

**TOWN OF HERNDON, VIRGINIA
HISTORIC DISTRICT REVIEW BOARD PUBLIC HEARING AGENDA
FEBRUARY 16, 2022
HERNDON COUNCIL CHAMBERS BUILDING
765 LYNN STREET
7:00 P.M.**

CALL TO ORDER

1. Roll Call
2. Determination of Quorum

APPROVAL OF MINUTES

3. January 5, 2022, Work Session Draft Minutes, *Cancellation*
4. January 19, 2022, Public Hearing Draft Minutes

COMMENTS

5. Comments from the Board Members
6. Comments from the Staff Members
7. Comments from the Audience

PUBLIC HEARING

8. **APPLICATION FOR SIGNAGE, HDRB #21-016**, to consider an application for an exterior wall sign located at 702 Elden Street, Herndon Virginia Suite A, and further identified as Fairfax County Tax Map 0162 52 0010. The site is located within the Junction Square development and is situated approximately 90 feet west of the intersection of Elden Street and Monroe Street. This property is zoned as PD-TD, Planned Development – Traditional Downtown, and consists of 461 square feet of floor area. Owner: Kavitha Maddi, Skyvish Square 702 Elden St A LLC. Applicant/Agent: Clay Downing, Signs by Clay Downing.
9. **APPLICATION FOR BUILDING ALTERATIONS, HDRB #22-001**, to consider an application for alterations and a rear second story addition to a single-family house located at 743 Florence Place, Herndon, Virginia, approximately 250 feet south of the intersection of Florence Place and Oak Street, and further identified as Fairfax County Tax Map 0162 02 0104. The property is zoned as zoned R-10, Residential Single Family-10 District and consists of approximately 43,560 square feet of land. Owner: Venture Atlas Herndon LLC. Applicant: Michael Wijdoogen, MW Architects.

NEW BUSINESS

10. Resolution, to approve amendment to the by-laws for the Historic District Review Board (HDRB).

ADJOURNMENT



MEMORANDUM

To: Chair Blaker-Glass and Members of the Historic District Review Board

From: Tamsin Himes, Lead Planner / Design and Development 

Date: February 11, 2022

Subject: HDRB #21-016, 702 Elden Street

This staff memo is an addendum to the staff report for HDRB #21-016 which was presented to the Board prior to the work session on February 2nd, 2022.

As was discussed at the work session, for reasons including sign construction, material, and lighting, the proposed design did not meet zoning requirements. In addition to this, there were some concerns that the proposed design did not adhere to guidance in the Downtown Pattern Book. Staff has been working with the applicant since the work session to find a suitable solution for a business sign that conforms to the zoning requirements and addresses design concerns. The applicant provided staff with new drawings showing various revised options however some of those options were also non-compliant and other options had missing information. At this time staff has not received a proposal for a compliant sign nor the necessary information to evaluate signage appropriateness. Staff will continue to work with the applicant on this case however it appears more time will be necessary. Staff recommends this item be continued until the March HDRB work session. This will allow more time for finding a solution that will both meet the needs of the tenant and conform to zoning requirements and address design considerations.

If the board opts to render a decision on this sign at the February 16, 2022, public hearing, it would require a condition that the sign is revised to meet the zoning ordinance. The HDRB cannot legally approve a non-conforming sign without such a condition. Staff would recommend another condition requiring staff approval based on compliance with the applicable signage guidelines from the Downtown Pattern Book.



MEMORANDUM

To: Chair Blaker-Glass and Members of the Historic District Review Board

From: Tamsin Himes, Lead Planner / Design and Development 

Date: February 11, 2022

Subject: HDRB #22-001

This staff memo is an addendum to the staff report for HDRB #22-001 provided to the Board prior to the work session of February 2, 2022. It addresses updates to the proposed project, items discussed by the Board at the work session, and provides the board with a staff recommendation.

Staff Report Recap

In the previous staff report, staff identified a number of items which did not follow the HDO Guidelines and requested clarification regarding some additional items.

Items which staff believed failed to meet the HDO Guidelines:

- Proposed replacement vinyl clad windows
- Removal of the second story of the front porch
- Lack of delineation between proposed addition and historic structure

Items for clarification:

- Shutters: how and where they were to be retained, use of hardware, operability
- Front door: request material and design details and specifications
- Porch skirt: Request for material and design details and specifications
- Front steps: verification of any modification
- Porch spindles: Request for material and design details and specifications
- Site improvements: Clarification of any site changes involved with this project
- Siding: verification of existing siding width of reveal
- Porch reconstruction: clarification on extent of porch demolition/rebuild
- Side Door: Clarification on material and specifications.
- Gutters/Downspouts: verification on retention or replacement, and proposed style.
- Porch flooring: Verification on board type, and orientation

Work Session Discussion

At the work session, the applicant, the Board, and staff discussed the report and provided preliminary review of revised application materials presented by the applicant that evening.

Since the work session, the applicant has submitted an updated proposal (See Attachments #1 and #2) which includes changes to the proposed design and materials and addresses many of the issues brought up by the Board and staff in the report and at the work session. Please note that the analysis provided in this memo is based on that updated proposal and not the documents presented by the applicant at the work session.

Revised Application

Windows. The updated application proposes Marvin Elevate double hung windows clad with Ultrex fiberglass. Fiberglass has been considered an appropriate replacement material for exterior window cladding on contributing buildings in the district. As noted in the previous staff report, fiberglass can mimic the look, profile and design of traditional wood windows and can also be painted. These windows replace the previously approved vinyl-clad windows.

Porch Design. The applicant has chosen to retain the two-story design of the front porch including the railing system and the second story door instead of the original proposal to convert the porch to a single story. While there is no certainty that the historic porch was designed with a roof deck, staff believes the age of the door on the second floor suggests it was designed in that manner during the district's period of significance and as seen today is a character-defining feature of the contributing resource, which merits retention.

Porch Spindles. Staff's understanding is that the applicant is proposing to salvage and repaint the historic wood spindles on the porch first floor and install cellular PVC (Fypon) spindles on the second floor. Staff champions the effort of preserving a character-defining historic material however there is some concern about using two different spindles. The Fypon spindles, especially if installed upside down, could offer a suitable alternative to the original spindles though that remains a secondary option to preservation of the historic spindlework. More discussion may be necessary however staff supports a scenario in which the spindles are slightly different between the first and second floor porch railings to allow preservation of the historic spindles.

Porch Floor. The applicant has revised the porch floor material and board orientation based on work session discussion. The new material is a composite 3-1/8" wide tongue-and-groove material laid perpendicular to the façade. This replaces the composite deck boards laid parallel previously proposed. Staff believes this design is more appropriate and a more suitable alternative to traditional porch floorboards.

Siding. The applicant has changed the Hardieplank siding reveal from 7" to 5" to better match the existing wood siding. Staff supports the change as a more appropriate replacement for the existing siding and more suitable replacement for traditional wood siding profiles.

Front Doors: The applicant has changed the front door and second floor porch door from metal to wood based on the discussion at the work session. The change to a traditional material is compliant with the applicable design guidelines.

Addition Design and Materials. Changes to the proposed rear addition include a roofline step down and eave reduction, use of 10” reveal horizontal siding on the proposed addition and all modern additions, asphalt shingle roofing limited to the modern addition, and a trim board separating the wider siding from the 5” wide siding. Staff believes that these design changes provide the needed delineation between modern and historic while retaining the character of the structure. This change also allows preservation of the metal shingles on the historic two-story rear bump-out.

Further Clarifications

The applicant has provided further clarification on the following items:

- Shutters: The application proposes retaining the shutters that can be salvaged, repairing, and re-installing them on the second story of the front façade. It was not clarified whether they would be operable and included the traditional hardware components.
- Porch skirt: The brick piers are to be rebuilt and the latticework recreated using the same trim alternative material which will be used throughout the project.
- Front steps: There are no alterations or work proposed for the stone front step system other than repair work.
- Site changes: There are no site changes proposed with this project.
- First story side door: The applicant provided specifications for a Therma Tru Smooth Star S2200 door at this location.
- Gutters: The existing half round gutters will be replaced with oversized “K” style gutters.
- Porch Reconstruction: The front porch roof structure will be retained however the floor structure will likely require replacement.

Staff Analysis

As explained above, this application has been revised in many ways to increase adherence to applicable guidelines, and in direct response to comments made by staff and the board as discussed at the work session. The applicants have been diligent and thorough in their response. Staff’s requests for clarification and additional information have been largely satisfied and the design issues raised, staff believes, have been mostly addressed.

The only lingering item not addressed was the 4-over-1 windows to replace existing 6-over-1 windows. The 4-over-1 windows create larger glass divisions on the upper sash which would create a visual inconsistency with the 9-over-1 windows that retain the smaller, colonial styled, glass divisions. Staff believes the simulated divide light grilles for the proposed 4-over-1 windows should be changed to 6-over-1 to retain consistency in

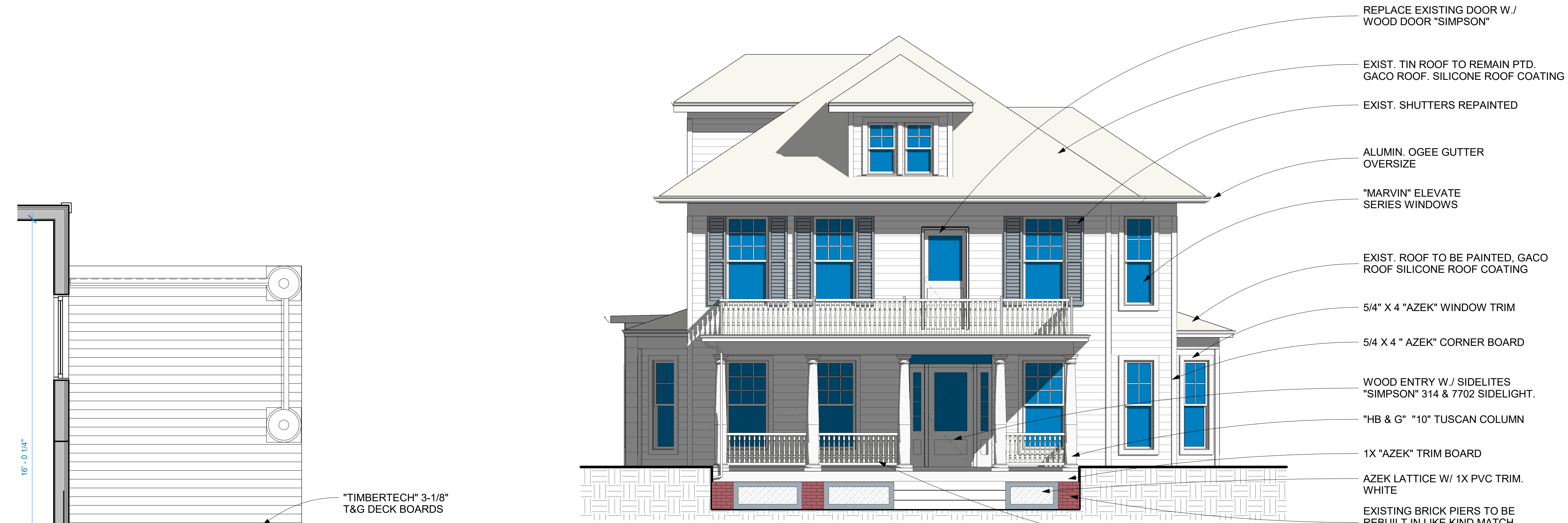
window style across all windows of the original house and as a more appropriate replacement for the existing windows.

Also, staff does not have a preference of whether or not shutters should be used on the façade however would note that the use of shutters is consistent with the other colonial and classical components of the house's architectural style. If shutters are installed whether they are original or replaced with new shutters, they should have the appropriate traditional hardware and be installed in a manner to appear as fully operable, which involves installation on the edge of window jambs and affixed directly to the siding.

