

**TOWN OF HERNDON, VIRGINIA
HISTORIC DISTRICT REVIEW BOARD
VIRTUAL WORK SESSION AGENDA
APRIL 7, 2021
HERNDON COUNCIL CHAMBERS BUILDING
765 LYNN STREET
7:00 P.M.**

CALL TO ORDER

1. Determination of Quorum

PUBLIC HEARING

2. **APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR AN ADDITION TO AN EXISTING STRUCTURE, HDRB #21-006**, to consider an application for a Certificate of Appropriateness for two additions to the single-family residential structure at 622 Madison Street, Herndon, Virginia, located between the intersection of Monroe Street and Madison Street and the intersection of Jackson Street and Madison Street, and further identified as Fairfax County Tax Map 0162-02-0263. The property is zoned R-10, Residential, Single Family; and consists of 19,117 total square feet of land. Owners: William H. and Lisa K. Nolf. Applicant: Basem Abdelhaq, Agent.

COMMENTS

3. Comments from the Staff Members
4. Comments from the Board Members

ADJOURNMENT

Title: HDRB #21-006; Additions to An Existing Structure –622 Madison St.

Staff Contact: Christopher J. Garcia, AICP
Community Design Planner
christopher.garcia@herndon-va.gov
(703) 787-7380

Summary Information

Applicant Request	Certificate of Appropriateness for a rear addition and side yard addition to a non-contributing residential structure		
Address	622 Madison Street		
Fairfax County Tax Map Number	0162-02-0263		
Applicant/Owner	William H. and Lisa K. Nolf		
Agent	Basem Abdelhaq		
Business/Organization	N/A		
Property Use	Single-family residential		
Zoning District	R-10, Residential, Single Family		
Parcel Size	19,117 square feet; 0.439 acres		
HDO Designation	Non-contributing		
Adjacent Zoning	North: R-10, Residential, Single-family South: R-10, Residential, Single-family East: R-10, Residential, Single-family West: R-10, Residential, Single-family		
Adjacent Property HDO Designations	North: Not in HDO South: Contributing East: Non-contributing West: Contributing		
Associated Cases	N/A		
Building Type(s)	One-story residential	Date of Construction:	circa 1954
Architectural Style(s)	Ranch		
Exterior Material(s)	Primary material: Vertical oriented wood panels, brick chimney; vinyl windows and shutters		
Neighborhood Design Profile	Single-family detached residential with a contributing structure to the south and west; and non-contributing residential structures to the east; and residential structures outside the district		
Comprehensive Plan Land Use Designation	Neighborhood Conservation		

Staff Recommendation	Staff is recommending approval of the additions
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Location Map



Case Details

Description:

The application proposes two additions, one 12.2' X 14.1' on the northwest corner and a second 23.67' X 14.2' addition with an 8.1' X 10.25' hyphen on the west side of the non-contributing structure. The addition will remove an existing deck, a north facing window, and an east facing door and window. The northwest addition will be clad with *Plytanium*® T1-11 wood siding with a vertical orientation, painted (dark blue) to match the existing T1-11 wood siding and roofed by extending the side gable roof line over the addition and covered with an asphalt shingle to match the existing roof material. The east of elevation of this addition will have one 2' -11" X 3' -11" American Craftsman aluminum, double-hung window with no lite divisions. The south elevation will have a 3' -0" X 6' -7" Jeld Wen wood panel door and an accompanying stoop for access to the rear yard. Fascia and corner trim boards will be sized and painted white to match the existing trim features on the existing structure. Five-inch white square shape gutters and 3" X 4" white aluminum downspouts will be placed on the west elevation and on the north elevations of the additions.

The side addition on the west side of the residence will have the same T1-11 wood siding, trim boards and a 2' -11" X 3' -11" American Craftsman aluminum, double-hung window with no lite divisions and inoperable louvered shutters (to match existing shutters). Two of the same sized aluminum windows will be installed on the west elevations without shutters and one window on the north elevation, also without shutters. The front facing gabled roof will also be covered by asphalt shingles as will the cross-gabled roof over the hyphen connecting the original structure to the addition. The hyphen will be clad with T1-11 wood siding painted to match. A 3' -0" X 6' -7" Jeld Wen wood panel door and an accompanying stoop for access to the front yard will be on the south elevation. One window on the northwest corner of the structure will be removed and replaced with a 3' -

0" X 6'-7" Jeld Wen wood panel door and an accompanying stoop for access to the rear yard. An existing window on the west elevation will be removed.

Five-inch white square shape gutters and 3" X 4" white aluminum downspouts will be placed on the west elevation and on the north elevations of the additions.

Both additions will be visible from the adjacent street, but largely obscured from view by the site's existing fence and vegetation (trees) (Attachment #1, #2 and #3).

Background:

The subject property contains a non-contributing residential structure to the Historic District Overlay and is an example of a ranch-styled home and a generally rectangular-shaped building form built circa 1954, outside the district's period of significance.

Applicable Zoning Ordinance Regulations and Design Guidance:

- Town Zoning Ordinance Section 78-155.6. - *Site Plans, Subdivision Plans, Single Lot Development Plans and Building Location Surveys*
- Town Zoning Ordinance Section 78-60.3. - *Heritage Preservation Overlay District (HP District)* (Attachment #6)
- Town of Herndon Historic District Overlay Guidelines, *Chapter 8 Treatment of Noncontributing Buildings* (Pages 102-103)

Staff Analysis

1. The Historic District Overlay Guidelines, Chapter 8 Treatment of Noncontributing Buildings (Pages 102-103) provide guidance for additions to noncontributing structures (outside the district's period of significance). These guidelines largely focusing on additions not overpowering the form, scale or architectural character of the associated residential building. The northwest corner addition simply appears to complete a missing volume and attempts to seamlessly, as possible, the building form, roof form and exterior materials. Uniquely, the building is clad with a combination stucco and T1-11 siding, which may indicate an odd history of alterations, not documented in any prior case at the address. The addition continues this unique use of T1-11 siding, small windows, and use of similar doors found on the existing structure. Further, the addition simultaneously maintains the contrast of stucco and T1-11 wood siding, while continuing the roof slope and materials.

Similarly, the two-bedroom addition and accompanying hyphen are of smaller scale and height of the existing structure, but also use the small windows, shutters, T1-11 siding, similar doors, similar or identical roof slopes with compatible asphalt roof materials that are both differentiated as a new addition, but compatible with the existing structure. While the existing residential structure and the additions moderately express the Ranch architectural style, the architectural form and general character of the Ranch style are carried through with the new features and integrated with existing residential structure with matching exterior cladding and similar fenestrations. The proposed additions generally conform to the Herndon Historic District Guidelines (Attachment #4).

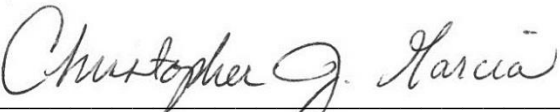
2. Section 78-60.3(f) of the Zoning Ordinance requires the HDRB to consider specific criteria/standards when reviewing applications (Attachment #5). In consideration of the staff analysis, staff finds proposed building architecturally compatible with the historic landmarks, buildings, and structures in the district and on the subject property.

Staff Recommendation:

Alternatives:	1. Deny the application. 2. Approve the application as submitted. 3. Approve the application with condition(s). The HDRB may also continue the review to future public hearing if additional time is necessary to address a specified design issue or concern raised.
Staff Recommendation:	Motion for approval of HPRB #21-006, in accordance with the resolution dated April 21, 2021 provided as Attachment #6 to the April 7, 2021 HDRB Staff Report, and to be constructed in substantial conformance with the application and supporting materials as submitted on or about March 8, 2021.

Report Attachments

1.	Aerial Image
2.	Applicant Letter
3.	Case Materials (House Photo, Proposed Drawings, Materials Information)
4.	Historic District Overlay Guidelines Review Matrix
5.	Town's Zoning Ordinance, Section 78-60.3
6.	HDRB Draft Resolution
7.	Approved Building Location Survey



Christopher J. Garcia
Community Design Planner



Bryce A. Perry
Deputy Director



**SITE LOCATION – AERIAL
PHOTO**



Imagery prepared by Town of Herndon
Department of Community Development
Image source: Google Earth © 2020

From: Basem babdelhaq@aol.com
Subject: Fwd: 622 Madison St
Date: Feb 7, 2021 at 6:18:06 PM
To: Mohammed Alhatto malhatto@gmail.com

Sent from my iPhone

Begin forwarded message:

From: Basem <babdelhaq@aol.com>
Date: February 7, 2021 at 6:12:21 PM EST
To: malhato@gmail.com
Subject: Fwd: 622 Madison St

Sent from my iPhone

Begin forwarded message:

From: babdelhaq@aol.com
Date: February 7, 2021 at 3:51:12 PM EST
To: christopher.garcia@herndon-va.gov
Cc: babdelhaq@aol.com
Subject: 622 Madison St

Hey Mr Garcia

property : 622 Madison Street
Herndon VA 20170

Material will be used for exterior

Roof covering—asphalt shingles

siding—— wood siding 48 by 96 panels will painted to match existing house wood sidings/gray color

Windows—— wood windows/ size 35.5 by 47.5 inch/ 200 series double hung wood/white exterior

exterior doors —— fire rated steel 36 by 80 inch 6 panel doors

shutters for windows—— wood painted red to match existing shutters

exposed foundations—— CMU 8 by 16 inch

soffits—— aluminum sheets/white

wood trims and fascia boards—— wood painted white will match existing house trims

