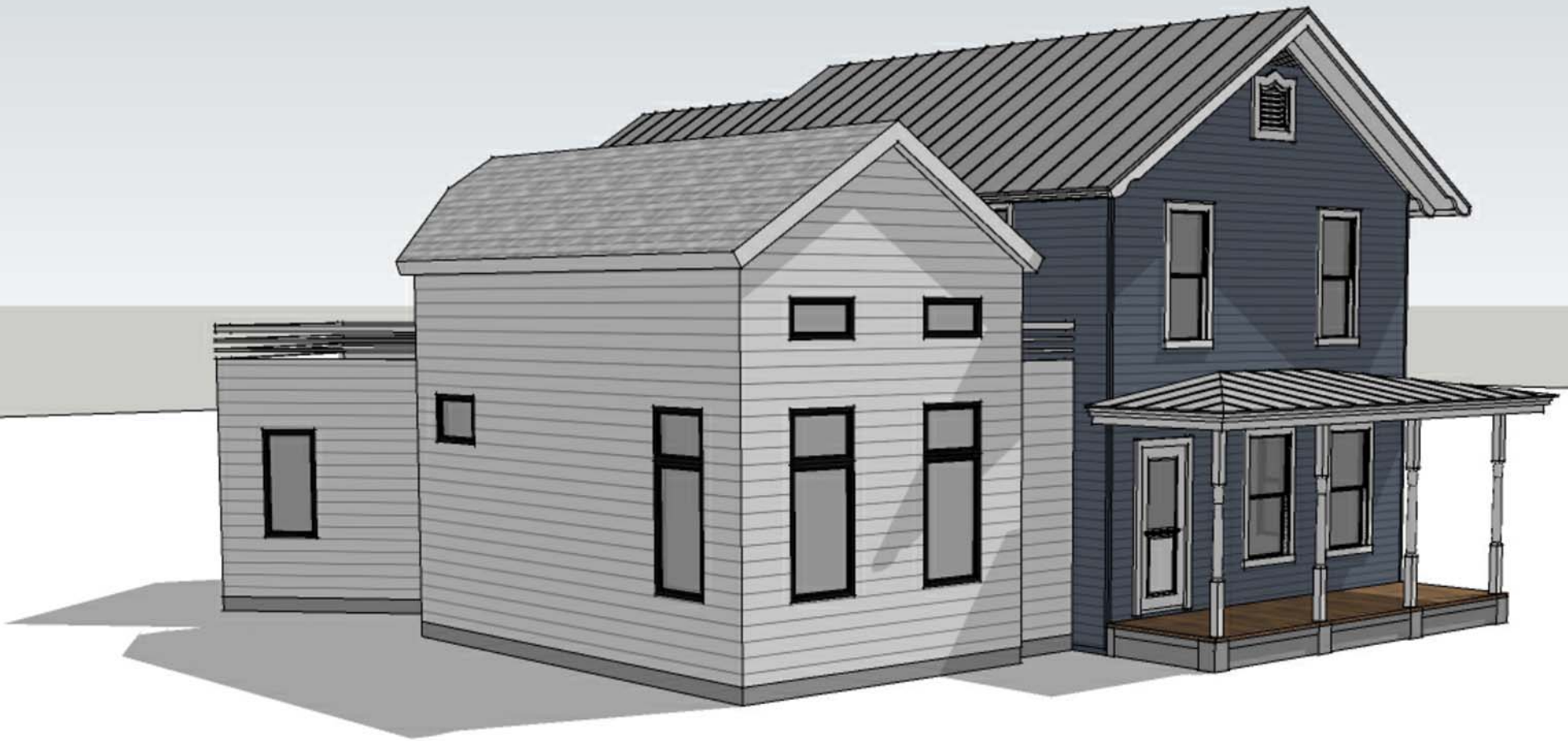
1. Revising Drawings
2. Roof Deck Parapet Concept Design and Images
3. Siding Design at Wall Opening Details