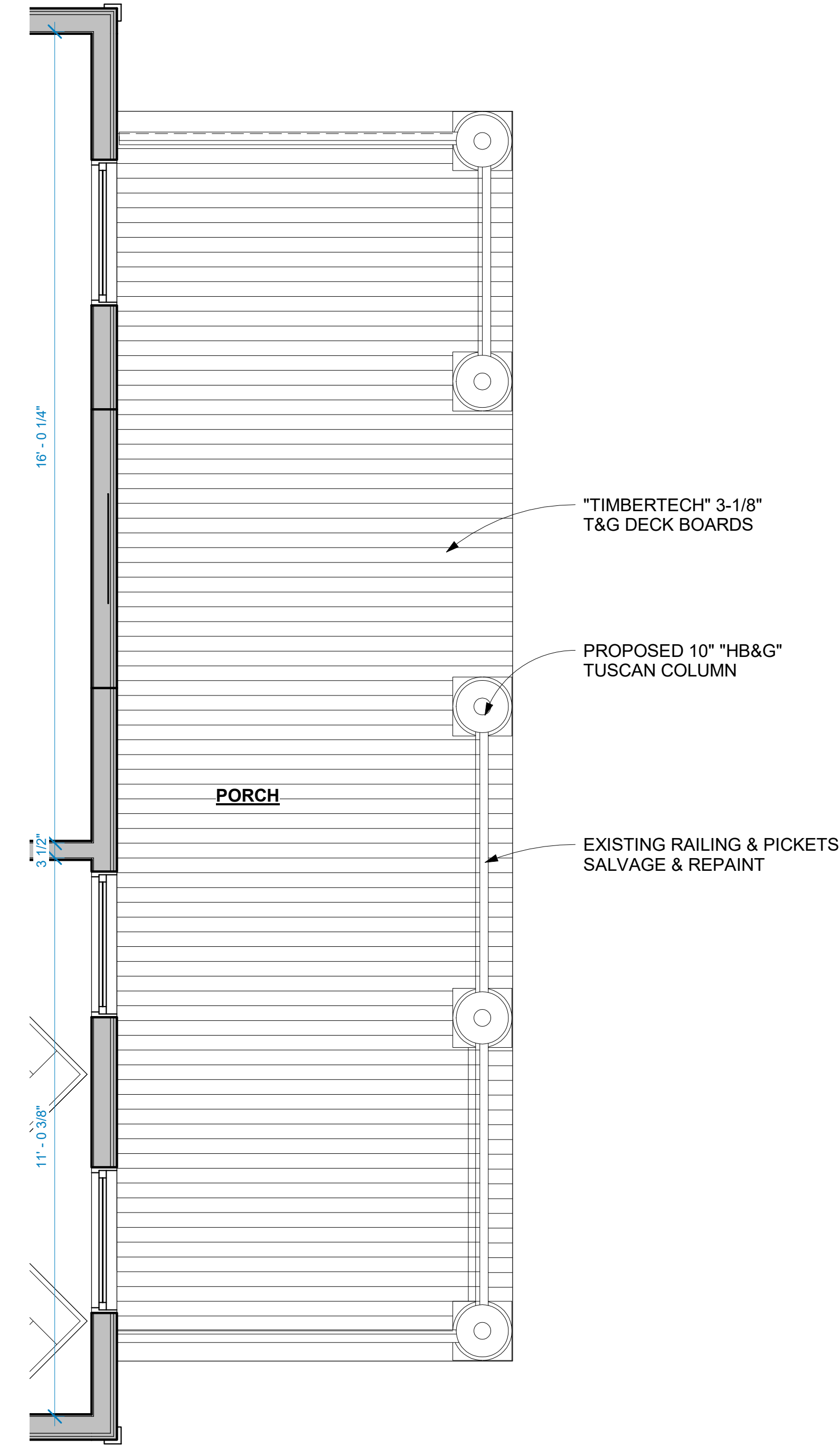
With conditions addressing the window and shutter items mentioned above, staff is recommending approval of this application, as revised, and in accordance with the draft resolution provided. (Attachment #3).

Attachments:

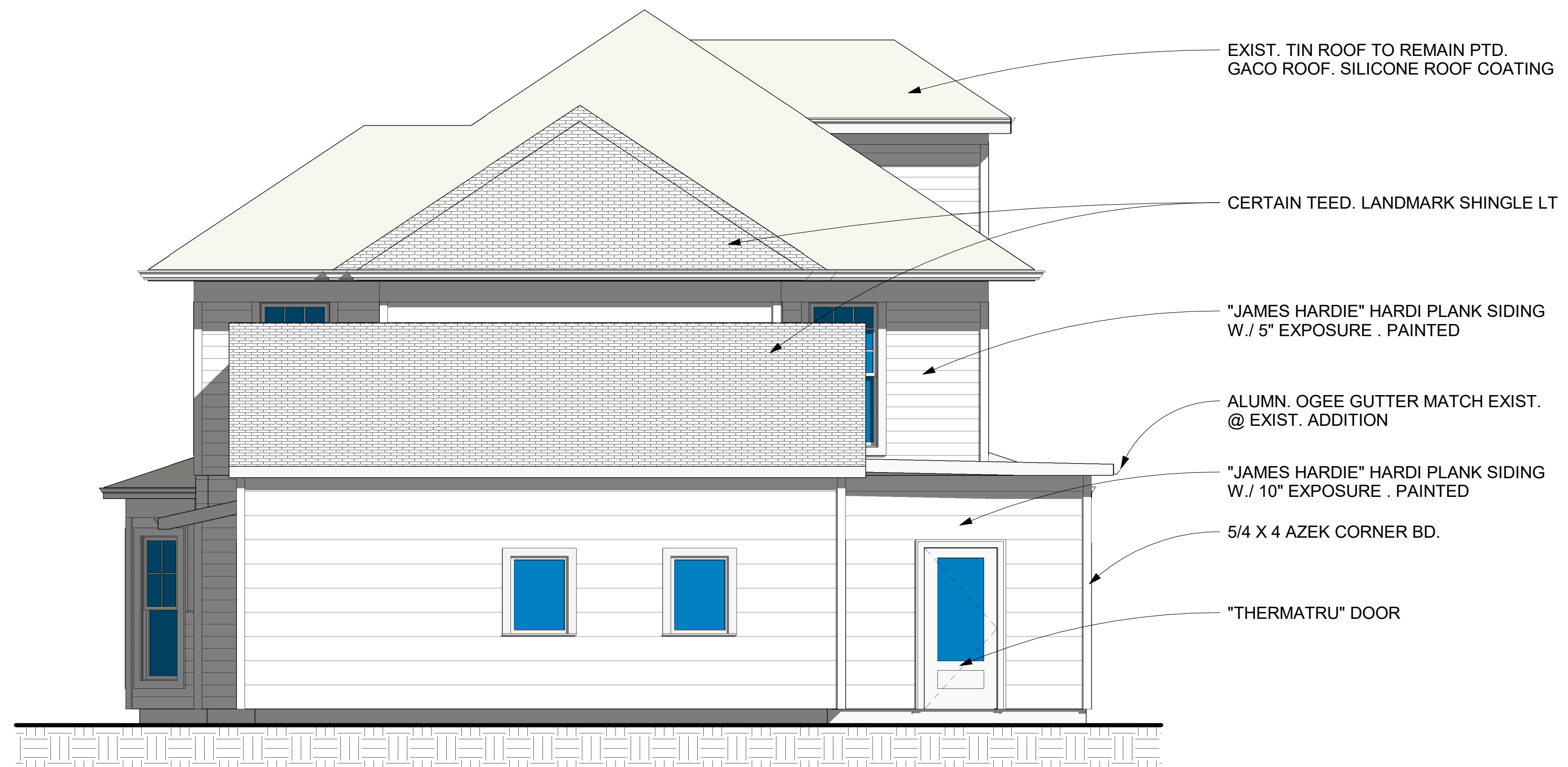
1. Updated drawings
2. Updated cutsheet package
3. Draft resolution



1 Proposed Front Elevation
1/4" = 1'-0"



3 Enlarged Decking Pattern
1/2" = 1'-0"



2 Proposed Rear Elevation
1/4" = 1'-0"



ARCHITECTS

"Architecture with a scaled
&
constructive approach"

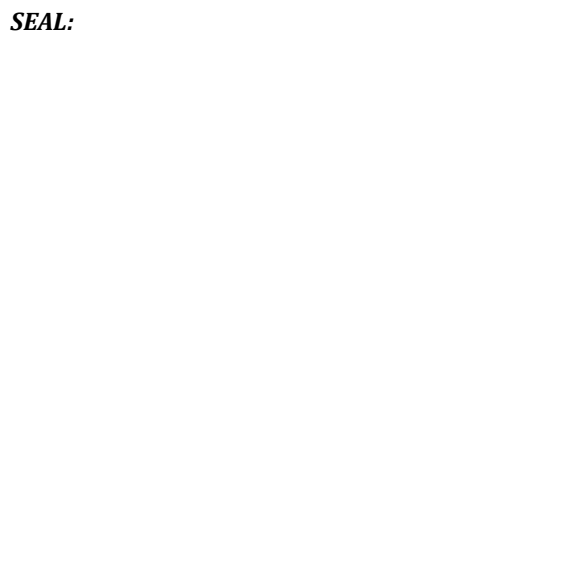
761C Monroe St, Suite 201
Herndon, VA 20170
(703)-819-9461
www.mwarchitects.com

Winthurs Residence

743 Florence Place
Herndon, Virginia 20170

PROJECT NUMBER:	21.322
DATE:	11/15/21
DRAWN BY:	ML
CHECKED BY:	MSW

REVISIONS:	
Review Set: 12/14/21	HDRB: 1/10/22
Review Set: 12/22/21	HDRB: 1/20/22
Review Set: 1/26/22	HDRB: 2/2/22
	HDRB: 2/9/22



SCALE:	As indicated
SHEET TITLE:	Proposed Front & Rear Elevations
SHEET NUMBER:	A2.0

EXIST. TIN ROOF TO REMAIN PTD.
GACO ROOF. SILICONE ROOF COATING

"JAMES HARDIE" HARDI PLANK SIDING
W./ 5" EXPOSURE . PAINTED MATCHING
EXISTING EXSPOSURE

"HB & G" "10" TUSCAN COLUMN

"MARVIN" ELEVATE SERIES
WINDOW

CERTAIN TEED.
LANDMARK SHINGLE LT

ALUMIN. OGEE GUTTER
OVERSIZE

EXIST. LOUVER TO REMAIN

5/4 X 4 AZEK CORNER BD.

"JAMES HARDIE" HARDI
PLANK SIDING W./ 10"
EXPOSURE . PAINTED

① Proposed Right Elevation
1/4" = 1'-0"

"MARVIN" ELEVATE
SERIES WINDOW

CERTAIN TEED.
LANDMARK SHINGLE LT

ALUMIN. OGEE GUTTER
OVERSIZE

EXIST. LOUVER TO REMAIN

5/4 X 4 AZEK CORNER BD.

"JAMES HARDIE" HARDI
PLANK SIDING W./ 10"
EXPOSURE . PAINTED

EXIST. TIN ROOF TO REMAIN PTD.
GACO ROOF. SILICONE ROOF COATING

5/4 X 4 "AZEK" WINDOW TRIM

"JAMES HARDIE" HARDI PLANK SIDING
W./ 5" EXPOSURE . PAINTED MATCHING
EXISTING EXPOSURE

"HB & G" "10" TUSCAN COLUMN

② Proposed Left Elevation
1/4" = 1'-0"