Gutters and downspouts——aluminum /white

RECEIVED ON

FEB 08 2021

DEPARTMENT OF COMMUNITY DEVELOPMENT

Hey Mr Garcia

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Herndon VA 20170

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wood trims and fascia boards —— wood painted white will match existing house trims

Gutters and downspouts —— aluminum /white

plumbing vent pipe/ back roof 2 inch white pvc

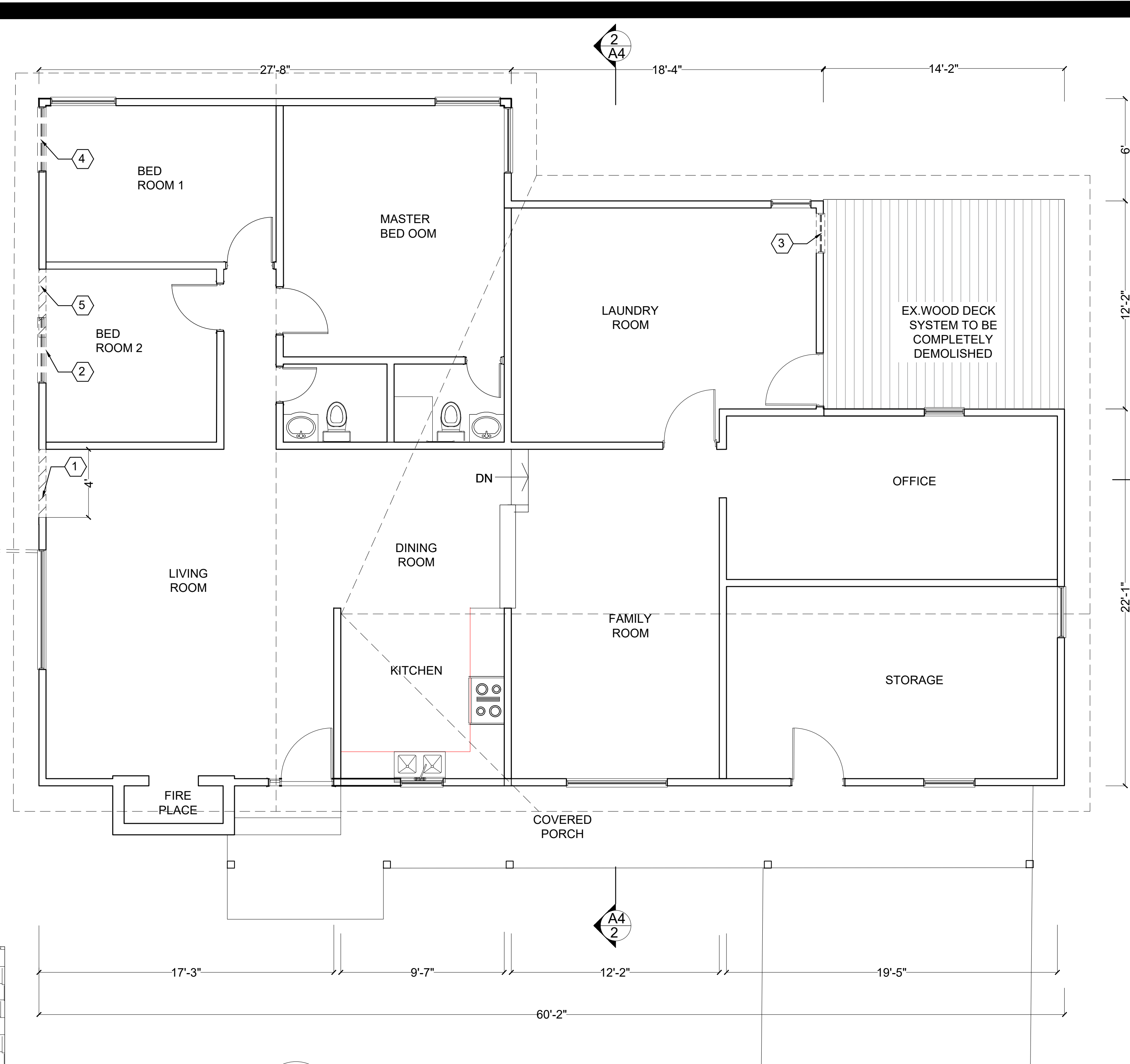
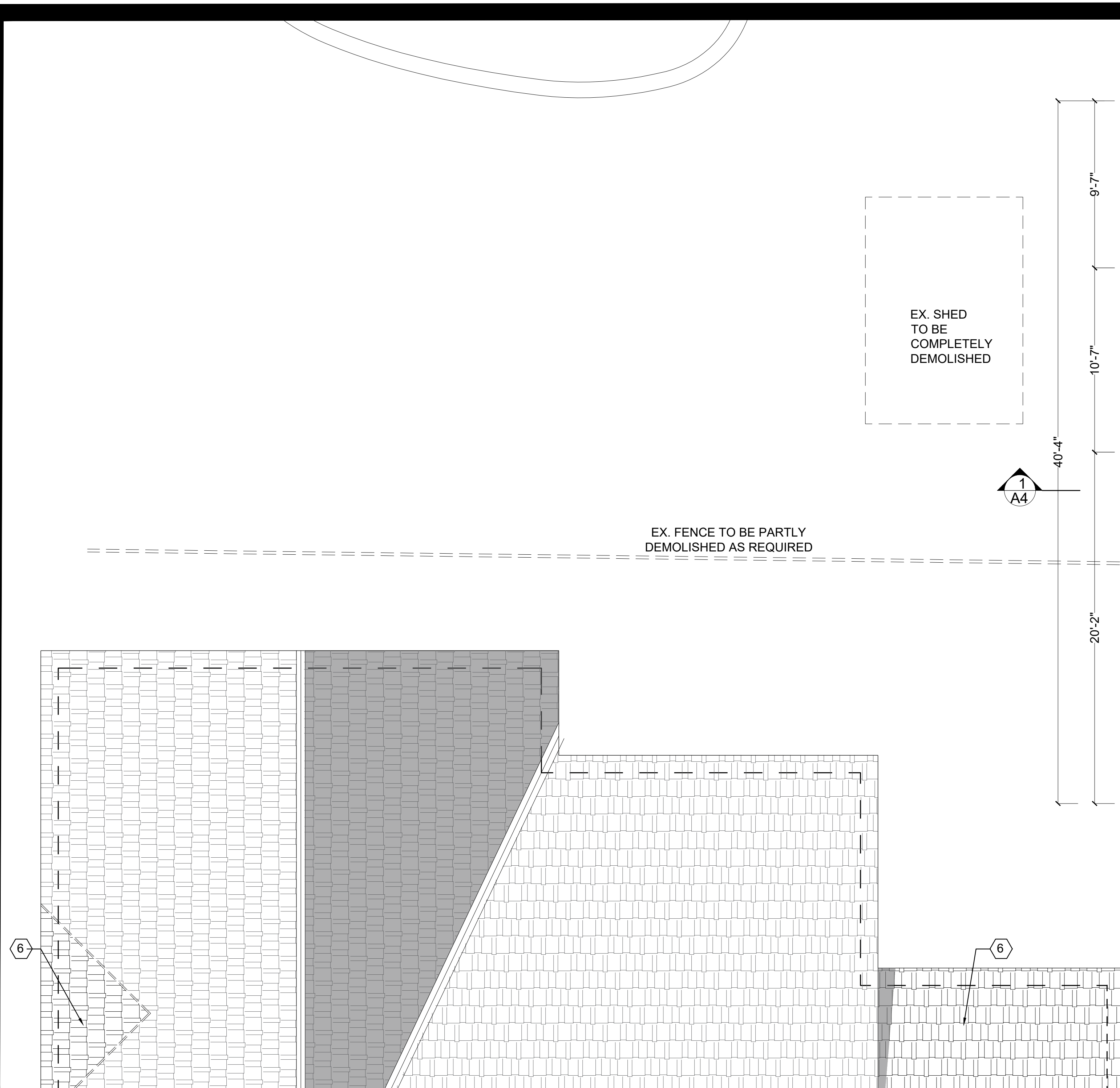
Roof ridge vent —— brown metal sheets