1

PERRY RESIDENCE

764 GRACE STREET



2

PERRY RESIDENCE

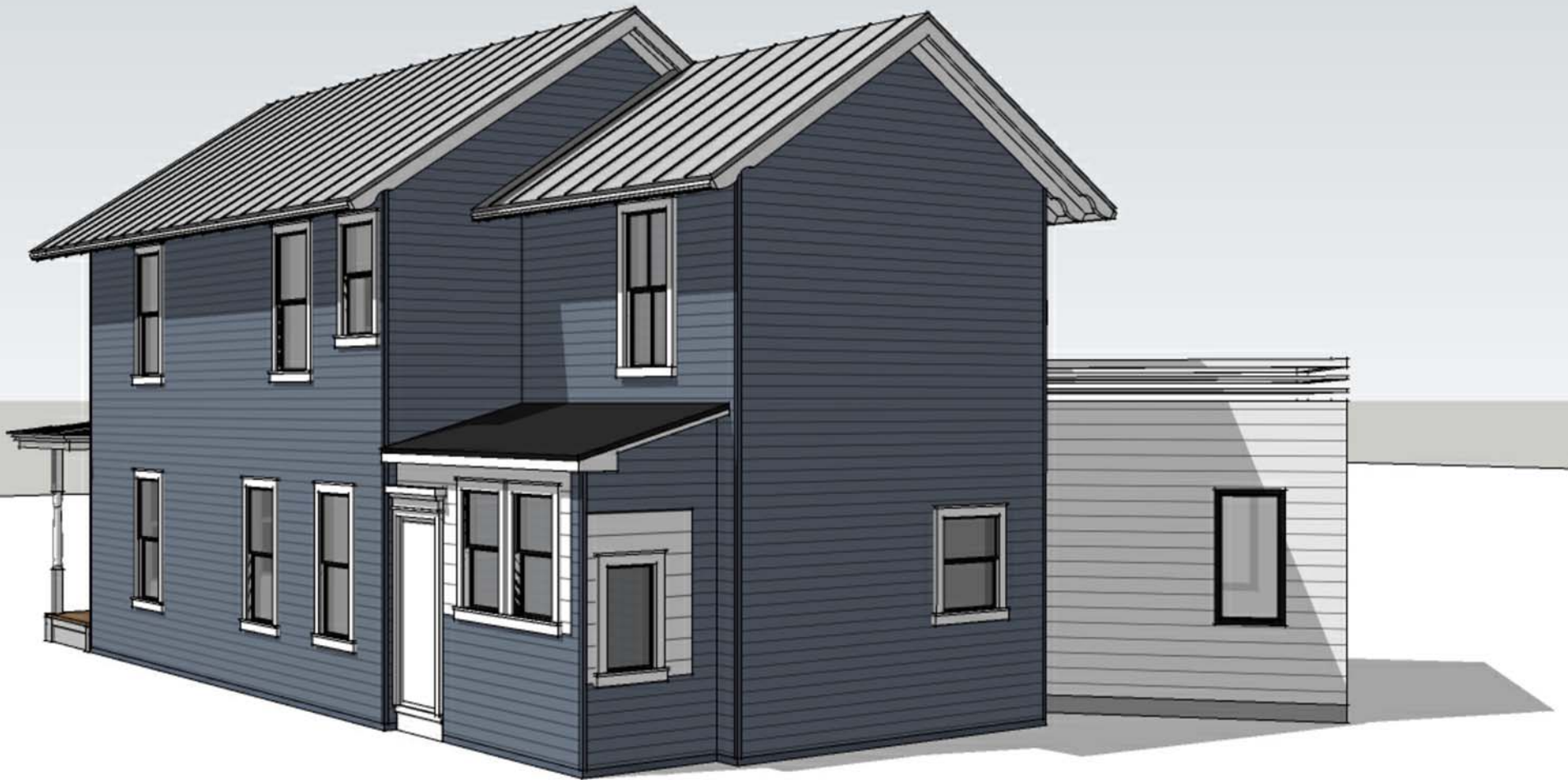
764 GRACE STREET



3

PERRY RESIDENCE

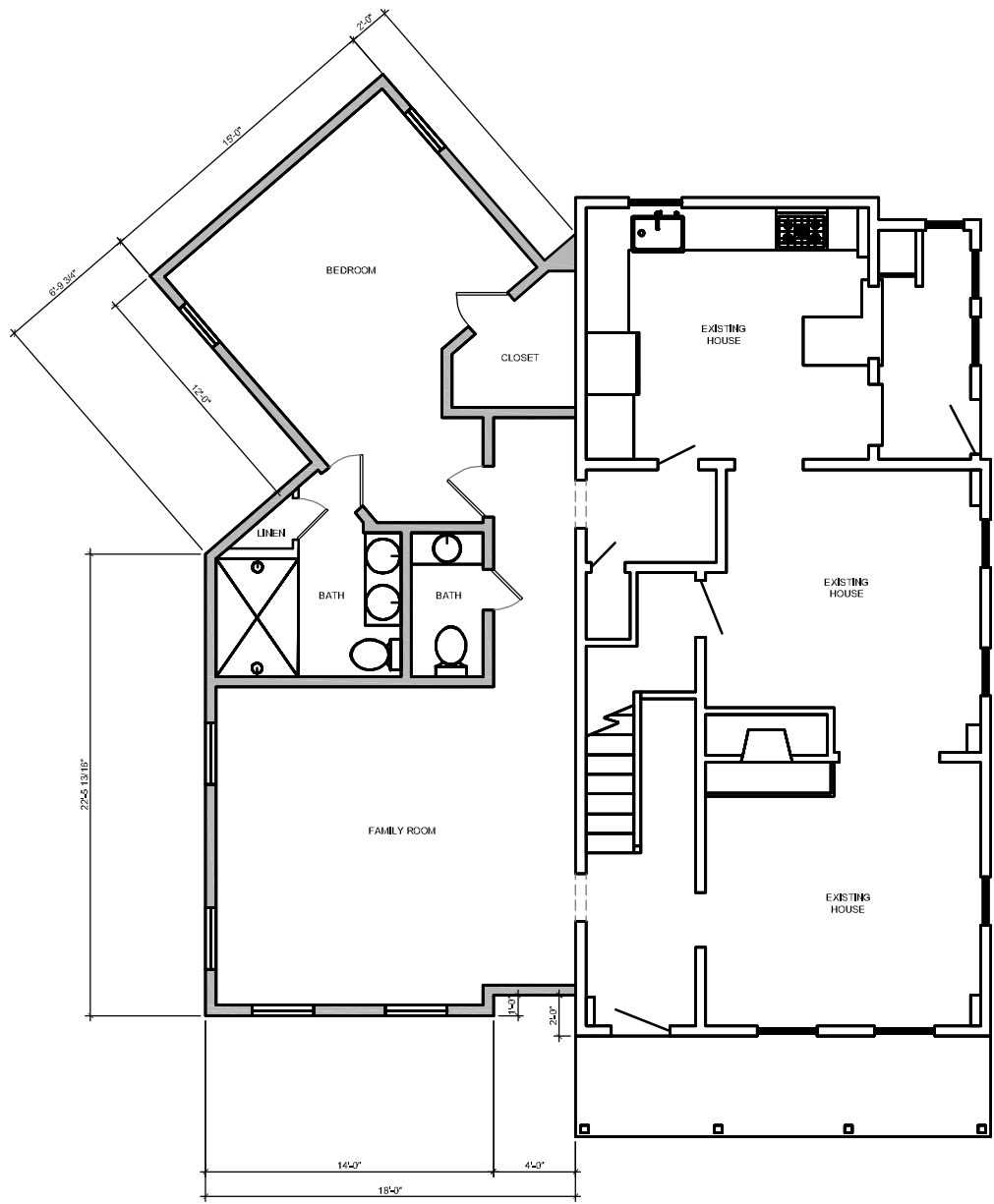
764 GRACE STREET



4

PERRY RESIDENCE

764 GRACE STREET



01

FIRST FLOOR PLAN | PROPOSED

1/8" = 1'-0"



SECOND FLOOR PLAN | PROPOSED



01

FRONT ELEVATION | PROPOSED

1/4" = 1'-0"



02

RIGHT SIDE ELEVATION | PROPOSED

1/4" = 1'-0"



03

REAR ELEVATION | PROPOSED

1/4" = 1'-0"