ARCHITECTS

*"Architecture with a scaled
&
constructive approach"*

761C Monroe St, Suite 201
Herndon, VA 20170
(703)-819-9461
www.mwarchitects.com

Winthers Residence

743 Florence Place
Herndon, Virginia 20170

PROJECT NUMBER:	21.322
DATE:	11/15/21
DRAWN BY:	SDG
CHECKED BY:	MSW

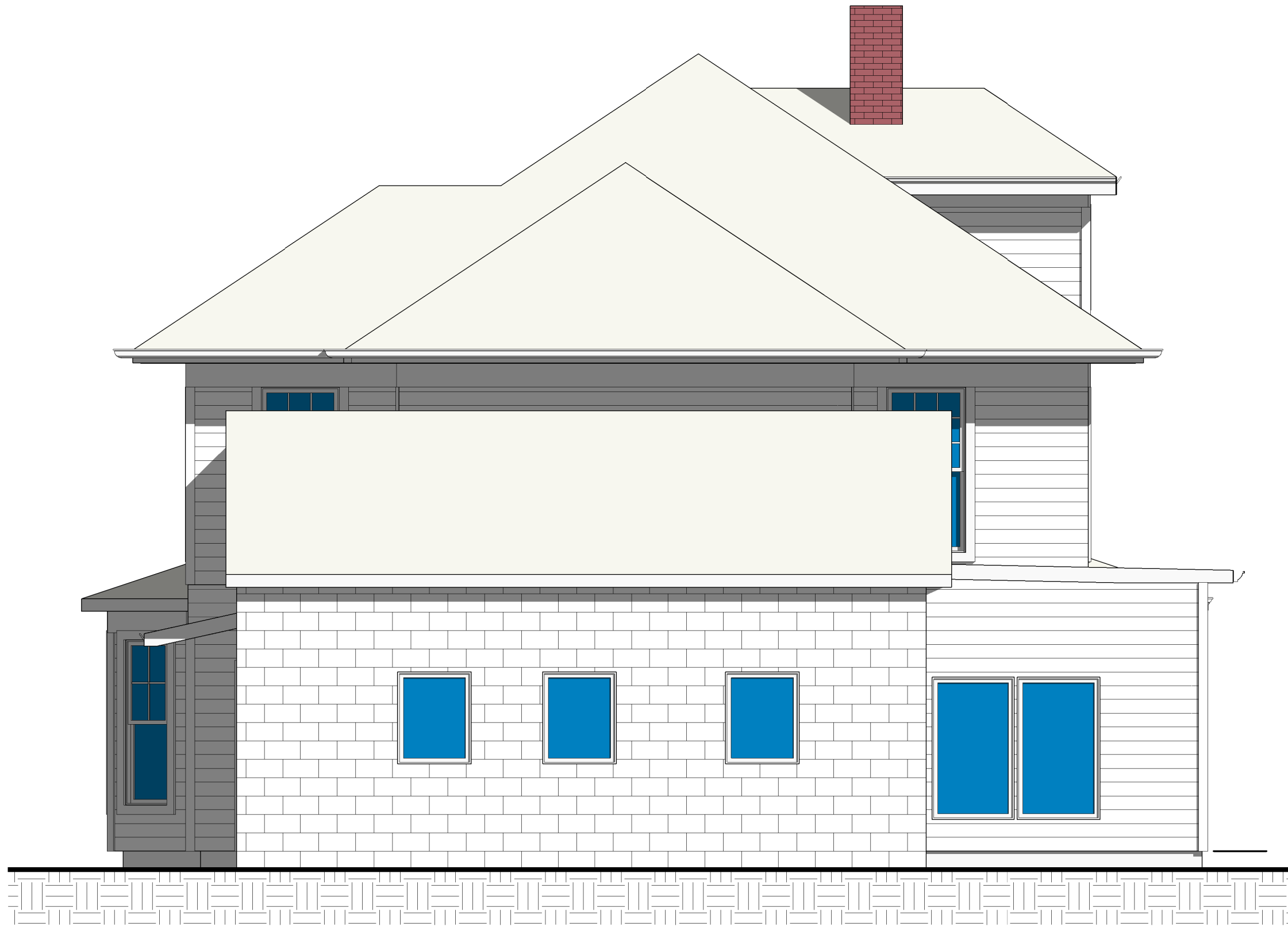
REVISIONS:	
Review Set: 12/14/21	HDRB: 1/10/22
Review Set: 12/22/21	HDRB: 1/20/22
Review Set: 1/26/22	HDRB: 2/2/22
	HDRB: 2/9/22

SEAL:

SCALE:	1/4" = 1'-0"
SHEET TITLE:	Proposed Side Elevations
SHEET NUMBER:	A2.1



① Existing Front Elevation
1/4" = 1'-0"



② Existing Rear Elevation
1/4" = 1'-0"



ARCHITECTS

*"Architecture with a scaled
&
constructive approach"*

761C Monroe St, Suite 201
Herndon, VA 20170
(703)-819-9461
www.mwarchitects.com

Winthers Residence

743 Florence Place
Herndon, Virginia 20170

PROJECT NUMBER:	21.322
DATE:	11/15/21
DRAWN BY:	Author
CHECKED BY:	Checker

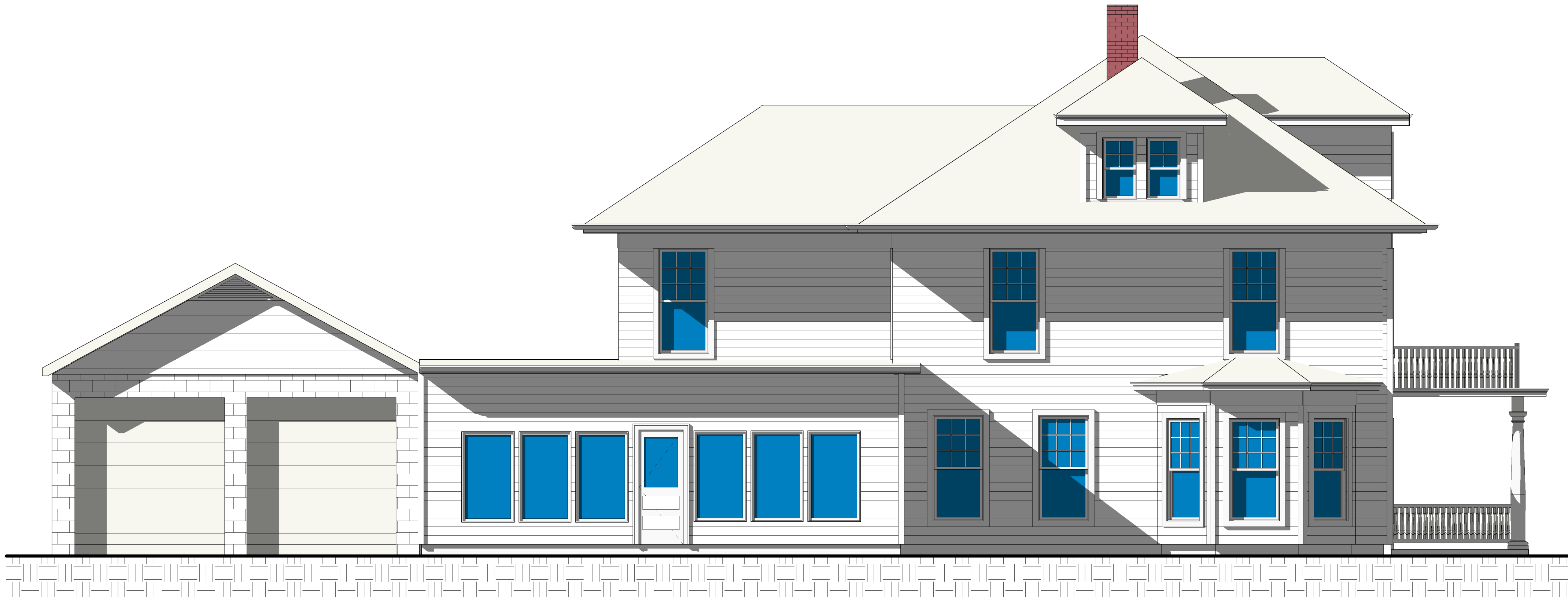
REVISIONS:	
Review Set: 12/14/21	HDRB: 1/10/22
Review Set: 12/22/21	HDRB: 1/20/22
Review Set: 1/26/22	HDRB: 2/2/22
	HDRB: 2/9/22

SEAL:

SCALE:	1/4" = 1'-0"
SHEET TITLE:	Existing Front & Rear Elevations
SHEET NUMBER:	A2.2



② Existing Right Elevation
1/4" = 1'-0"



① Existing Left Elevation
1/4" = 1'-0"



ARCHITECTS
"Architecture with a scaled
&
constructive approach"

761C Monroe St, Suite 201
Herndon, VA 20170
(703)-819-9461
www.mwarchitects.com

Winthers Residence

743 Florence Place
Herndon, Virginia 20170

PROJECT NUMBER:	21.322
DATE:	11/15/21
DRAWN BY:	Author
CHECKED BY:	Checker

REVISIONS:	
Review Set: 12/14/21	HDRB: 1/10/22
Review Set: 12/22/21	HDRB: 1/20/22
Review Set: 1/26/22	HDRB: 2/2/22
	HDRB: 2/9/22

SEAL:

SCALE:	1/4" = 1'-0"
SHEET TITLE:	Existing Side Elevations
SHEET NUMBER:	A2.3



ELEVATE

MARVIN ELEVATE™ COLLECTION



WHY MATERIALS MATTER

THE MARVIN MATERIALS DIFFERENCE: ULTREX FIBERGLASS

Choosing the right materials for windows and doors is important when it comes to long-term appearance and performance. Ultrex®, an innovative fiberglass material pioneered by Marvin over 20 years ago, was one of the first premium composites on the market. However, not all composites are created equal.

- Some companies use materials like sawdust and vinyl to produce a composite material with fundamentally different properties and performance values. But Ultrex is different. Its material makeup contains a high density of woven fibers bound by a thermally-set resin that makes it more resistant to pressure and temperature than vinyl-based composites.
- With such different materials grouped in the composites category, it becomes important to know what sets them apart.



STRENGTH AND STABILITY OF ULTREX

Ultrex fiberglass is highly impact resistant and more rigid than vinyl and vinyl/wood composites. Issues of instability and less-than-perfect alignment that can complicate installation—and long-term performance—are not a concern with Elevate collection windows and doors.

The exceptional strength and stability of Ultrex eases installation and establishes a secure, long-lasting fit that stays square and true, year after year.

PULTRUDED FIBERGLASS

Thin strands of strong glass cables, saturated with compounded resins create a durable material.

PATENTED FINISH

The patented finishing process applies an impermeable and AAMA 624 verified factory finish.



Double Hung windows and Inswing French doors with swinging screens

ULTREX FIBERGLASS: QUITE POSSIBLY
THE PERFECT BUILDING MATERIAL®

DOUBLE HUNG



Double Hung windows with Oil Rubbed Bronze hardware



Double Hung windows with Window Opening Control Devices

DOUBLE HUNG

- Equipped with a standard full screen; optional half screen is available.
- Tilt latches are ergonomically designed and easy to operate making tilting and cleaning effortless.
- Sash lock provides a positive detent, reassuring user that the window is either locked or unlocked.
- Up to PG50 performance rating.
- Equal, Cottage, and Reverse Cottage sash provide a variety of looks and checkrail heights.
- Available in standard and special sizes up to 4 feet 6 inches wide by 7 feet high.
- Coordinating Picture and Transom windows also available.
- Double Hung Insert option features ¾ inch insert replacement frame with through jamb installation and up to PG40 performance rating.



DOUBLE HUNG



DOUBLE HUNG INSERT



Available with IZ3
(Excludes Insert option)

OUTSWING FRENCH DOOR



Outswing French door with Northfield hardware in Matte Black



Outswing French door with Cambridge hardware in Satin Nickel

OUTSWING FRENCH DOOR

- Low-maintenance fiberglass exteriors and rich pine interiors with a variety of finish options.
- Secure and stable stainless steel multi-point locking system.
- Precision built in 1/4 inch increments.
- Tempered, insulated glass with argon gas.
- Available in 1, 2, or 3-panel configurations.*
- Multiple configurations up to 6 feet wide by 8 feet high.
- Bronze or Beige sill available.
- PG50 performance rating standard.



INTERIOR



EXTERIOR



DOOR HINGE SHOWN IN SATIN NICKEL



Available with IZ3

* 3 panel configuration is achieved by mulling multiple frames together to create an assembly.

DESIGN OPTIONS

INTERIOR AND EXTERIOR FINISHES

Elevate windows and doors feature rich pine interiors and a durable, strong Ultrex® fiberglass exterior, featuring our AAMA-verified acrylic finish for low-maintenance and superior aesthetics.

WOOD INTERIOR FINISHES

BARE PINE
Wood comes bare and ready to be painted or stained

CLEAR COAT
Wood is finished in the factory with a clear coat

PRE-FINISHED WHITE
Factory painted

DESIGNER BLACK
Factory painted

FIBERGLASS EXTERIOR COLORS

STONE WHITE

CASHMERE

PEBBLE GRAY

EVERGREEN

BRONZE

EBONY

GRILLES

GRILLES-BETWEEN-THE-GLASS (GBG)

Available in several popular lite cut options for a classic divided lite look and easy glass cleaning. Available in Stone White, Bronze, and Ebony interior and Stone White, Cashmere, Pebble Gray, Evergreen, Bronze, or Ebony exterior.*

SIMULATED DIVIDED LITE (SDL)

Bars permanently adhered to both sides of the glass for a more authentic look. Available with or without spacer bar and in several lite cut options.



GRILLES-BETWEEN-THE-GLASS



SIMULATED DIVIDED LITE

GLASS OPTIONS

Glass is available with Standard Dual Pane or optional Triple Pane on select products. Available with Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas.* Options include glazing for sound abatement (STC/OITC), high altitudes, and California fire zones. Laminated glass is also offered in products designed specifically for hurricane zones.

DECORATIVE GLASS

OBSCURE

GLUE CHIP

RAIN

REED

NARROW REED

FROST

BRONZE TINT

GRAY TINT

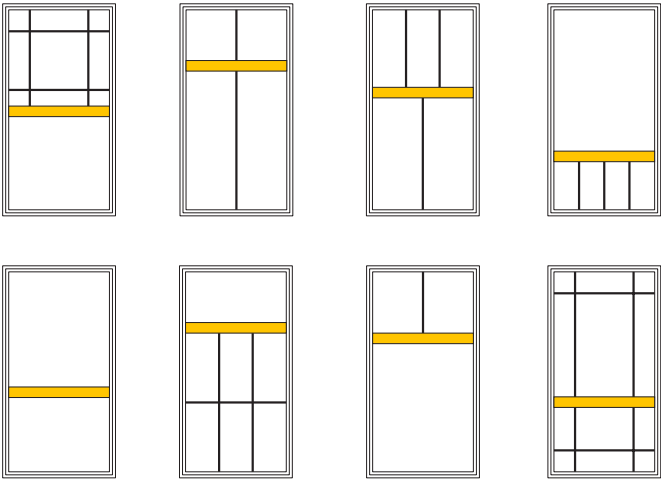
GREEN TINT

SIMULATED CHECKRAIL

Simulated Checkrail is the perfect solution when aesthetics call for the beauty of a double hung, but operation, egress, or performance demand another solution.