RECEIVED ON

FEB 08 2021

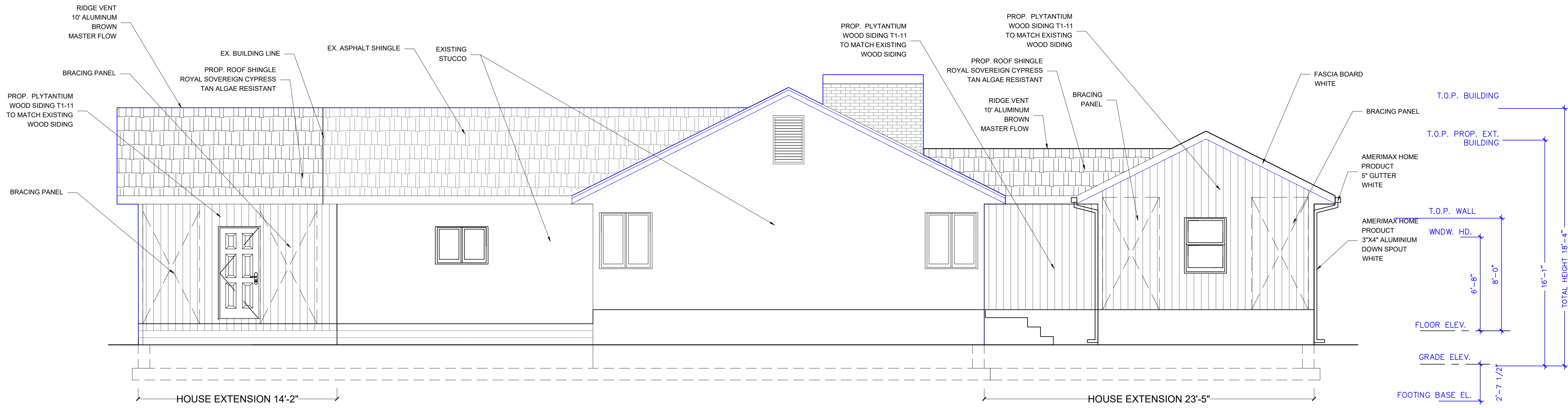
DEPARTMENT OF COMMUNITY DEVELOPMENT



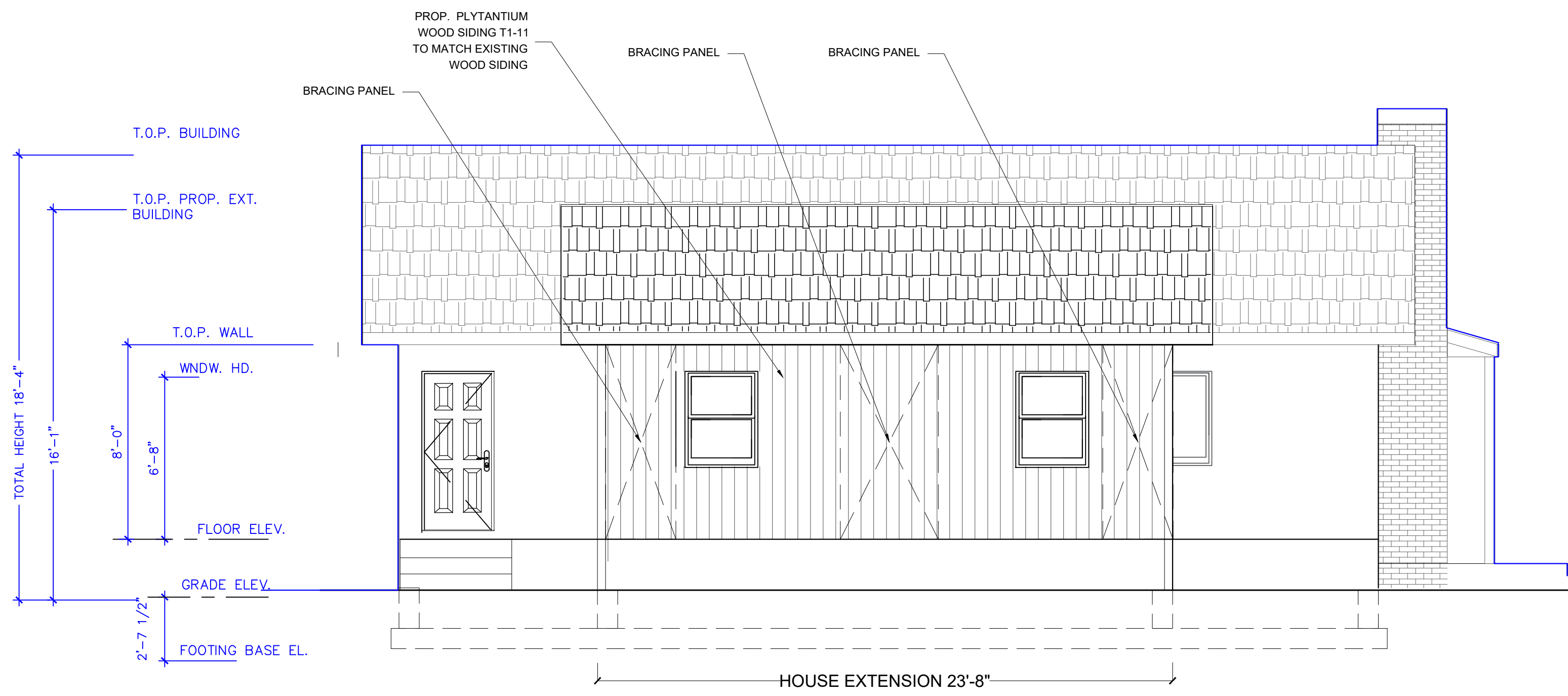


EX. & DEMOLITION PLAN

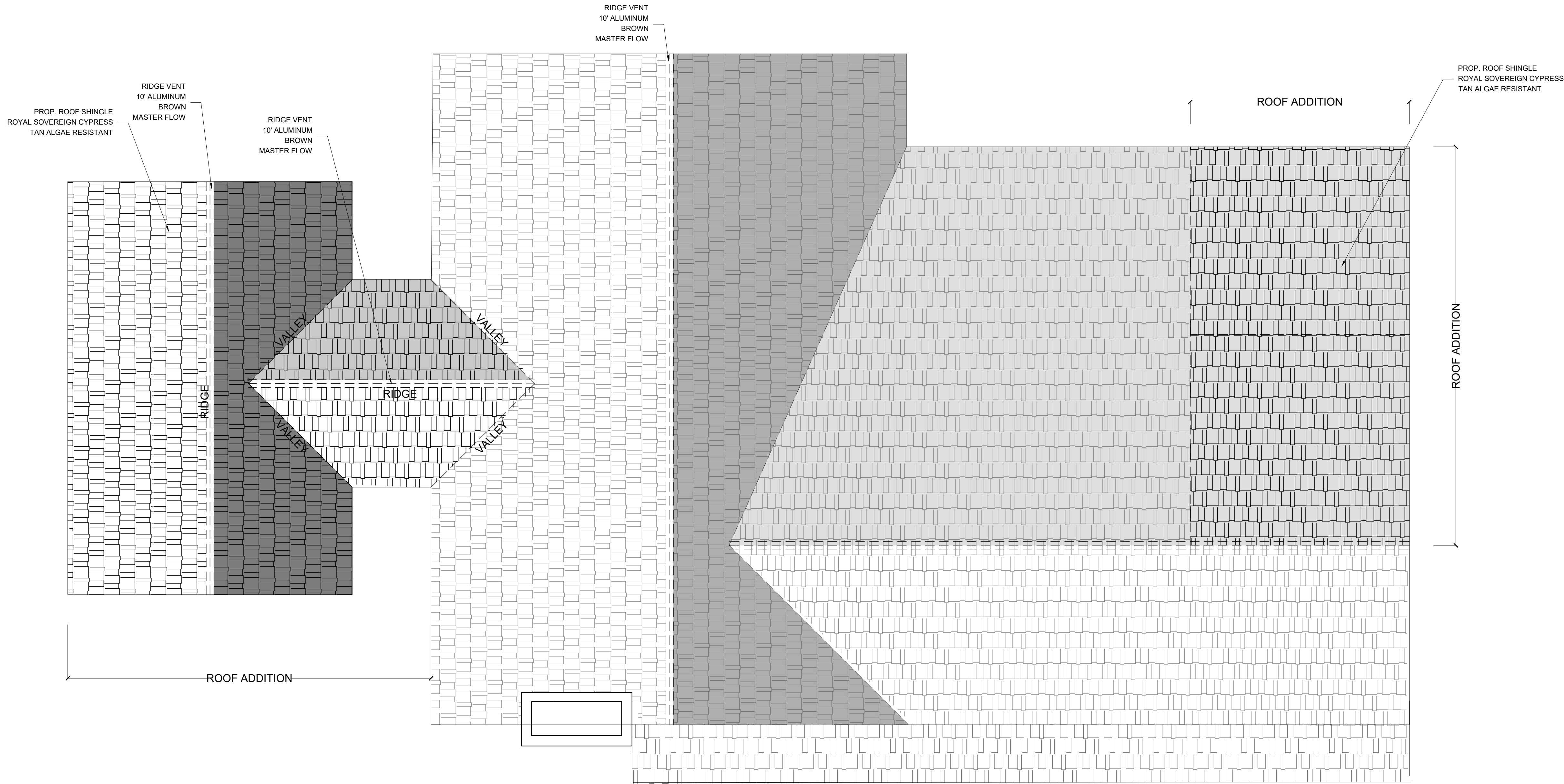
- | DEMOLITION KEY NOTES | |
|----------------------|--|
| 1 | PROVIDE PARTLY REMOVAL OF EXISTING EXTERIOR WALL SYSTEM FOR OPENING ACCESS TO PROPOSED EXTENSION |
| 2 | PROVIDE COMPLETELY REMOVAL OF EXISTING WINDOW TO PROPOSED NEW LOCATION AND CLOSE THE OPENING |
| 3 | PROVIDE COMPLETELY REMOVAL OF EXISTING WINDOW & CLOSE THE OPENING |
| 4 | PROVIDE PARTIAL REMOVAL OF EXTERIOR WALL TO ACCOMMODATE NEW DOOR AS REQUIRED |
| 5 | PROVIDE PARTIAL REMOVAL OF EXTERIOR WALL TO ACCOMMODATE THE WINDOW AS REQUIRED |
| 6 | PROVIDE PARTIAL REMOVAL OF ROOF TILE TO ACCOMMODATE NEW ROOF RAFTER AS REQUIRED |