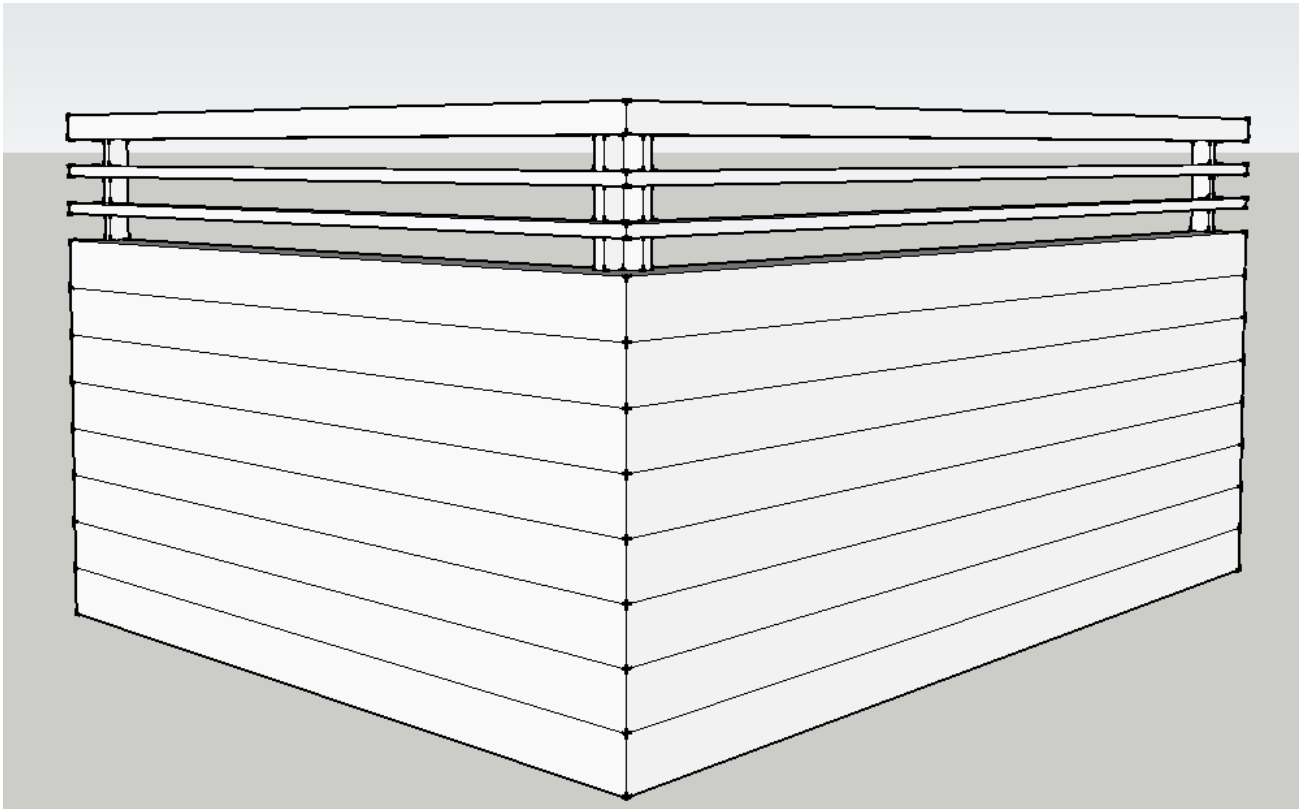


04

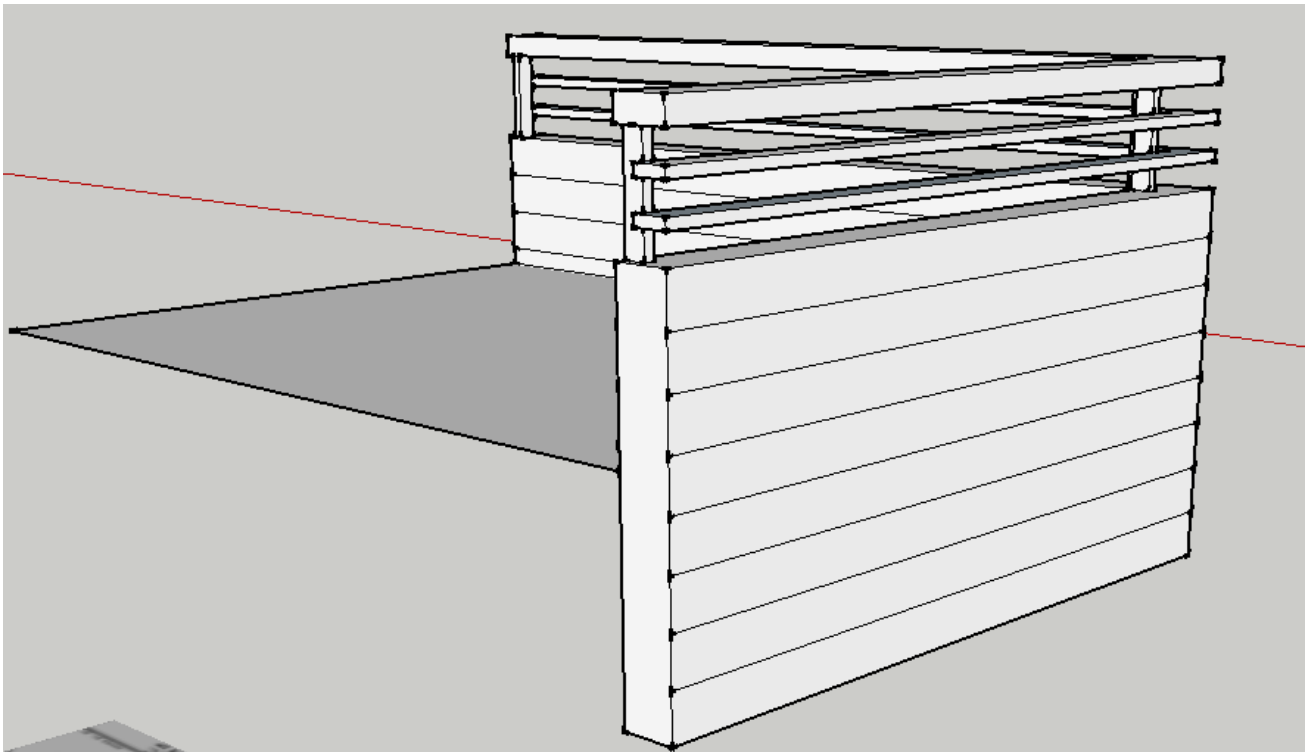
LEFT SIDE ELEVATION | PROPOSED

1/4" = 1'-0"

764 Grace Street Addition –Deck Parapet/Railing Concept



Mocked up Railing Design



Mocked up Railing Design



Idea for original design – solid wall, no railing



Idea for revised design – wall design continued but opened up