You specify placement of the horizontal simulated checkrail bar and the lite cut patterns above and below.

These illustrations offer a sampling of 7/8" Simulated Divided Lite (SDL) patterns that can be selected in combination with the 2 1/32 inch Simulated Checkrail on Casement, Awning, Glider, Direct Glaze Rectangle, Picture windows, and all Elevate doors.



* Not available in polygons except direct glaze rectangles.

* Argon gas not available in high elevations where capillary tubes are required.



[LEARN MORE](#)



PermaCast® Round Porch Columns

In the first century B.C., Vitruvius, a Roman architect and engineer, wrote what has become the most influential work on classic form. In it, he elaborates on the discovery by the ancient Greeks of entasis, a gradual tapering of the upper two-thirds of the round column which offsets the undesirable illusion from eye level that the column shaft grows larger as it ascends. HB&G round tapered columns hold true to this classic form.

[Request More Info](#)

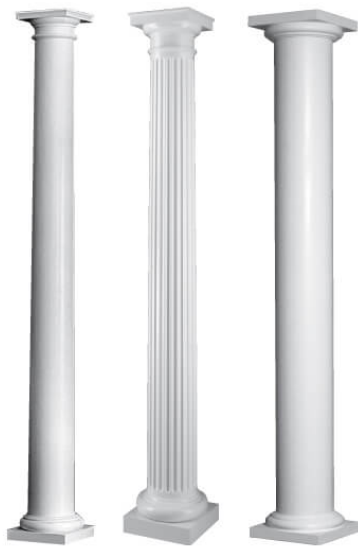
Search for the product at a nearby retailer

Zip Code

Download Literature

[Installation Instructions](#)

[Product Information](#)



Plain Round Tapered Column Sizes

Column Size	Lengths
6"	4, 6, 8'
8"	5, 6, 8, 9, 10'
10"	6, 8, 9, 10, 12'
12"	6, 8, 9, 10, 12, 14, 16, 18'
14"	8, 9, 10, 12, 14, 16, 18'
16"	8, 10, 12, 14, 16, 18, 20'
18"	8, 10, 12, 14, 16, 18, 20, 22, 24, 26'
20"	10, 12, 14, 16, 18, 20, 22, 24'
22"	16, 18, 20, 22, 24, 26'
24"	12, 14, 16, 18, 20, 22, 24, 26, 28, 30'
28"	20, 22, 24, 26, 28'
30"	20, 22, 24, 26, 28, 30'

HB&G round no-taper columns can be cut at any length and will not affect the fitting of the base on the column, Please refer to the Parallel Dimensions chart in the information center to help determine where the taper begins on a tapered column.

Plain Round No-Taper Column Sizes

Column Size	Lengths
8"	6, 8, 9, 10'

10"	6, 8, 9, 10, 12'
12"	6, 8, 9, 10, 12'
14"	6, 8, 9, 10, 12, 14'
16"	6, 8, 9, 10, 12, 14, 16, 18, 20'
18"	6, 8, 9, 10, 12, 14, 16, 18, 20'
24"	8, 9, 10, 12, 14, 16, 18, 24, 26, 28, 30'

HB&G offers two distinctive types of flutes. The stock molded flute is available on certain sizes of the tapered column. the stock flute is part of the manufacturing process and cannot be altered. Please see chart below for available sizes. The custom flute is milled after the column is manufactured and can be modified to your specific length. All round PermaCast® columns, both tapered and no-taper, are available with this fluting style. Pricing and lead times vary for all custom flutes.

Fluted Round Tapered Columns

Column Sizes	Lengths
8"	8, 9, 10'
10"	8, 9, 10, 12'
12"	8, 9, 10, 12, 14, 16, 18'
14"	8, 10, 12'
16"	8, 10'

Factory Splitting is available for all plain and fluted round columns for use in pilaster applications and to wrap around an existing load-bearing post. Split columns are not load bearing.

Decorative, Standard, and Contemporary caps and bases are available for PermaCast® Round Columns. Please see the PermaCast® cap and base options page for more information.

Request More Information!

If you can't find what you need from the Information Center, please fill out the Contact Form and one of our knowledgeable customer service or outside sales representatives will get in contact. Thanks!

Contact Us Today

First Name

Last Name

Email

Phone Number

City

Select State

Zip

Message

SEND NOW

Join Our Email Newsletter for Product News

First Name

Last Name

Your Email Address

JOIN NOW



1015 Brundidge Blvd, Troy, AL 36081
1-800-264-4424

Categories

- Porch Pillars

2021 Full-Line Catalog

9 Foot Posts & Columns

12 Foot Posts & Columns

Outdoor Living

Railing & Balustrade

Millwork Accessories
- Shop by Size

8 Foot Posts & Columns

10 Foot Posts & Columns

Columns

Pergolas

Porch Posts

Accredited CE Course

Helpful Links

- About Us

Where to Buy

Request Info

Gallery Page

FAQ

Careers
- Contact Us

Literature

Architectural Drawings

Privacy Policy

Accredited CE Course



AZEK TRIM | #1 BRAND OF TRIM

Offering the unequalled combination of Uniformity, Durability, Workability and Beauty, AZEK Trim looks and feels like real wood, yet requires low maintenance to provide lasting curb appeal.

AZEK Trim products are available in many dimensions and sizes, most in both Traditional (smooth) and Frontier (rustic texture). With a building code listing (ESR-1074), AZEK Trim products can be worked similar to wood - even mitered, routed and turned on a lathe. For custom applications, AZEK Trim products can be laminated and heat formed to create curves. AZEK To Mill offers a true 1 1/4" profile that is perfect for fabrication and OEMs.

AZEK TRIM PRODUCTS

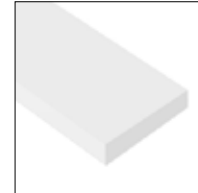
By thickness, width, and length

5/8 TRIM Traditional & Frontier		LENGTHS	
		12'	18'
ACTUAL DIMENSIONS	5/8 x 3 1/2"	•	•
	5/8 x 5 1/2"	•	•
	5/8 x 7 1/4"	•	•
	5/8 x 9 1/4"	•	•
	5/8 x 11 1/4"	•	•
	5/8 x 15 1/4"	•	•

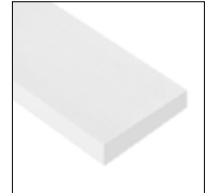
4/4 TRIM Traditional & Frontier		LENGTHS	
		12'	18'
NOMINAL DIMENSIONS	1 x 2		•
	1 x 4	•	•
	1 x 5	•	•
	1 x 6	•	•
	1 x 8	•	•
	1 x 10	•	•
	1 x 12	•	•
	1 x 16	•	•

READY RAKE®	LENGTH
1 x 3 on 1 x 8	18'

QUICK CORNER®	LENGTH
6 x 6 corner with 13/16 J-Channel	20'



Trim - Traditional



Trim - Frontier



Finish Grade Trim



Universal Skirt Board



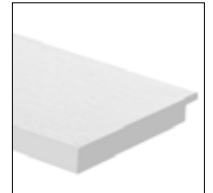
5/8" B beadboard



1/2" B beadboard



Integrated Drip Edge



Rabbeted Trim



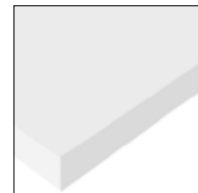
Cornerboards



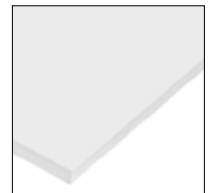
Rabbeted Cornerboards



Column Wrap



AZEK To Mill (ATM)



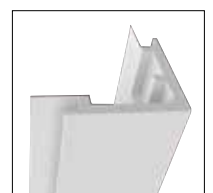
AZEK Sheets



AZEK Adhesive



ReadyRake®



QuickCorner®



AZEK TRIM | #1 BRAND OF TRIM

Offering the unequalled combination of Uniformity, Durability, Workability and Beauty, AZEK Trim looks and feels like real wood, yet requires low maintenance to provide lasting curb appeal. Using traditional tools and fasteners,

5/4 TRIM Traditional & Frontier		LENGTHS		
		12'	18'	20'
NOMINAL DIMENSIONS	5/4 x 4	•	•	•
	5/4 x 5	•	•	•
	5/4 x 6	•	•	•
	5/4 x 8	•	•	•
	5/4 x 10	•	•	•
	5/4 x 12	•	•	•
	5/4 x 16	•	•	•

SHEET Traditional Only		LENGTHS				
		8'	10'	12'	18'	20'
ACTUAL DIMENSIONS	3/8" x 4'	•	•			
	1/2" x 4'	•	•			
	5/8" x 4'	•	•		•	
	3/4" x 4'	•	•	•	•	
	1" x 4'	•	•	•		•

6/4 TRIM Frontier Only		LENGTH
		20'
NOMINAL DIMENSIONS	6/4 x 4	•
	6/4 x 6	•
	6/4 x 8	•
	6/4 x 10	•
	6/4 x 12	•

CORNERBOARD Traditional & Frontier		LENGTHS	
		10'	20'
NOMINAL DIMENSIONS	5/4 x 4 x 4	•	•
	5/4 x 6 x 6	•	•
	6/4 x 4 x 4	•	
	6/4 x 6 x 6	•	

UNIVERSAL SKIRT BOARD Traditional & Frontier		LENGTH
		18'
NOMINAL DIMENSIONS	5/4 x 6	•
	5/4 x 8	•
	5/4 x 10	•

5/4 RABBETED TRIM Traditional & Frontier		LENGTH
		18'
NOMINAL DIMENSIONS	5/4 x 4	•
	5/4 x 6	•
	5/4 x 8	•

RABBETED CORNERBOARD Traditional & Frontier		LENGTHS	
		10'	20'
NOMINAL DIMENSIONS	5/4 x 4 x 4	•	•
	5/4 x 6 x 6	•	•
	5/4 x 8 x 8 (Trad only)	•	•

BEADBOARD		LENGTH
		18'
NOMINAL DIMENSIONS	5/8" x 3 1/2"	•
	1/2" x 5 1/2"	•

AZEK TO MILL (ATM)		LENGTHS	
		8'	18'
NOMINAL DIMENSIONS	1 1/4" x 9 1/4"		•
	1 1/4" x 48"	•	

FINISH GRADE TRIM Traditional		LENGTH
		18'
NOMINAL DIMENSIONS	6/4 x 4	•
	6/4 x 6	•
	3" x 3" Mitre Key Corner Reinforcement	

INTEGRATED DRIP EDGE Traditional & Frontier		LENGTH
		18'
NOMINAL DIMENSIONS	5/4 x 4	•
	5/4 x 6	•

COLUMN WRAP Traditional		LENGTH
		10'
NOMINAL DIMENSIONS	4 x 4	•
	6 x 6	•
	8 x 8	•

AZEK ADHESIVE	
BOTTLE SIZE	4 oz.
	8 oz.
	16 oz.
	32 oz.
	128 oz.
	5 gal.



AZEK MOULDING | THE LOOK AND FEEL OF AZEK TRIM

High performing wood replacement mouldings available in a variety of profiles. A perfect match to AZEK Trim, AZEK Mouldings are known for longevity and durability. They won't split or rot and can be installed using traditional tools and fasteners.

AZEK Mouldings - Most can be heat formed to create curved moulding details.