3
A7 **PROPOSED NORTH ELEVATION**
SCALE 1" = 4'



4
A7 **PROPOSED WEST ELEVATION**
SCALE 1" = 4'



1
A6 PROPOSED ROOF PLAN
SCALE 1" = 4'

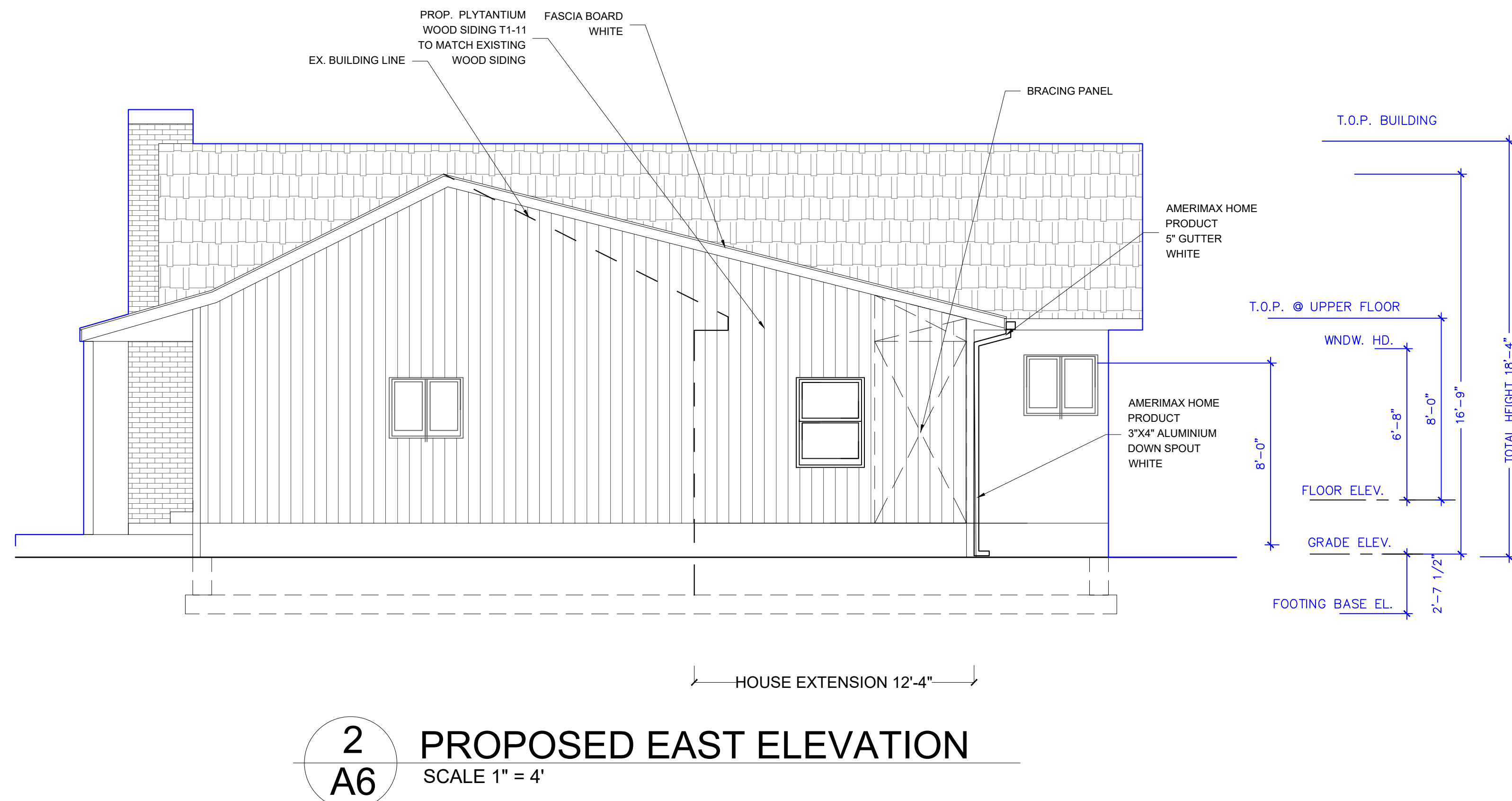


Diagram showing a window with two panes and a shutter, both labeled W1.

17'-3"

9'-7"

12'-2"

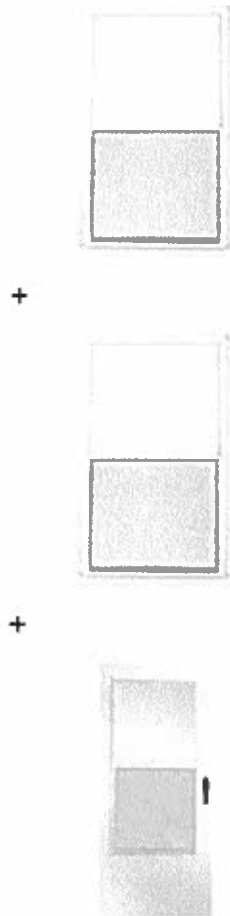
19'-5"

60'-2"

1
A4 PROPOSED PLAN
SCALE 1" = 4'

Property: 622 Madisn st, Herndon VA

Windows: By Larson



Product Overview

LARSON Low-E storm windows cut energy loss by up to 60% by letting in the sunlight while filtering out solar heat and damaging UV rays. The Low-E glass window and durable fiberglass screen combination will keep your home warmer in the winter and cooler in the summer. You can save up to 35 dollars in energy costs per window per year.

- Easily installs over existing windows year round for instant energy efficiency equal to or better than today's most advanced replacement windows at a fraction of the cost
- Low-E glass adds up to 60% greater energy efficiency year round by bouncing heat back to its source
- Added barrier reduces outside noise for a quieter home
- Woolpile weatherstrip reduces air infiltration and adds additional thermal barrier
- Bottom expander adjusts for the tightest fit against your opening
- Installation is easy with only a few screws that are color matched to your window for a clean look
- Half screen included for easy ventilation

- California residents
see Prop 65 WARNINGS

Specifications

Dimensions

Grid Width (in.)

None

Jamb Depth (in.)

1

Product Depth (in.)

.915

Product Height (in.)

47

Product Width (in.)

35

Rough Opening Height (In.)

48

Rough Opening Width (In.)

36 1/2

Width (in.) x Height (in.)

35 x 47

Details

Exterior Color/ Finish

White

Exterior Color/Finish Family

White

Features

Venting

Frame Material

Aluminum

Frame Type

Standard Frame

Glass Type

Energy Efficient Glass,Low-E Glass

Glazing Type

Single-Pane

Grid Pattern

No Grid

Grille Type

No Grille

Hardware Color/Finish Family

White

Included

Screen

Interior Color/Finish Family

White

Lock Type

Self-Latching Lock

Number of Grids

No Grid

Number of Locks

Product Weight (lb.)

15

Returnable

180-Day

Solar Heat Gain Coefficient

.42

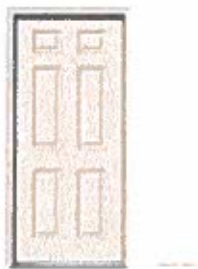
U-Factor

.26

Window Use Type

New Construction,Replacement

36 inch Entry Steel Door



This item: 36 in. x 80 in. 6-Panel Primed Right-Hand Inswing Steel Prehung Front Door w/Brickmould

Product Overview

Boasting long-lasting beauty, durability and easy maintenance, JELD-WEN Premium Steel Pre-Hung Front Doors are a classic addition to your entryway. Their high definition panels create an upscale look that

adds architectural interest for increased curb appeal. Each of these steel doors were built with a strong and secure construction to prevent water absorption and resist rust. Features right-hand inswing.

- Strong and secure steel with high definition panels for a high-end look
- Energy-efficient core to help lower heating and cooling costs
- Polystyrene core provides long-lasting insulation
- Brickmould (trim) is primed and ready to paint
- Galvanized steel resists rust and corrosion
- 2-Coats of neutral, low-sheen, baked-on enamel primer enables easier finishing
- Primed doors give you the design flexibility to choose any finish color
- Door is prehung in frame for easier installation
- Predrilled double bore hole for lock installation (lock sold separately)
- From the outside, door opens into the home with hinges on the right
- Easy to care for and designed to prevent water absorption and resist rust
- Reinforced lock area provides strength and security for door hardware



KwiksetJuno Satin Nickel Exterior Entry Door Knob and Single Cylinder Deadbolt Combo Pack Featuring SmartKey Security

Roof Asphalt Shingles by GAF

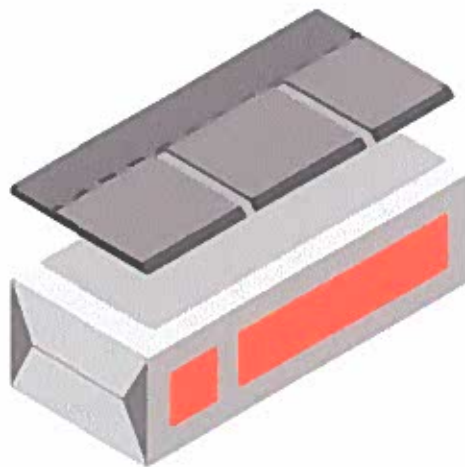


Product Overview

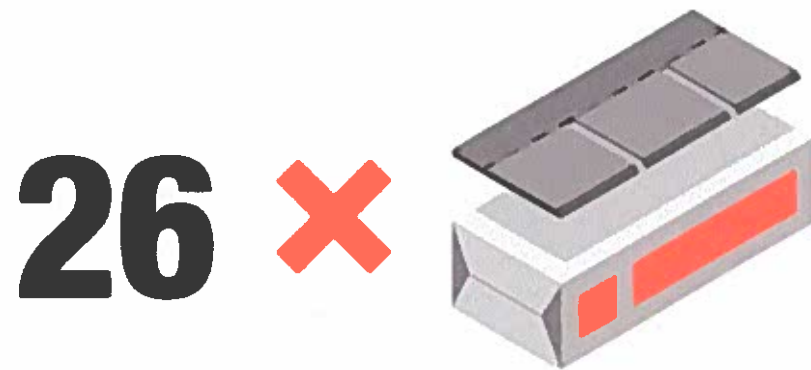
BUNDLES

PER 100 SQ. FT.