Idea for revised design – split solution with shorter solid wall and open railing



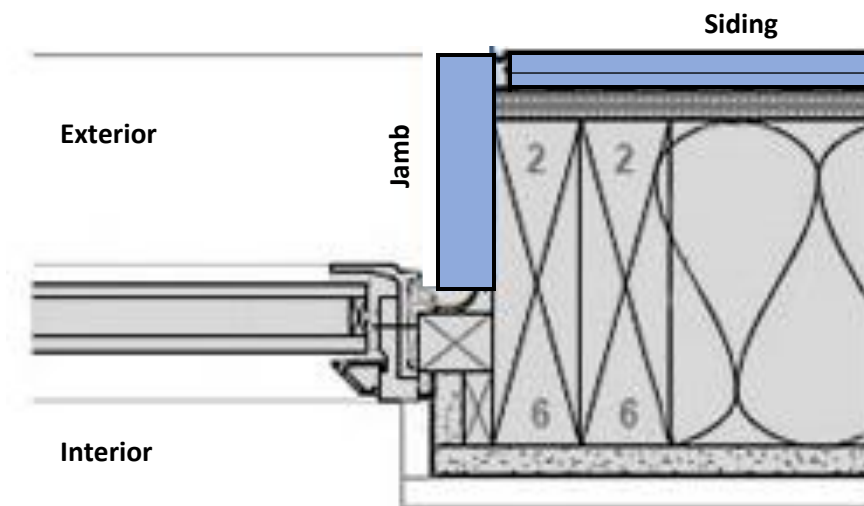
Idea for revised design – carrying wall plane up through railing

764 Grace Street Addition

Siding at Wall Openings – Design Options

OPTION 1

Extending opening jamb boards to be flush with siding and allow siding to abut to the board edge.



OPTION 2

Siding is mitered, wraps jambs, and returns to window frame.