3" Crown



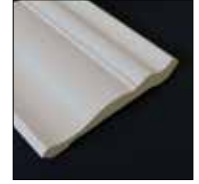
4" Crown



5" Crown

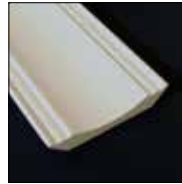


6" Crown

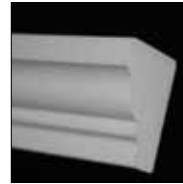


8" Crown

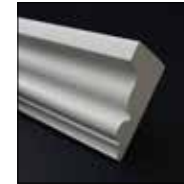
MOULDING PROFILES	SIZES
3" Crown	$\frac{9}{16}$ " x $2\frac{3}{4}$ " x 16'
4" Crown	$\frac{9}{16}$ " x $3\frac{5}{8}$ " x 16'
5" Crown	$\frac{11}{16}$ " x $4\frac{5}{8}$ " x 16'
6" Crown	$\frac{11}{16}$ " x $5\frac{1}{4}$ " x 16'
8" Crown	1" x $7\frac{1}{2}$ " x 16'
Cove Moulding	$\frac{3}{4}$ " x $4\frac{1}{4}$ " x 16'
Rams Crown	$1\frac{13}{32}$ " x $2\frac{1}{16}$ " x 16'
Imperial/Rake Crown	$1\frac{3}{8}$ " x $2\frac{3}{4}$ " x 16'
Bed Moulding	$\frac{9}{16}$ " x $1\frac{3}{4}$ " x 16'
$3\frac{1}{2}$ " Bed Moulding	$\frac{13}{16}$ " x $3\frac{1}{2}$ " x 16'
Scotia	$\frac{3}{4}$ " x $\frac{3}{4}$ " x 16'
Quarter Round	$\frac{3}{4}$ " x $\frac{3}{4}$ " x 16'
Shingle Mould	$\frac{11}{16}$ " x $1\frac{5}{8}$ " x 16'
Band Moulding	$\frac{11}{16}$ " x $1\frac{5}{8}$ " x 16'
Wainscot Cap	1" x $2\frac{1}{4}$ " x 16'
Base Cap	$\frac{11}{16}$ " x $1\frac{1}{8}$ " x 16'
Brick Mould	$1\frac{1}{4}$ " x 2" x 17' $1\frac{1}{4}$ " x 2" x 18' (full units only)
Back Band	$1\frac{11}{32}$ " x $1\frac{3}{16}$ " x 16'
Rake Moulding	$1\frac{1}{16}$ " x 2" x 16'
Adams Casing	$1\frac{1}{16}$ " x $3\frac{1}{2}$ " x 16'
Colonial Base Cap	$\frac{3}{4}$ " x $5\frac{1}{4}$ " x 16'
Fluted/Reeded Casing	$\frac{15}{16}$ " x $5\frac{1}{4}$ " x 16'
Crosshead Pediment	$2\frac{13}{32}$ " x $7\frac{1}{8}$ " x 18' - w/flange $2\frac{13}{32}$ " x $6\frac{1}{8}$ " x 18' - w/o flange
1 1/2" Square	$1\frac{1}{2}$ " x $1\frac{1}{2}$ " x 12'
Drip Cap	$\frac{11}{16}$ " x $1\frac{5}{8}$ " x 16'
Water Table	$2\frac{3}{4}$ " x 2" x 18'
Historic Sill	$1\frac{3}{4}$ " x $2\frac{1}{32}$ " x 16'
Sub Sill Nose	$1\frac{17}{32}$ " x $1\frac{1}{2}$ " x $1\frac{3}{8}$ " x 16'
Garage Door Thermostop	$\frac{7}{8}$ " x 2" x 7', 9', & 16'



Cove Moulding



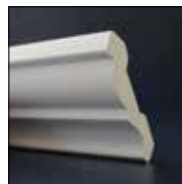
Rams Crown



Imperial/Rake Crown



Bed Moulding



3 1/2" Bed Moulding



Scotia



Quarter Round



Shingle Mould



Band Moulding



Wainscot Cap



Base Cap



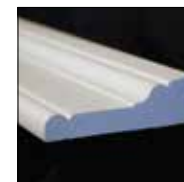
Brick Mould



Back Band



Rake Moulding



Adams Casing



Colonial Base Cap



Fluted Reeded Casing



Crosshead Pediment



1 1/2" Square Profile



Drip Cap



Water Table



Historic Sill



Sub Sill Nose



Garage Door Thermostop

AZEK Product Line | DECK & PORCH



AZEK DECK | #1 BRAND OF CAPPED POLYMER DECK

Resists stains, scratches and splits for a smart and beautiful low maintenance deck. Available in 14 colors and several grains to suit any taste and complement any exterior.

Vintage Collection®



Dark Hickory Cypress Mahogany

Arbor Collection®



Hazelwood™ NEW! Acacia® NEW! Morado® Silver Oak® Mountain Redwood™ Brazilian Walnut

Harvest Collection®



NEW! Kona® Slate Gray Brownstone Island Oak™ Autumn Chestnut™



DECK PRODUCTS	Square Shouldered Lengths			Grooved Lengths			Fascia 1/2" x 11 3/4"
All Deck Boards 1" x 5 1/2"	12'	16'	20'	12'	16'	20'	12'
Harvest Collection® (New Kona®)	•	•	•				•
Harvest Collection® (Brownstone & Slate Gray)	•	•	•	•	•	•	•
Harvest Collection® (Island Oak™ & Autumn Chestnut)		•	•	•	•	•	•
Arbor Collection® (Silver Oak®, Hazelwood®, New Acacia®, New Morado®, Brazilian Walnut, Mountain Redwood™)		•	•	•	•	•	•
Vintage Collection® (Dark Hickory, Cypress, Mahogany)		•	•	•	•	•	•



AZEK PORCH | TRADITIONAL LOOK, LOW MAINTENANCE

Available in five popular shades, offers stain and scratch resistance in a traditional tongue and groove board.

PORCH PRODUCTS	Lengths		
All Porch Boards 1" x 3 1/8"	10'	12'	16'
Brownstone	•	•	•
Slate Gray	•	•	•
Morado®		•	•
Silver Oak®		•	•
Oyster®		•	•



Porch Board



Morado®



Silver Oak®



Oyster®



Brownstone



Slate Gray



AZEK FASTENING | REDUCE HARDWARE VISIBILITY

AZEK offers a variety of fastening options that are either completely hidden from view or color matched to minimize the visibility as much as possible for a clean overall look.

FUSIONLoc™



FUSIONLoc™ Grooved Profiles Only	CONTENTS	COVERAGE
225 sq. ft. box	400 clips, fasteners, 1 bit	225 sq. ft.
450 sq. ft. box	800 clips, fasteners, 1 bit	450 sq. ft.

CONCEALoc™



CONCEALoc™ HIDDEN FASTENERS Grooved Profiles Only	CONTENTS	COVERAGE
Retail Cartons	175 Fasteners 184 Screws Drive Bit	100 sq. ft.
Gun Pail	900 Fasteners with Collated Pneumatic Screws	500 sq. ft.
Bulk Bucket	1,750 Fasteners	1,000 sq. ft.

CORTEX®



CORTEX®	CONTENTS	
	100 sq. ft.	300 sq. ft.
Harvest, Arbor, and Vintage	•	•

*Available through FastenMaster



AZEK RAIL | BEAUTY, STRENGTH, AND LASTING DURABILITY

AZEK Rail offers the look and feel of wood coupled with high durability and low maintenance.

Premier Rail

Reserve Rail

Trademark Rail



Slate Gray



Brownstone



Kona®



Black



White



White



White

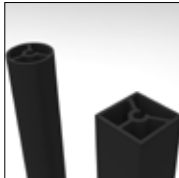
Impression Rail



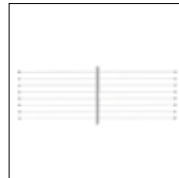
Black



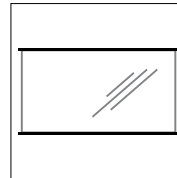
Composite Baluster



Aluminum Round & Square Balusters



Cable



Glass Kit
Glass not included



Top and Support Rail
(Premier)



Top and Support Rail
(Reserve)



Top and Support Rail
(Trademark)



5.5 x 5.5 Post



6 x 6 Post



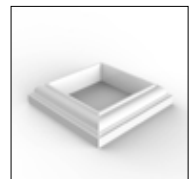
Secure Mount Post



Pyramid Cap



Island Cap



Post Skirt



Lighted Island Cap



Post Cap Module



Riser Light



In-Deck Light



Accent Light



Under Rail Light



ADA Hand Rail and
Accessories



Example of ADA
Accessory Items

AZEK Rail is available in four distinct profiles:

AZEK Premier

The classic Victorian railing.

Colors include:

- White
- Brownstone
- Slate Gray
- Kona®
- Black

AZEK Reserve

Generously sized railing that offers a luxurious look and feel. Available in White.

AZEK Trademark

Colonial look that works well with any housing style. Available in White.

Impression Rail - Dual Branded

Classic aluminum railing that provides unobstructed views and easy installation



AZEK RAIL | BEAUTY, STRENGTH, AND LASTING DURABILITY

AZEK Rail offers the look and feel of wood coupled with high durability and low maintenance.

PREMIER RAIL Available in White, Black, Brownstone, Slate Gray, Kona®	LENGTHS		
	6'	8'	10'*
Rail Pack	•	•	•
Custom Rail Pack	•	•	•
36" and 42" Rail Kits (White Only)	•	•	•

TRADEMARK RAIL Available in White	LENGTHS		
	6'	8'	10'
Rail Pack	•	•	•
Custom Rail Pack	•	•	•
36" and 42" Rail Kits	•	•	•

RESERVE RAIL KITS Available in White	LENGTHS				
	6'	8'	10'	12'	16'
Rail Pack	•	•	•		
5 1/2" Top Rail	•	•	•	•	•

IMPRESSION RAIL Available in Black	LENGTHS		
	6'	8'	10'
Level Rail Kit 36"	•	•	•
Stair Rail Kit 36"		•	
Level Rail Kit 42"	•	•	•
Stair Rail Kit 42"		•	

IMPRESSION RAIL POST KITS With Cap and Skirt	LEVEL RAIL HEIGHTS	
	36"	42"
Post Kit 2" x 2" x 37"	•	
Post Kit 3" x 3" x 38"	•	
Post Kit 2" x 2" x 43"		•
Post Kit 2" x 2" x 54"		•
Post Kit 3" x 3" x 44"		•
Post Kit 3" x 3" x 54"		•
Over the Post Level Rail 2" x 2"	•	
Over the Post Stair Rail 2" x 2"	•	

UNIVERSAL GATE KITS Premier & Trademark Rail	Height
White	•
Black	•

LIGHTING ACCESSORIES
5.5" LED Post Cap Light
Riser Light
Accent Light
In-Deck Light
Under-Rail Light
Transformer (12V, 100W)
100 Ft Wire 16/2
Wire Guides

ADA HANDRAIL & ACCESSORIES All AZEK Rail Profiles
1.5" Dia. Straight Rail, 104" Length
Handrail Bracket
Straight Joiner
Adjustable Joiner
Straight Wall Return
Post Return
90 Degree Corner
90 Degree Inside Corner Bracket
Wall Return with Cover Plate
Joint Rings
End Loop
Rail End Caps

* Only available in Black and White



AZEK RAIL | BEAUTY, STRENGTH, AND LASTING DURABILITY

AZEK Rail offers the look and feel of wood coupled with high durability and low maintenance.

UNIVERSAL PARTS

For Premier, Trademark and Reserve

POST SLEEVES	LENGTHS			
	39"	54"	108"	144"
5.5 x 5.5 Post Sleeve - White	•	•		•
5.5 x 5.5 Post Sleeve - Black	•	•		•
5.5 x 5.5 Post Sleeve - Brownstone	•	•		•
5.5 x 5.5 Post Sleeve - Slate Gray	•	•		•
5.5 x 5.5 Post Sleeve - Kona®	•	•		•
4 x 4 Post Sleeve - White	•			
6 x 6 Post Sleeve - White			•	

ACCESSORIES	COLORS				
	White	Black	Brownstone	Slate Gray	Kona®
4 x 4 Post Skirt	•				
5.5 x 5.5 Pyramid Cap	•	•	•	•	•
5.5 x 5.5 Island Cap	•	•	•	•	•
5.5 x 5.5 Post Skirt - 1 Pc	•	•	•	•	•
6 x 6 Island Cap	•				
6 x 6 Post Skirt - 2 Pc	•				
5.5 x 5.5 Lighted Island Cap	•	•	•	•	•

HARDWARE
Universal Hardware Kit
Baluster Fastener Kit

SECURE MOUNT POST
4" Post
6" Post Attachment
Deck Mounting Kit

GLASS	COLORS	
	White	Black
6' Glass Channel	•	•

ALUMINUM BALUSTERS (20/Pack)
42" - Straight*
42" - Stair
36" - Straight*
36" - Stair

BALUSTERS* (18/pack)	LENGTHS	
	36"	42"
White	•	•
Black	•	•
Brownstone	•	•
Slate Gray	•	•
Kona®	•	•
Reserve White	•	•

CABLERAIL
100' Stainless Steel Cable
500' Stainless Steel Cable
36" Hardware Kit
42" Hardware Kit
36" Intermediate Baluster
42" Intermediate Baluster
36" Stair Intermediate Baluster
42" Stair Intermediate Baluster
Accessory Kit
Cable Cutters
Protector Sleeves (Pack of 20)

UNIVERSAL PARTS

Impression Rail

ACCESSORIES	SIZES				
	45"	22 1/2"	4"	2"	3"
Level Rail Bracket Kit (set of 4)	•	•			
Level Rail Site Cut Bracket Kit (set of 4)			•		
Fixed Stair Rail Bracket Kit (set of 4)					
Adjustable Stair Rail Bracket Kit (set of 4)					
Fastener Kit for Composite Posts and Top Rails					
Installation Tool					
Touch Up Paint					
Mounting Plate				•	•

* Also available in heights to provide a less than 2" gap from deck surface to bottom rail.