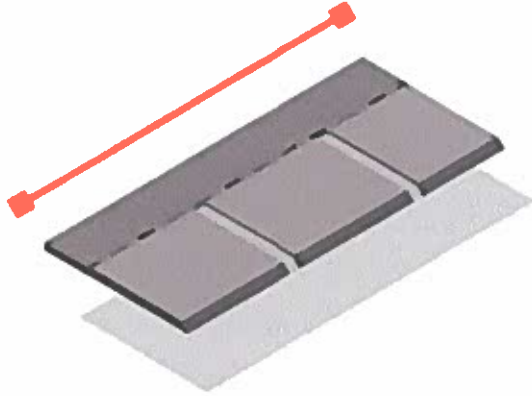
3 **×**



PIECES/BUNDLE



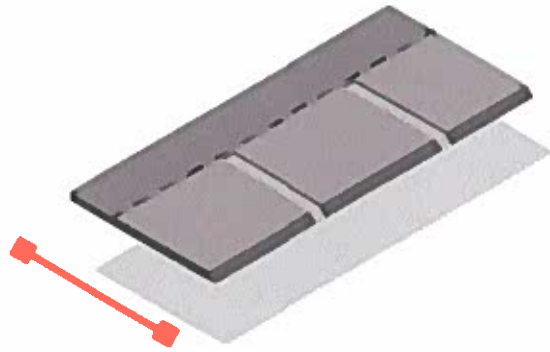
LENGTH



36.938 in. 



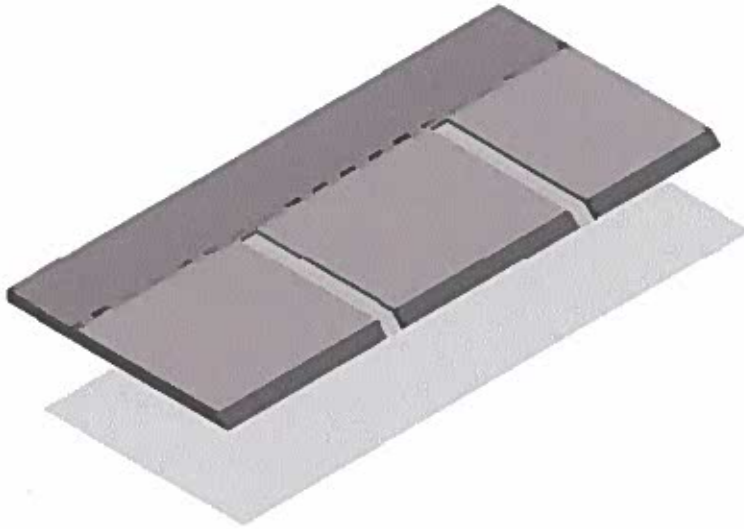
WIDTH



12 in.



ROOFING TYPE



3-TAB

WIND RESISTANT



WARRANTY



More ♥

Royal Sovereign Shingles have a simple yet timeless beauty. Some people think all 3-tab shingles look pretty much alike. Not so. GAF has gone to great pains to make Royal Sovereign the most beautiful strip shingle you can install.

- 25-years ltd transferable warranty with smart choice protection (non prorated material and installation labor coverage) for the first 5-years (see GAF shingle and accessory ltd warranty for complete coverage and restrictions)
- Proven quality with over 10 billion Royal sovereign shingles having been installed in North America - enough to circle the earth more than 200 times if they were laid end to end
- Advanced protection shingles technology reduces the use of precious natural resources while providing excellent protection for your home
- Looks great with color lock ceramic firing (granules) that helps maintain the true shingle color
- Stainguard protection helps ensure the beauty of your roof against unsightly blue green algae (StainGuard protection applies only to shingles with StainGuard labeled packaging; see GAF shingle and accessory ltd warranty for details)
- Passes the industry's 2 toughest wind tests: ASTM's 110 MPH and 150 MPH wind tests (under controlled laboratory conditions)
- Micro Weave core offers a strong foundation that helps resist cracking and splitting
- Meets the highest roofing fire rating, UL class A, listed to ANSI/UL 790

- Long lasting beauty may increase your home's resale value
- [Request a quote for installation.](#)
- For design inspiration, [Click here for exterior front of home trend ideas](#)
- Shop all [GAF Shingles](#) here
- California residents
see Prop 65 WARNINGS

Info & Guides

- [Warranty](#)
- [Instructions / Assembly](#)
- [Specification](#)
- [Pre-Delivery/Install Checklist](#)

You will need Adobe® Acrobat® Reader to view PDF documents. [Download](#) a free copy from the Adobe Web site.

Get Everything You Need (7)

-



GAFPro-Start 120 lin. ft. Eave and Rake Roofing Starter Strip Shingles



Grip-Rite#12 x 1 in. Plastic Round Cap Roofing Nail
(3,000-Pack)

GAFFeltBuster 1000 sq. ft. Synthetic Roofing
Underlayment Roll



GAFWeatherBlocker 50 lin. ft. Premium Eave and Rake
Roofing Starter Strip Shingles

GAF Cobra Exhaust Vent 10.5 in. x 20 ft. Mesh Roll Ridge
Vent in Black - (Nail Gun Version)

GAFQuickStart 33 lin. ft. Peel and Stick Roofing Starter
Shingle Roll

GAFDeck-Armor 1000 sq. ft Premium Breathable
Synthetic Roofing Underlayment Roll

Specifications

Dimensions

Product Length (in.)

36

Product Thickness (in.)

2.4

Product Width (in.)

12

Details

Color Family

Brown

Color/Finish

Cypress Tan

Features

Energy Star Rated,High Wind Resistant

Fire Rating (UL 790)

Class A

Material

Asphalt

Number of bundles per 100 sq. ft. (Square)

3

Number of pieces per bundle

26

Requirements

Attic Ventilation,Underlayment

Roofing Product Type

3-Tab Shingle

Shingle Exposure (in.)

5

Shingle Type

3-Tab Shingle

Warranty

25 Year Limited Warranty

Weight Per Bundle (lb.)

62

Wood Siding T1-11



- Exterior siding plywood panels
- Rated for exterior use in construction
- Woodgrain texture with attractive groove pattern

Product Overview

Plywood siding is an all-wood exterior-grade panel. It is ideal for siding applications from new home construction, utility buildings, planters, dog houses and other remodeling or do-it-yourself-projects. Plywood siding features a rough-sawn textured face for a beautiful rustic appearance.

- Rich woodgrain texture of Southern Yellow Pine
- Attractive 8 in. groove pattern
- Easy to install with long-term durability
- Shiplapped 8 ft. edges for a seamless joint
- Can be painted or stained for a variety of exterior projects
- Recommended drain: K-7272 or K-7271
- Note: Product may vary by store

7/16 in. x 48 in. x 8ft. Oriented Strand Board

Specifications

Dimensions

Actual Product Length (in.)

95.938

Actual Product Thickness (in.)

0.563

Actual Product Width (in.)

47.938

Coverage Area (sq. ft.)

47.938 ft²

Nominal Product Length (in.)

95.938

Nominal Product Thickness (in.)

0.563

Nominal Product Width (in.)

47.938

Details

Color Family

Brown / Tan

Fastener recommendation

Nail

Finish Type

Unfinished

Lumber Wood Species

Pine

Material

Wood

Pressure Treated

No

Profiles

Shiplap

Siding Features

Ready to Paint

Siding Type

Panel

Warranty / Certifications

Manufacturer Warranty

None

Ridge Vent by Master Flow



 Master Flow

Specifications

7.75 in

Net-Free Area (Sq. In.)

21.5

Product Depth (in.)

120

Product Height (in.)

2

Product Width (in.)

8

Details

Cap Shingle Compatible

10" Wide

Color Family

Black

Color/Finish

Black

Color/Finish Family

Black

Features

Paintable

Intake/Exhaust

Exhaust

Material

Aluminum

Mounting Position

Roof Ridge

Paintable/Stainable

Yes

Power Type

Non-Powered

Product Weight (lb.)