AZEK PAVERS | PAVERS, REINVENTED

Combining recycled materials with cutting-edge technology, AZEK Pavers are the most advanced segmented paving system in the world.



Redwood



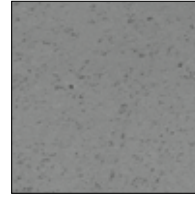
Boardwalk



Olive



Village



Waterwheel



Standard Pavers/Grid



Permeable Pavers/Grid



Resurfacing Pavers/Grid



Close-up of Grid



Standard Soldier Wedge Paver



Standard Soldier Full Paver



Resurfacing Transitional Paver



Resurfacing Bullnose Paver



Shown:
Standard 8x8 Paver, Standard 4x8 Paver
and Standard 4x4 Paver on Grid

Engineered to resist cracking and staining, AZEK Pavers provide long lasting good looks and are guaranteed for life not to crack under normal use (residential applications only).

AZEK Pavers use a patented grid system that dramatically reduces installation time and takes the frustration and difficulty out of manually setting and aligning heavy concrete pavers. AZEK Pavers are perfect for projects such as:

- Patios and Walkways
- Driveways and Parking Lots
- Resurfacing Decks and Patios
- Flat Roof Applications
- Commercial Projects
- Storm Water Management

Made from up to 95% recycled materials, AZEK Pavers help projects earn LEED certification easier than any other pavement. AZEK Pavers outperform other pavers in LEED contribution, such as concrete pavers with fly ash, by more than 10 times.

PAVER PRODUCTS	STANDARD 2.38" height	RESURFACING 1.75" height	PERMEABLE 2.38" height	COLOR OPTIONS				
				Redwood	Boardwalk	Olive	Village	Waterwheel
4" x 8"	•	•	•	•	•	•	•	•
8" x 8"	•	•		•	•	•	•*	•
4" x 4"	•	•		•	•	•	•*	•
Bullnose Paver		•		•	•	•	•	•
Transition Paver		•		•	•			•
Soldier Course Wedge	•			•				•
Soldier Course Full	•			•				•
EnkaDrain 3801 Drainage Mat								

* 8"x 8" and 4"x 4" Resurfacing Pavers are not available in Village

Grids are 16"x 16"

All photos are for display purposes only and not for the purpose of validating the suitability or safety of any particular installation or application of the product. Always consult AZEK's Installation Instructions as well as local building codes to ensure proper installation.



PRODUCTS AVAILABLE NEAR ZIP CODE:

20170

We're sorry this product is not available in the selected area

LANDMARK® TL

[OVERVIEW](#)

[TECHNICAL INFO](#)

[INSTALLATION](#)

LANDMARK® **TL**

Triple Laminate



Ask an Expert

The luxury heavyweight of the Landmark series, Landmark TL is a high-quality triple-laminate shingle that emulates the telling beauty of wood shake roofing. Aesthetic features include a high-contrast color palette and random tab designs with natural shadow lines that create an enhanced visual dimensionality. Independently tested as meeting the highest manufacturing standards for asphalt roofing shingles, Landmark TL's durability and class-leading warranty offer you the peace of mind that your home will stand strong against the elements for years to come.

About CertainTeed Roofing Technologies

As a result of our dedication to product improvements and manufacturing excellence, we've developed numerous valuable technologies that help contractors and homeowners build better, safer, more comfortable homes. This CertainTeed product features the following roofing technologies:

StreakFighter® technology provides reliable, long-term protection against the unsightly black streaks caused by algae formation. Featuring copper-infused surface granules that possess natural anti-algae properties, StreakFighter works to prevent algae from taking hold on shingles - helping roofs maintain their beauty and color. [Learn more.](#)

CertaSeal is a high-grade adhesive made from a proprietary blend of asphalts and polymers that seals shingles together on the roof to safeguard against wind uplift, shingle blow off, and moisture infiltration. Unlike harder sealants that can dry out and crack over time, it is designed to remain pliable and accommodate the slight structural shifts caused by years of temperature and weather changes. [Learn more.](#)

Due to variation in computer monitors and printers, the color samples seen on your computer screen may not exactly match the corresponding color. To verify actual product color, ask to see the actual product, available through a CertainTeed contractor or distributor.

PRODUCT OVERVIEW

- [StreakFighter Algae-Resistant Shingles Brochure](#)
- [NailTrak® Brochure](#)
- [Integrity Roof System Brochure](#)
- [Top 5 Reasons to Choose CertainTeed Roofing](#)
([More Info](#))

TECHNICAL SPECS

- [3-Part Spec - Landmark TL AR](#)
- [3-Part Spec - Landmark TL](#)
- [SDS - Asphalt Shingle - AR](#)
- [SDS - Asphalt Shingle - non-AR](#)
([More Info](#))

INSTALLATION

Select any filter and click on Apply to see results



Ask an Expert

[\(More Info\)](#)

WARRANTY

- [Asphalt Shingle Limited Warranty](#)
- [SURE START WARRANTY BROCHURE 2021](#)
- [2021 International Warranty](#)

[\(More Info\)](#)

GET INSPIRED AND LEARN MORE

[VISIT THE RESIDENTIAL ROOFING LEARNING CENTER](#)

[VISIT THE RESIDENTIAL ROOFING INSPIRATION GALLERY](#)



PHOTOS

[LANDMARK® TL](#)

[SHINGLES](#)

TECHNICAL INFORMATION

- Three-piece laminated fiber glass construction
- UL Class A fire resistance rating



Ask an Expert

- UL certified to meet ASTM
- D3462 UL certified to meet ASTM D3018 Type I
- ASTM D3161, Class F, 110 mph wind resistance
- Conforms to CSA standard A123.5
- Miami-Dade Product Control Acceptance: Please see the Notice of Acceptance (NOA) to determine approved products by manufacturing location.

About CertainTeed Roofing Technologies

As a result of our dedication to product improvements and manufacturing excellence, we've developed numerous valuable technologies that help contractors and homeowners build better, safer, more comfortable homes. This CertainTeed product features the following roofing technologies:

StreakFighter® technology provides reliable, long-term protection against the unsightly black streaks caused by algae formation. Featuring copper-infused surface granules that possess natural anti-algae properties, StreakFighter works to prevent algae from taking hold on shingles - helping roofs maintain their beauty and color. [Learn more.](#)

CertaSea/ is a high-grade adhesive made from a proprietary blend of asphalts and polymers that seals shingles together on the roof to safeguard against wind uplift, shingle blow off, and moisture infiltration. Unlike harder sealants that can dry out and crack over time, it is designed to remain pliable and accommodate the slight structural shifts caused by years of temperature and weather changes. [Learn more.](#)

SPECS

- [3-Part Spec - Landmark TL AR](#)
- [3-Part Spec - Landmark TL](#)
- [SDS - Asphalt Shingle - AR](#)
- [SDS - Asphalt Shingle - non-AR](#)
- [ICC-ES-ESR-1389](#)
- [FL-5444 - Asphalt Roofing Shingles](#)
- [Miami-Dade NOA - Landmark TL](#)
- [UL Classified Brochure - US](#)



Ask an Expert

INSTALLATION

Applying a roof system correctly is essential to the warranty and performance of the roof.

INSTALLATION

Select any filter and click on Apply to see results

WARRANTY DETAILS

CertainTeed warrants that its shingles will be free of manufacturing defects, and provides the extra assurance of SureStart™ protection. Below are highlights of the warranty for Landmark® TL. See CertainTeed's Asphalt Shingle Products Limited Warranty document for specific warranty details regarding this product.

- Lifetime, limited transferable warranty
- 10-year SureStart™ warranty (100% replacement and labor costs due to manufacturing defects)
- 15-year StreakFighter® warranty against streaking and discoloration caused by airborne algae
- 15-year, 110 mph wind-resistance warranty
- Wind warranty upgrade is available for Landmark TL up to 130 mph. Specified CertainTeed starter and CertainTeed hip and ridge are required

WARRANTY

- [Asphalt Shingle Limited Warranty](#)
- [SURE START WARRANTY BROCHURE 2021](#)
- [2021 International Warranty](#)

EXPORT INFORMATION

Landmark® TL asphalt roofing shingles are available for Export. Please review the related Export documents for additional information.

EXPORT LINKS



Ask an Expert

- [Export Roofing Selection Guide](#)
- [International Limited Product Warranty](#)
- [Declaration of Performance Documents](#)



Ask an Expert



FIND
INSPIRATION
▾

EXPLORE
PRODUCTS
▾

PROJECT
CENTER
▾

TECHNICAL
INFORMATION
▾

WHERE
TO BUY
▾

Search for doors, products...



SHARE



Smooth-Star®



3/4 Lite 1 Panel Flush-Glazed | Style No. S2200 

3.8 (17) [Write a review](#)

4 Available Sizes ▾



VIEW ON HOME

THERMA-TRU VIBRANT PAINT OPTIONS



Looking for more information on finishing options? Check out our [finishing page](#) and learn how you can use finish to make your house a home with Therma-Tru.

GLASS OPTIONS ⓘ



Clear



Clear 1 Lite No Grid



DESIGN YOUR DOOR

WHERE TO BUY

ORDER FINISH SAMPLES

Where Home Begins with Therma-Tru doors.





GACOROOF

GacoRoof

100% Silicone Roof Coating

GacoRoof 100% Silicone Roof Coating creates a seamless membrane to seal and repair existing roofs and permanently protect against leaks, permanent ponding water and the damaging effects of severe weather. GacoRoof is available in several colors to enhance the aesthetics of any roof. Ideal for use on flat and sloped roofs including, but not limited to, large and small buildings, homes, garages and patio covers, sheds and barns, mobile homes, RVs and more.

Questions?

Call our HELPLINE, **866-422-6489**, weekdays, 8:00 am to 5:00 pm CST.

Find Product
Locally

Activate
Warranty

Product
Resources



Benefits

100% SILICONE. The unique chemistry of GacoRoof offers peace of mind for a lifetime! It outperforms and outlasts acrylic, urethane, asphalt and Hypalon® coatings.

NO PRIMER

REQUIRED. GacoRoof will adhere to most surfaces without a primer including built up roofs, cap sheet, metal, modified bitumen and sprayed polyurethane foam.

REMAINS PERMANENTLY

FLEXIBLE. GacoRoof will stay

flexible and maintain adhesion, even under permanent ponding water or snow pack. Other coatings become brittle and begin to degrade over time.

WITHSTANDS PERMANENT PONDING WATER. GacoRoof is an excellent choice for flat or sloped roofs. Extremely durable, GacoRoof will not soften, bubble or degrade under permanent ponding water.

NON-SACRIFICIAL. GacoRoof is unaffected by harsh UV rays and temperature extremes.

PREVENTS COSTLY TEAR OFFS. By recoating your weathered roof with GacoRoof, you not only extend the life of your roof, you avoid the need for a time-consuming and costly tear off.

50-YEAR LIMITED MATERIAL WARRANTY*.

*Conditions apply.



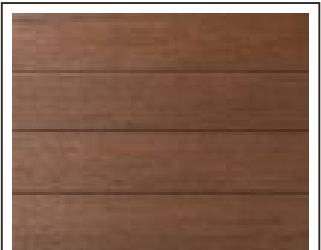


CONNECT WITH A DECKING EXPERT

Home > Products > Porch > Porch Collection



O



FREE SAMPLES



COST CALCULATOR



GET A QUOTE



WHERE TO BUY

CONNECT WITH A DECKING EXPERT

Home > Products > Porch > Porch Collection



O

WE'RE HERE TO HELP



FREE SAMPLES



COST CALCULATOR



GET A QUOTE



WHERE TO BUY

- Actual dimensions: 3.13" x 1"

- Lengths available:

Tongue and Groove 12' and 16'

Mahogany

Dark Hickory

Coastline

Weathered Teak

Oyster

Tongue and Groove 10', 12', and 16'

Slate Gray

Wide Width Porch Boards (Available in 4 Colors Only)

- Actual dimensions: 5.5" x 1"

- Lengths available:

Tongue and Groove 12' and 16'

Mahogany

Dark Hickory

Coastline

Weathered Teak

Get Inspired

See how others have transformed their outdoor living spaces.