2.67

Screen Included

No

Shape

Triangle

UV Resistant

No

[*Warranty / Certifications*](#)

Manufacturer Warranty

Aluminum Gutters and Downspout



5 in. x 10 ft. White K-Style Aluminum Gutter
by

Amerimax Home Products

Color: White

Product Depth (in.): 5

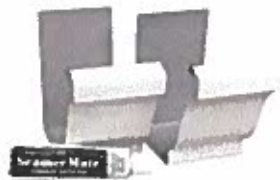
4.5

5

Frequently Bought Together



+

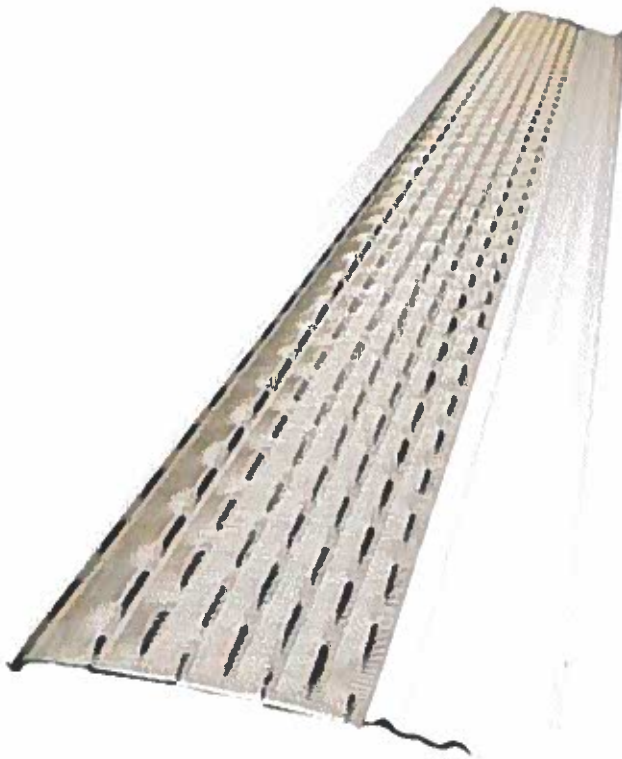


Product Overview

The Amerimax Home Products 10 ft. Aluminum Gutter features a baked-on, white finish to complement your home and durable aluminum construction for long life. Use this gutter to control runoff and help

prevent foundation erosion. This gutter has a convenient, do-it-yourself length and is ideal for repairs, replacement and as an add-on to existing 5 in. gutter systems.

- Aluminum construction for durability
- Baked-on white finish for low maintenance
- K style design to complement your home
- Use to control roof runoff, protect walls and help prevent foundation erosion
- Use to repair, replace or add on to an existing gutter system
- Convenient, do-it-yourself length
- Fits 5 in. gutter systems
- Easy installation



Gibraltar Building Products 4 ft. x 5 in. Clean Mesh White Aluminum Gutter Guard (25-per carton)



Amerimax Home Products 5 in. Aluminum Slip Joint Connector

Amerimax Home Products 5 in. K-Style Aluminum Outside Gutter Mitre

Amerimax Home Products 5 in. White Aluminum Seamers with Seamermate (2-Pack)

Amerimax Home Products 5 in. Aluminum Left End Cap



Amerimax Home Products 3 in. x 4 in. x 10 ft. Aluminum Downspout White

Amerimax Home Products 2 in. x 3 in. Aluminum Downspout B Elbow

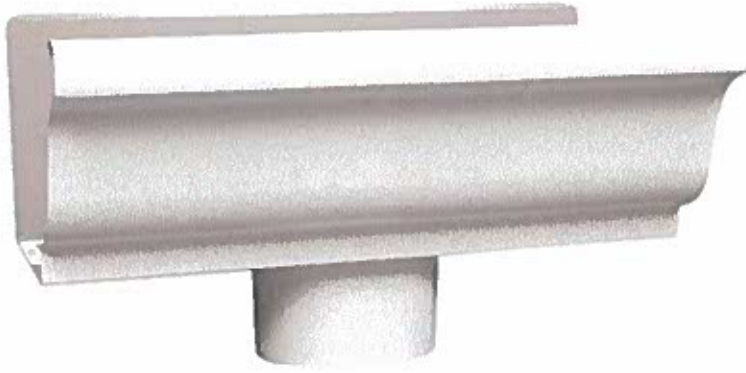
Amerimax Home Products 3 ft. White Snap-In Filter Gutter Guard



Amerimax Home Products 2 in. x 3 in. White Aluminum Downspout

Amerimax Home Products 5 in. White Aluminum Gutter End with 3 in. x 4 in. Plastic Drop Outlet

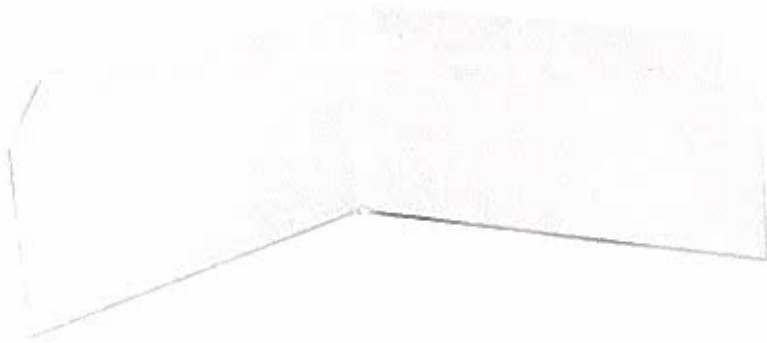
Amerimax Home Products White Aluminum Downspout Band



Amerimax Home Products 5 in. x 0.5 ft. White Aluminum
End with Drop

Amerimax Home Products 5 in. Hidden Hanger with Screw

Amerimax Home Products 5 in. White Aluminum Right End
Cap



Amerimax Home Products Aluminum Gusher Guards (3-Pack)

Amerimax Home Products 10 oz. Gutter Sealant

Amerimax Home Products 5 in. Aluminum Inside Mitre



Amerimax Home Products White Flex-Elbow

Sponsored Products

Compare Similar Gutters



CURRENT PRODUCT



Brand	Amerimax Home Products	Amerimax Home Products
Name	5 in. x 0.5 ft. Brown Aluminum Gutter End with Outlet	5 in. x 10 ft. White K-Style Aluminum Gutter
Price	\$720	\$778
Ratings	(28)	(96)
Material	Aluminum	Vinyl
Gutter Size	5 in.	5 in.
Features	Paintable,Rustproof	Paintable,Rustproof
	View Product	View Product

Specifications

Dimensions

Gutter Size

5 in.

Product Depth (in.)

5

Product Height (in.)

3.5

Product Length (in.)

120

Product Width (in.)

5

Details

Color

White

Color Family

White

Features

Paintable,Rustproof

Material

Vinyl

Material

Aluminum

Product Weight (lb.)

2.443

Warranty / Certifications

Manufacturer Warranty

Limited Manufacturers Warranty - Free from defects in materials and workmanship

Title: HDRB #21-006; Additions To An Existing Structure –622 Madison St.

Historic District Overlay Guidelines Review Matrix

Chapter 8 Treatment of Non-Contributing Buildings		
Guidelines for New Additions (pages 102-103)		
Subsection	Guidelines	Staff Evaluation
	1. Proposed additions that remove more than 49% of the exterior walls and/or roof require a new construction and demolition COA.	The proposed addition is removes less than 20% of existing wall surfaces on the rear façade and the west façade, therefore the proposed additions comply with the guideline and does not required a demolition or new construction COA.
	2. The proposed addition(s) should not overpower the form or change the scale of the existing building to avoid impacting the character of the HDO.	As noted in the staff report, the addition on the northeast corner of the house simply continues a rear façade wall plane, a side façade wall plane and extend the existing roof slope and roof line. The west addition uses similar forms and features and the existing house but is clearly scaled to be small and subordinate to the original dwelling structure design. In addition, the design proposes similar or the same exterior features such as vertically oriented T1-11 wood siding, similar window sizes and designs, as well as similar exterior doors. With the attempt to integrate the addition forms and materials with existing, the additions are largely obscured by site features such as fencing and vegetation, the primary façade is not significantly impacted and even less impactful to adjacent properties within the HDO. The proposed additions comply with this guideline.
	3. The scale, massing and design of the roof should reflect the scale and style of the addition and should not detract from the existing building. a. If the addition and the existing building share a similar roof form, the slope and massing of the addition's roof should reflect the roof slope and massing of the existing building.	As noted in the previous design guideline evaluation the additions are of smaller scale and/or largely not visible from adjacent streets and rights-of-way, thus not detracting from the existing dwelling. Continuation of the roof form and materials on one addition and use of the same / similar roof forms on the other addition connecting to the existing structure (only at a reduced scale) addresses the scale, massing and roof designs

	b. The scale, massing, design and materials of the roof should not detract from the original building or the character of the HDO. c. If the proposed addition(s) removes, modifies or connects to the roof of the existing building, new roof connections should be below the peak of the existing roof. d. The scale of proposed dormers should reflect the scale and massing of the addition and the existing building. e. Proposed dormers should be sized and located so that portions of roof visually frame the sides and top of the dormer as well as the base of the dormer unless the dormer breaks the eaves of the building. f. Dormers should not detract from the character of the existing building or of the HDO. They should generally reflect the architectural style of the associated building.	comply with the pertinent design guidelines. Dormers are not proposed with either addition, thus the corresponding design guidelines do not apply to this application.
	4. The exterior wall material and finish of the proposed addition should complement that of the existing building and not detract from the character of the HDO. a. Alternative materials should be evaluated based upon the guidelines for noncontributing resources found in Chapter 6.	As detailed in the staff report, the proposed addition and alterations has achieved the dichotomy of compatibility and differentiation through sameness of materials, continuation of the unique materials combination, which likely occurred over time and otherwise do not detract from the overall character of the Ranch styled dwelling that has undergone modifications that are not well documented. The lack of documentation may be an indication that the existing materials are not original, however the proposed additions do not appear to detract from the design as visualized today. The proposed additions comply with the guidelines.
	5. On building elevations visible from the right-of-way, exposed foundations should not exceed 2 feet in height, or the height established by the existing building, whichever is less. a. The appearance of exposed foundations should match that of the existing building.	These guidelines do not apply as the exposed foundation(s) and walls are largely not visible from the adjacent right-of-way along Madison Street.
	6. If an alternative architectural style is employed in the design of the addition, it should complement the noncontributing building in its form and scale.	No alternative architectural style is depicted in the submission materials; thus, these guidelines do not apply.