FREE SAMPLES



COST CALCULATOR



GET A QUOTE



WHERE TO BUY

HardiePlank® Lap Siding Product Description

HardiePlank® lap siding is factory-primed fiber-cement lap siding available in a variety of styles and textures. Please see your local James Hardie® product dealer for product availability. HardiePlank lap siding comes in 12 ft. lengths. Nominal widths from 5 1/4 in to 12 in. create a range of exposures from 4 in to 10 3/4 in

HardiePlank lap siding is also available with ColorPlus® Technology as one of James Hardie's prefinished products. ColorPlus® Technology is a factory applied, oven-baked finish available on a variety of James Hardie siding and trim products. See your local dealer for details and availability of products, colors, and accessories.

The HZ5® product line is right at home in climates with freezing temperatures, seasonal temperature variations, snow and ice. HZ5® boards are the result of our generational evolution of our time-tested products. We've evolved our substrate composition to be specifically designed to perform in conditions found in these climates. To ensure that its beauty matches its durability, we've engineered the surface for higher performance, giving it superior paint adhesion and moisture resistance. In addition, we've added a drip edge to the HardiePlank® HZ5® lap siding product to provide improved water management in conditions specific to HZ5® climates.



Select Cedarmill®



Smooth



Beaded Cedarmill®



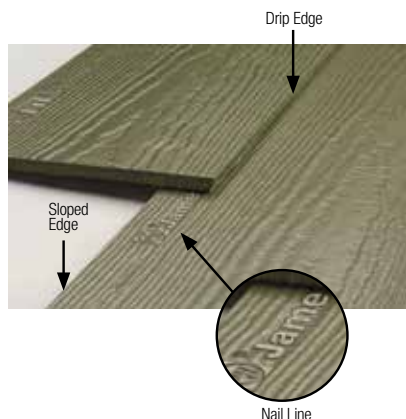
Beaded Smooth



Custom Colonial Roughsawn®



Custom Colonial Smooth®

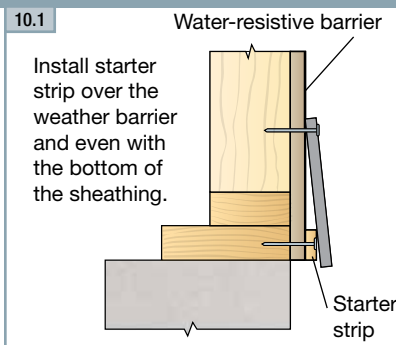


Installation of HardiePlank® Lap Siding

INSTALL A STARTER STRIP

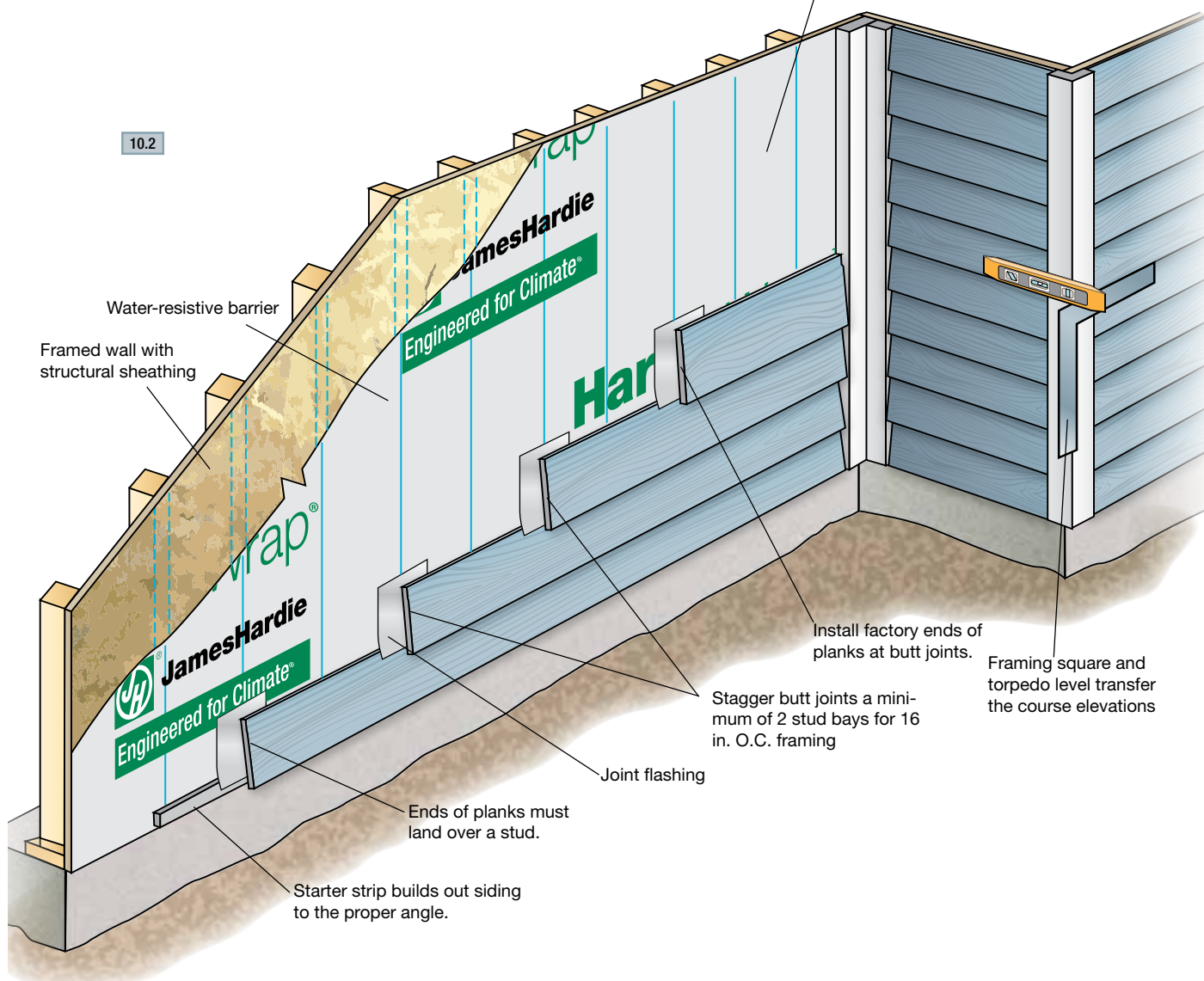
HardiePlank® lap siding requires a starter strip beneath the first course to set it on the proper angle and to create a proper drip edge at the bottom of the siding. Starter strips are easily made by ripping 1 ¼ in. pieces of HardiePlank siding from full or partial planks.

The bottom of the starter strip should be installed even with the bottom of the mudsill or the bottom edge of the sheathing. The strip must be installed over the water-resistive barrier, but occasional gaps should be left in the starter strip to allow any accumulated moisture behind the siding to drain away safely.



TIP: For accurate fastening, snap vertical chalk lines on the water-resistive barrier at the center of every stud location.

OVERVIEW OF HARDIEPLANK LAP SIDING



INSTALLING THE PLANKS

The first course of HardiePlank® siding is critical to the proper installation of the plank on the rest of the building. The first course should start at the lowest point of the house and within required clearances. Special attention should be made to ensure that it's straight and level. Attention should also be paid to staggering any butt joints in the planks so that the installation is attractive while making efficient use of material.

1. Use a level (4 ft. or longer) or chalked level line to be sure that the first course is level. As installation proceeds up the wall, periodically check the level and straightness of the courses. When correcting for flatness over products such as exterior insulation, use drywall shims. It is good practice to snap a chalk line every 3 to 5 courses to keep the planks straight and level.
2. Position the bottom edge of the first course of siding a minimum $\frac{1}{4}$ in below the edge of the starter strip (maintain required clearances) and secure.
3. Run the siding to the HardieTrim® board leaving a $\frac{1}{8}$ in. gap between the siding and trim.

The bottom of the siding should be kept even with the bottom of the trim, or if desired, the trim may extend below the bottom of the siding. But the siding should never hang below the trim. ***When installing the first course make sure ground clearances are in accordance with James Hardie requirements and those of local codes.**

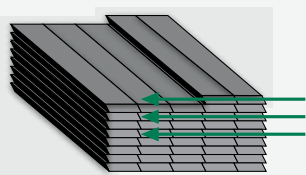
PLANK ALIGNMENT AT CORNERS

For the best looking installation, make sure that the heights of the plank courses match on both sides of a corner. Use a framing square, speed square or a level to match up the plank heights. Check every few courses to make sure proper heights are being maintained.

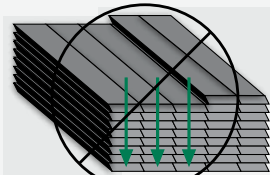
HANDLING

IMPORTANT: To prevent damage to the drip edge, extra care should be taken when removing planks from the pallet, while handling, and when installing with a lap gauge. Planks are interlocked together on the pallet, therefore they should be removed from the pallet horizontally (side to side) to allow planks to unlock themselves from one another.

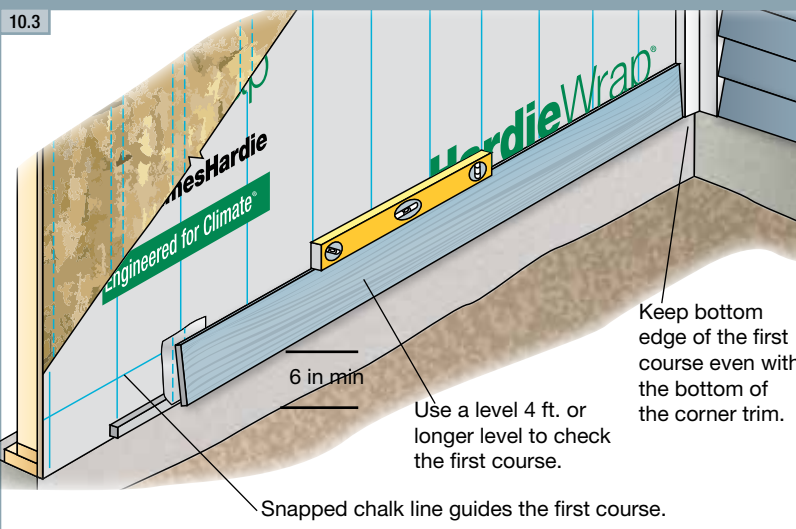
Pull from across the stack



Do not go down the stack



TIP: When taking planks from the pallet installation, avoid repeating the texture pattern by working across the pallet. Two to four planks can be removed from a stack at one time. But then material should be taken from adjacent stacks, again working across the pallet. Texture repeat is typically a concern on large walls with few breaks such as windows or doors.



10.4

End plank courses $\frac{1}{8}$ in from vertical trim and fill gap with permanently flexible caulk.



Installation of HardiePlank® Lap Siding (cont.)

BLIND NAILING (nailing through top of plank)

Blind nailing is recommended for installing any type of HardiePlank® lap siding including ColorPlus® siding. With blind nailing, each course covers the fasteners on the course below, which provides a better looking installation.

For blind nailing HardiePlank lap siding, James Hardie recommends driving fasteners 1 in. from the top edge of the plank. Additionally fasteners should be

placed no closer than 3/8 in from the ends of the plank.

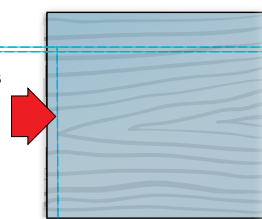
HardiePlank® HZ5® Lap Siding is manufactured with a nail line that should be used as a guide for proper nail placement when blind nailing. This nail line should not be used as a lap line.

Avoid placing fasteners near the top edge of the plank. This practice, called “high nailing”, may lead to loose planks, unwanted gaps or rattling. **Pin-backed corners may be done for aesthetic purposes only. Finish nails are recommended for pin-backs. Headed siding nails are allowed. Place pin-backs no closer than 1in. from plank ends & 3/4in. from plank edge into min. 3/8in. wood structural panel. Pin-backs are not a substitute for blind or face nailing**

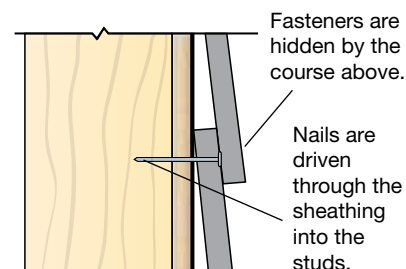
10.5 Blind nailing measurements

Nails for blind nailing shall be between 3/4 in and 1 in. from the top of the board.

Keep nails 3/8 in from ends of boards.