	a. Alternative architectural styles should reflect the architectural style of the original building or later architectural periods and not attempt to create a false historical narrative.	
	7. The style of the proposed windows and doors, including framing and lite arrangement, should reflect the architectural style and scale of the addition. a. For windows consisting of multiple panes of glass, simulated divided lites should have dimensional muntins or grills on the exterior of the glass. b. Glass should be clear unless decorative elements or frosting are employed consistent with the architectural style of the addition.	The window sizing, window selections, door selections, and trim features are reflective of the existing features currently on the structure. The proposed structure uses small double hung windows without lite divisions, nearly identical panel doors, and glass matching the existing non-contributing structure. The proposed additions comply with these guidelines.
	8. The exterior size, shape, form and materials of new chimneys should reflect the architectural style of the addition. a. Chimneys should be constructed of or clad in natural stone or brick. b. The scale, mass and form of a new chimney should be appropriate to the style of the building. c. Chimneys and flues should not detract from the overall appearance of the building or the HDO. d. Flues should be screened unless located on a rear elevation not visible from the public right-of-way. e. Flues for manufactured fireplaces should not extend up the exterior side of the building unless enclosed within a masonry clad chimney of a mass, scale and style appropriate to the building.	No new chimney feature is depicted in the submission materials; thus, these guidelines do not apply.
	9. Second story additions to existing buildings are generally not appropriate unless they can meet the following criteria: a. The massing, scale, and form of the addition does not visually overwhelm the existing building. b. The massing, scale, and design of the addition does not negatively impact the character of the HDO.	No new chimney feature is depicted in the submission materials; thus, these guidelines do not apply.

- (6) ~~HPRB~~ **HDRB** review required for increased FAR. Site and building design shall comply with guidelines in the ~~Herndon Heritage Preservation Handbook~~ **Historic District Overlay Guidelines** as determined by the ~~HPRB~~ **HDRB** prior to the planning commission public hearing when the increased floor area ratio is considered.

Section 78-50.7 – PD-TD – Planned development traditional downtown district.

- (h) *Site planning and building design in PD-TD.* Sites and buildings within the PD-TD district shall meet the following standards:

- (5) ~~HPRB~~ **HDRB** review required. Site and building design shall comply with guidelines in the ~~Herndon Heritage Preservation Handbook~~ **Historic District Overlay Guidelines** as determined by the ~~HPRB~~ **HDRB** prior to the planning commission public hearing in accordance with section 78-155.1(h)(2).

Section 78-60.2 – Floodplain overlay district (FPO).

Section 78-60.3 – ~~Heritage Preservation~~ **Historic District Overlay district (HP HDO district).**

- (a) *Purpose and intent.* The ~~heritage preservation~~ **historic district** overlay district (HP **HDO** district) is *established pursuant to the authority granted to localities by Virginia Code § 15.2-2306. It is intended to promote and protect the unique character of the town through the identification, preservation and enhancement of buildings, structures, settings, neighborhoods, places and features with historical architectural significance to the town. The HDO further intends to:* ~~intended to provide for the establishment of historic landmarks and preservation districts as a means of preserving the historical, cultural, and architectural heritage of the town and protecting designated historic resources and is adopted pursuant to the authority granted to localities by Virginia Code §15.2-2306.~~

- (1) *Ensure that additions, repairs, modifications, and new construction enhance rather than detract from the town's historic architectural settings.*
- (2) *Preserve the architectural, artistic, and historic merit of individual structures.*
- (3) *Protect historic resources from neglect and demolition.*

(4) *Retain important townscapes, streetscapes, and viewsheds integral to the identity of Herndon.*

(b) *Applicability.* No building, structure, or sign located in the ~~HP historic~~ district *overlay* shall be erected, reconstructed, altered, demolished, moved, expanded or restored except in accordance with the provisions of 78-60.3(g), certificate of appropriateness in the ~~heritage preservation~~ *historic district* overlay. ~~district.~~

(c) *District boundaries and maps.* The boundaries of the ~~HP-district~~ *historic district overlay* shall be shown on the town's official zoning map and on the appropriate comprehensive plan maps after action by the planning commission and town council.

(d) *Revision of ~~HP-district~~ historic district overlay boundary and designation of landmarks.* The boundaries of the ~~HP-district~~ *HDO* may be amended or areas, sites, buildings, and structures may be designated as historic landmarks in compliance with the following:

(1) *Amendment procedures.* The procedures for amendment of the ~~HP-district~~ *HDO* boundaries or designation of historic landmarks shall be as provided for as an amendment to the official zoning map pursuant to section 78-155.1, zoning map amendment. In addition, the following procedures shall apply:

a. The planning commission shall conduct or delegate a survey of the town. The survey shall identify and inventory all landmarks, buildings, or structures, in areas being proposed within the proposed district boundaries. The planning commission shall also prepare reports recommended to be included in the ~~HP-district~~ *HDO*.

b. Prior to establishing or expanding the ~~HP-district~~ *HDO* the town council shall:

1. Provide for public input from the community and affected property owners in accordance with Code of Virginia, § 15.2-2204;

2. Follow the written criteria set out below to be used to determine which properties should be included within the ~~HP-district~~ *HDO*; and

3. Review the inventory and the criteria to determine which properties in the areas being considered for inclusion within the proposed district meet the criteria to be included in the ~~HP-district~~ *HDO*.

c. Upon the inclusion of an area in the ~~HP-district~~ *HDO*, the owner of each property within the established district boundaries therein shall be given written notification, including a description of the factors justifying the designation.

(2) *Review of ~~HP-district~~ **HDO** boundary amendments.* The advisability of amending the ~~HP-district~~ **HDO** boundary is a matter committed to the legislative discretion of the town council and is not controlled by any one factor. The following shall be considered by the town council, and its advisory bodies as part of the deliberation process:

a. In considering an amendment to ~~HP-district~~ **the HDO** boundary, the town council may adopt a change for only part of the area surveyed by the planning commission. The town council may amend the ~~HP-district~~ **HDO** boundary to include any area that has been considered by the planning commission.

b. The following criteria shall be used by the historic ~~preservation~~ **district** review board, planning commission, and town council in evaluating the potential expansion of the ~~HP-district~~ **HDO**. The historic ~~preservation~~ **district** review board and planning commission may recommend, and the town council may so ordain, a landmark, building, or structure, for designation as a ~~HP-district~~ **which within the HDO, provided it** meets one or more of the following criteria:

5. The property or properties are closely related to or contiguous with properties that meet criteria a-d as related to their visual character or historic pattern of development; or otherwise contribute to the historic and architectural context of the proposed or existing ~~HP-district~~ **HDO**.

c. Such ~~HP-district~~ **HDO** boundaries may be adjusted to exclude properties along the perimeter that do not meet the criteria. The town council shall include only the geographical areas in the ~~HP-district~~ **HDO** where a majority of the properties meet the criteria established below by the town in accordance with this section. However, parcels of land contiguous to arterial streets or highways found by the town council to be significant routes of tourist access to the town or to be designated historic landmarks, buildings, structures, or districts therein, or in a contiguous locality, may be included in the ~~HP-district~~ **HDO** notwithstanding the provisions of this subsection.

(e) *Reduction of setback.* In the ~~HP-district~~ **HDO**, the front setback for a single-family detached dwelling may be reduced from 35 feet to a lesser amount but not less than 20 feet, in instances where the ~~HPRB~~ **HDRB** makes a finding that such reduction shall cause the subject structure to be more compatible with nearby contributing structures.

(f) ~~Development within the heritage preservation historic district overlay district.~~
 Development located within a ~~preservation district~~ *the historic district overlay* shall be
 completed in accordance with the ~~Herndon Heritage Preservation Handbook~~ *Historic*
District Overlay Guidelines, and the following standards:

(1) ~~Alteration, restoration or reconstruction.~~ *Standards for Alterations.* A certificate of
 appropriateness ~~for altering, restoring, or reconstruction of~~ *to* a building or structure
 shall be approved only after ~~considering the following standards, as well as other~~
~~appropriate matters:~~ *meeting the following standards:*

- a. ~~Whether or not reasonable~~ *Reasonable* effort shall be ~~is~~ made to alter the
 site, building, ~~or~~ structure, and its environment to the minimal extent
 practicable.
- b. ~~Whether or not alteration~~ *Alteration* of the original, distinguishing
 qualities or character of a site, building, ~~or~~ structure, and its environment
 and the removal or alteration of any historic material or distinctive
 architectural features shall be ~~is~~ avoided to the greatest extent practicable.
- c. ~~Whether all sites, buildings and structures shall be recognized as products~~
~~of their own time, with alterations~~ *Alterations* ~~and reconstruction~~ to
 existing buildings, ~~and~~ structures, ~~and sites to be~~ *are* consistent with the
 original style of such buildings and structures.
- d. ~~Whether or not distinctive~~ *Distinctive* stylistic features or examples of
 skilled craftsmanship that characterize a building, ~~or~~ structure, or site
 shall be retained and restored to the greatest extent practicable.
- e. ~~Whether or not deteriorated~~ *Deteriorated* architectural features shall be
 repaired, rather than replaced, wherever reasonably possible, ~~and, if~~ *If*
 replacement is necessary, ~~whether or not~~ new materials shall match the
 material being replaced in composition, design, color, texture, and other
 visual qualities to the greatest extent practicable.
- f. ~~Whether or not repair or replacement~~ *Repair or replacement* of missing
 architectural features shall, to the greatest extent possible, be based on
 accurate duplications of the original features, substantiated by historic,
 physical, or pictorial evidence, rather than on conjectural designs or the
 availability of different architectural elements from other buildings or
 structures.
- g. ~~Whether or not the surface cleaning~~ *Cleaning* of buildings and structures
 constituting historic landmarks shall be undertaken with the gentlest
 means practicable; provided, however, that sandblasting and other
 cleaning methods that may damage the existing building materials shall
 not be approved.

- 233 h. *When more than 49 percent of the structure containing the original or*
 234 *historic facades or the roof structure are removed, the provisions of*
 235 *Section 78-60.3(f)(2), New Construction, or Section 78-60.3(f)(4),*
 236 *Demolition, apply. Whether or not partial demolition of buildings or*
 237 *structures within preservation districts may be approved when one or*
 238 *more of the existing facades are retained for the purpose of integrating*
 239 *new construction into existing historic buildings or structures when such*
 240 *is appropriate and in accordance with the intent of this article. The town*
 241 *does not advocate this procedure, as it goes against the Secretary of the*
 242 *Interior's guidelines for rehabilitation and credits would not be allowed in*
 243 *such projects.*
- 244 i. ~~Whether or not, to the greatest extent practicable, every~~ *Every* effort shall
 245 be made to protect and preserve archeological resources within or
 246 adjacent to the heritage preservation overlay *historic* district. *to the*
 247 *greatest extent practicable.*
- 248 j. ~~Whether or not contemporary~~ *Contemporary* design ~~for~~ *of* alterations
 249 and additions to existing buildings and structures is *shall be* compatible
 250 with the size, scale, color, material *texture*, and character of the building
 251 and structures within preservation districts. ~~and whether or not such~~
 252 *Such* alterations and additions *shall not* destroy *or negatively*
 253 *impact* significant historical, architectural, or cultural material.
- 254 k. ~~Whether or not the proposed additions or alterations~~ *Alterations* to
 255 existing buildings and structures shall be done in such a manner that, if
 256 such additions or alterations were to be removed in the future, the
 257 essential form and integrity of the *original* building or structure would be
 258 unimpaired. ~~Whenever possible, new additions or alterations to existing~~
 259 ~~buildings and structures shall be done in such a manner that, if such~~
 260 ~~additions or alterations were to be removed in the future, the essential~~
 261 ~~form and integrity of the building or structure would be unimpaired.~~
- 262 (2) *New Construction.* A certificate of appropriateness for new construction of a
 263 building or structure may be approved only after ~~considering~~ *meeting* the
 264 following standards, ~~as well as other appropriate matters:~~
- 265 a. ~~Whether or not the design will~~ *The design shall* be architecturally
 266 compatible with the historic landmarks, buildings, and structures in the
 267 heritage preservation *historic district* overlay district in terms of size,
 268 scale, color, material, and character.
- 269 b. No specific architectural style shall be adopted or imposed on the
 270 administration of this section.
- 271 c. *Alterations of more than 49 percent of the structure containing the*
 272 *original or historic facades, or more than 49 percent of the structure of*

~~the roof~~, as determined by the zoning administrator, shall be considered new construction.

- (3) *Moving or relocating a building.* A certificate of appropriateness to move or relocate a building or structure may be approved only after ~~considering the following, as well as other appropriate matters~~ *meeting the following standards:*

- a. ~~Whether or not the proposed relocation may~~ *The relocation shall not* have a detrimental effect on the structural soundness of the building;.
- b. ~~Whether or not the proposed relocation would have a negative or positive~~ *The relocation shall not have a negative* effect on other historic landmarks or on other sites, buildings, or structures located within the ~~heritage preservation overlay district~~ *historic district overlay*;
- c. ~~Whether or not the~~ *The* proposed relocation ~~would~~ *shall* provide new surroundings that would be compatible with the architectural aspect of the building or structure;.
- d. ~~Whether or not the~~ *The* proposed relocation is the only practicable means of saving the structure from demolition; ~~and~~.
- e. ~~Whether or not the~~ *The* building or structure ~~will~~ *shall* be relocated to another site within the corporate limits of the town or to another adjacent site that is subject to ~~preservation control~~ *protections enumerated in the district*.

- (4) *Demolition.* A certificate of appropriateness to demolish a building or structure may be approved, only after ~~reviewing and considering the circumstances and conditions of the structure or building or the part proposed for demolition, and considering the following factors as well as all other appropriate matters~~ *meeting the following standards:*

- a. ~~Whether or not the~~ *The* building or structure ~~is an historic landmark or is a building within the heritage preservation overlay district that~~ *does not contribute* contributes to the character of the ~~heritage preservation overlay~~ *historic* district;.
- b. ~~Whether or not the~~ *The* building or structure ~~is of such interest or significance that it would~~ *not* qualify as a national or state landmark building or structure listed on the National Register of Historic Places or the Virginia Landmarks Register;.
- c. ~~Whether or not the building or structure is of such old or uncommon design, texture or scarce material that it could not be reproduced or could be reproduced only with great difficulty and expense;~~ *The building or structure has a common design that could reasonably be reproduced.*

- 310 d. ~~Whether or not historic events occurred in the building or structure;~~ *No*
 311 *historic events occurred in the building or structure.*
- 312 e. ~~Whether or not the building or structure is structurally unsound and to~~
 313 ~~what extent;~~ *It is determined the building or structure has a degree of*
 314 *structural unsoundness.*
- 315 f. ~~Whether or not a relocation of the building or structure or a portion~~
 316 ~~thereof would be to any extent practicable as a preferable alternative to~~
 317 ~~demolition;~~ *It is not practicable to relocate the building or structure, or*
 318 *portion thereof.*
- 319 g. ~~Whether or not the~~ *The* proposed demolition could potentially *does not*
 320 adversely affect other historic landmarks located within a ~~preservation~~
 321 ~~district~~ *the historic district overlay* or adversely affect the character of a
 322 ~~preservation district~~ *the historic district overlay*;
- 323 h. ~~— If a building is damaged by a fire or other natural hazard, the building~~
 324 ~~inspector shall determine if a building is structurally sound and is in~~
 325 ~~imminent danger to public safety and should be demolished;~~
- 326 i.h. ~~The reason for demolishing the building or structure and whether or not~~
 327 ~~any alternatives to demolition exist.~~ *Practicable alternatives to*
 328 *demolition do not exist.*
- 329 j.i. ~~Whether or not there has been a professional, economic, and structural~~
 330 ~~feasibility study for rehabilitating or reusing the structure and whether or~~
 331 ~~not its findings support the proposed demolition.~~ *An economic and*
 332 *structural feasibility study prepared by a qualified professional is*
 333 *submitted that concludes rehabilitating or reusing the building or*
 334 *structure is not a practicable alternative.*

**TOWN OF HERNDON, VIRGINIA
HISTORIC DISTRICT REVIEW BOARD**

DRAFT RESOLUTION

April 21, 2021

Resolution to consider HDRB #21-006, construction of two additions on the primary dwelling structure located at 622 Madison Street, Fairfax County Tax Map Number 0162-02-0263.

WHEREAS, the applicant submitted an application for two additions to the primary dwelling structure at the above referenced address; and

WHEREAS, the proposed additions comply with the applicable zoning ordinance regulations as specified in the Town of Herndon Zoning Ordinance Articles III and XV; and

WHEREAS, the proposed additions received an approved Building Location Survey, BLS #21-07; and

WHEREAS, the proposed additions generally comply with the applicable design guidelines of the Town of Herndon Historic District Overlay Guidelines; and

WHEREAS, the Town of Herndon Historic District Review Board has reviewed this application and has held a public hearing on April 21, 2021.

NOW THEREFORE, BE IT RESOLVED that the Historic District Review Board of the Town of Herndon, Virginia, HEREBY:

Approves HDRB #21-006, for construction of two additions on the primary dwelling structure at 622 Madison Street in Herndon, VA, to be constructed in substantial conformance with the application and supporting materials as submitted on or about March 8, 2021.

BE IT FURTHER RESOLVED that this decision by the Historic District Review Board of the Town of Herndon is based upon the following findings:

1. The proposed additions' form, scale, materials, fenestrations, trim features and window and door selections are generally in keeping with and complementary to the primary dwelling's Ranch architectural style; and
2. The proposed additions form and massing do not overpower the existing building and are largely obscured from view from the adjacent right-of-way by existing site features; and
3. For the reasons detailed in this resolution, the additions will complement the existing structure and will not adversely affect the existing architecture of the primary dwelling or the Historic District Overlay.