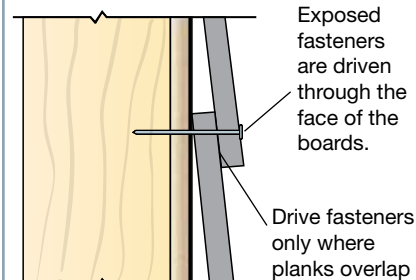
10.6 Blind nailing



FACE NAILING (nailing through the overlap at the bottom of the plank)

Although blind nailing is recommended by James Hardie, face nailing may be required for certain installations including: installations in high wind areas, fastening into OSB or equivalent sheathing without penetrating a stud, or when dictated by specific building codes. Refer to Appendix D for related code matters.

10.7 Face nailing



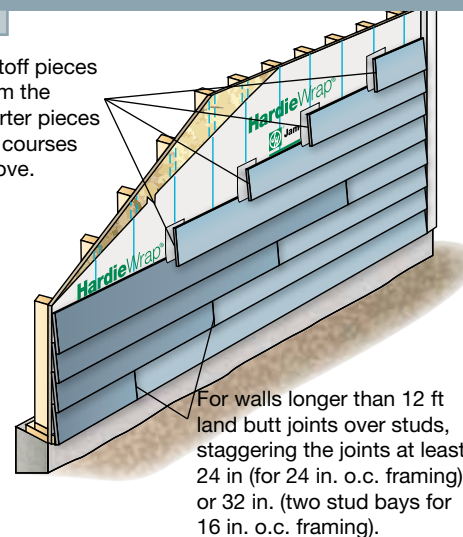
STAGGERING THE BUTT JOINTS

For walls longer than 12 ft, it is necessary to butt joint additional lengths of HardiePlank siding. These butt joints should be staggered to avoid noticeable patterns, which is determined by the placement of the first course. Butt joints between consecutive courses should be spaced apart by at least two stud bays for 16 in. o.c. framing or one bay for 24 in. o.c. framing.

While random placement of the planks is usually the most aesthetically pleasing, a progressive stagger pattern can make the job easier and faster without the pattern becoming too noticeable. With this strategy, the cut off piece for one course becomes the starter piece for a course above, making efficient use of materials and ensuring that all butt joints land on studs. The pattern can be modified for different stud placement.

10.8

Cutoff pieces form the starter pieces for courses above.



JOINT FLASHING

One or more of the following joint treatment options are required by code (as referenced 2009 IRC R703.10.2)

- A. Joint Flashing (James Hardie recommended)
- B. Caulking* (Caulking is not recommended for ColorPlus for aesthetic reasons as the Caulking and ColorPlus will weather differently. For the same reason, do not caulk nail heads on ColorPlus products.)
- C. "H" jointer cover

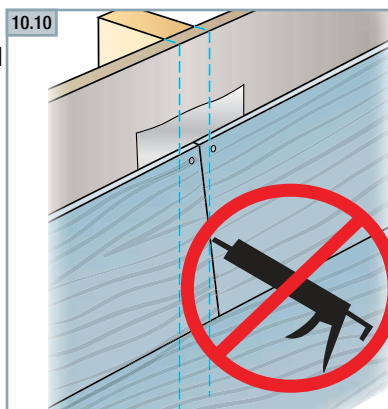
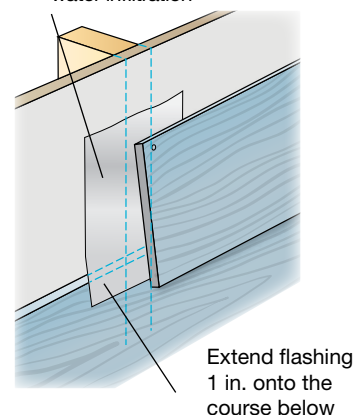
Flashing behind butt joints provides an extra level of protection against the entry of water at the joint. James Hardie recommends 6 in. wide flashing that overlaps the course below by 1 in. Some local building codes may require different size flashing.

Joint-flashing material must be durable, waterproof materials that do not react with cement products. Examples of suitable material include finished coil stock and code compliant water-resistive barriers. Other products may also be suitable.

TIP: Joint flashing can be quickly and easily made by cutting a 6 in. wide section off a roll of housewrap. Tape the roll tightly at the cut mark and cut the section off using a miter saw with a carbide blade. Individual sheets then can be cut to length with a utility knife.

TIP: Use light-colored joint flashing when using light-colored ColorPlus lap siding or other siding with a light-colored finish. Dark-color joint flashings should be used on siding with dark finishes.

10.9 Flashing behind to add an additional layer of protection from water infiltration

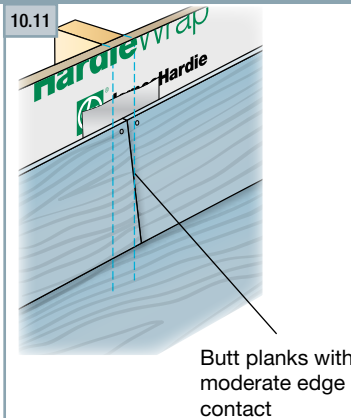


Caulking at HardiePlank lap siding butt joints is not recommended for ColorPlus for aesthetic reasons as the caulking and ColorPlus will weather differently. For the same reason, do not caulk exposed nail heads. Refer to the ColorPlus touch-up section for details

JOINT PLACEMENT AND TREATMENT

Butt joints in HardiePlank lap siding should always land on a stud. Butt joints between studs are not recommended and should be avoided. Whenever possible, factory-finished ends should be used at butt joints.

Place cut ends where the siding meets a corner, door, window trim, or other break in the wall where the joint is to be caulked. If cut ends are used in a butt joint between planks, James Hardie requires sealing cut ends for all products. For ColorPlus products, use the color-matched edge coater to seal the cut end.



COLORPLUS® TIP: When installing HardiePlank lap siding with ColorPlus Technology, position the plank in the immediate area where the plank is to be fastened. Do not place the plank on the course below and slide into position. Doing so may scuff or scratch the ColorPlus finish on the installed piece.

Installation of HardiePlank® Lap Siding (cont.)

CONTINUING THE INSTALLATION

Once the initial course of HardiePlank® siding is fastened to the wall, continue installing successive courses with full 12 ft. pieces (follow the stagger pattern for longer walls), or until a window, door or other opening interrupts the course (fig 10.12). Notch planks as needed to fit around windows and doors. Again, be sure to seal all cut edges. Avoid placing butt joints directly above or below windows or above doors. Separate the joint from the opening by at least one course of siding.

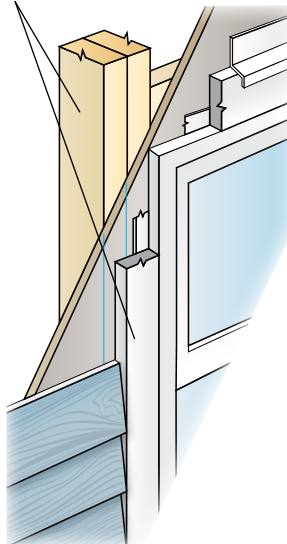
Where butt joints land on a stud, make sure there is enough stud space for plank on both sides of the joint to land properly. Optimally both sides of a butt joint should land in the middle of a stud with 3/4 in landing space for each side. The minimum stud space for a plank to land is 3/8 in

Pay special attention to window, doors, and corners that have been trimmed before the siding goes on. Vertical trim boards may cover the king studs beside windows or doors, or they may cover up corner studs leaving no room for nailing the siding. In these places add extra studs as needed.

If corners are trimmed with HardieTrim® 5/4, 4/4 boards, it may be necessary to measure and cut the first pieces of siding to make sure the butt joints land on studs.

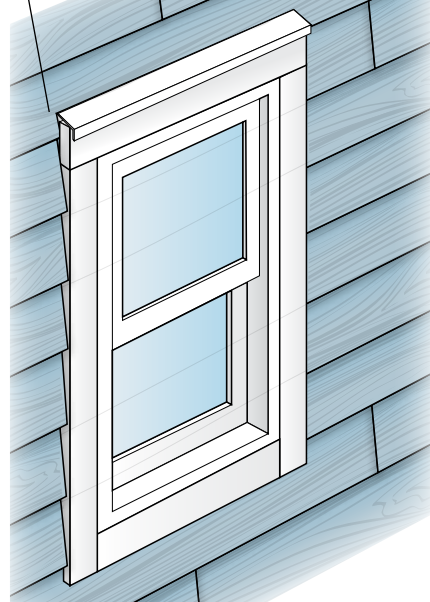
10.12 Planking around windows

Add an extra stud if necessary for nailing the ends of the planks.



Notch plank around window trim and flashing.

Keep butt joints more than one course away from top of window.



COLORPLUS TIP: HardiePlank lap siding with ColorPlus Technology is shipped with a protective laminate slip sheet, which should be left in place during cutting and fastening to reduce marring and scratching. The sheet should be removed immediately after each plank is installed.



INSTALLING HARDIEPLANK® SIDING ON GABLE WALLS

Siding gable walls can be challenging, and some of the keys to siding gable walls efficiently are determining the angle or pitch of the roof, properly staging materials, and ensuring that the plank lengths are measured accurately.

To estimate the amount of siding needed to complete a gable end, use the estimating tools located in Appendix C.

Stage enough material on the pump jacks or scaffolding to complete the gable end, but take care not to overload the staging. When possible, a cut table should be located on the pump jacks or scaffolding, which frees up crew members to work on other walls.

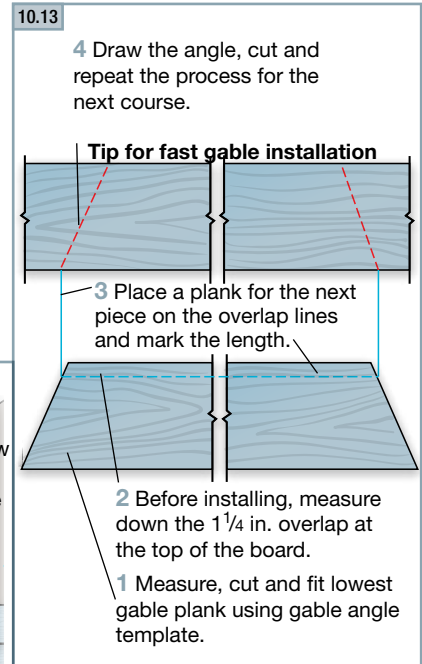
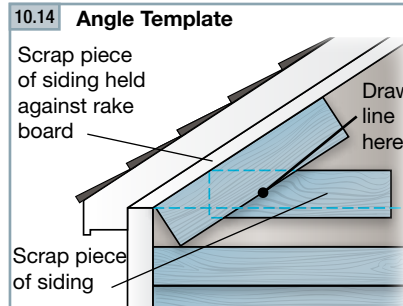
To cut planks for the gable:

1. Tack up a small scrap piece of siding where the first gable course is going.
2. Hold a second small piece of siding against the eave or rake board.
3. Trace the angle onto the scrap.
4. Cut that line and label the scrap as the template for the gable angle. The template can then be used to transfer the angle onto the larger pieces for cutting and installation.
5. Periodically check the angle as you progress up the wall.

The quickest way to measure and cut consecutive courses of siding for a gable is to work off the previous piece.

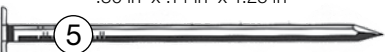
1. Cut and fit the lowest course of siding.
2. Before installing, lay it flat and measure down 1 1/4 in. from the top edge of the plank for the course overlap. Make a mark on both ends.
3. Set a piece of uncut siding on top of the first piece, aligning the bottom edge with the overlap marks. Transfer the length directly to the uncut piece.
4. Draw the gable angle with the template, cut the angle and then repeat the process for the next course.

TIP: Stainless steel fasteners are recommended when installing James Hardie® products.



HARDIEPLANK® SIDING FASTENER SPECIFICATIONS

The Fastener Specifications table shows fastener options for a variety of different nailing substrates. Please refer to the applicable ESR report online (see back page) to determine which fastener meets your wind load design criteria.

Fastener Substrate			Approved Fastener	Fastener Type
wood studs	blind nail	16 in o.c.		 ② .113 in x .267 in x 2 in — 6D common
		24 in o.c.	③ ⑨ ⑩	 ③ .093 in x .222 in. x 2 in — 6D siding nail
	face nail	16 in o.c.	② ⑤	 ⑨ No 11ga 1.25 in long — roofing nail
		24 in o.c.	② ⑤	 ⑦ Ribbed Bugle-Head No. 8 .323 in x 1.625 in — screws
steel studs*	blind nail	16 in o.c.		 ⑧ Ribbed Wafer-Head No. 8 (.375 in x 1.25 in) — screws
		24 in o.c.	⑧ ⑬	 ⑫ [AKN-100] .100 in x .25 in x 1.5 in — ET&F
	face nail	16 in o.c.		 ⑬ [AGS-100] .100 in x .313 in x 1.5 in — ET&F
		24 in o.c.	⑦ ⑫	 ⑭ [ASTM C-90] ASM-144-125 (P/C) .30 in x .14 in x 1.25 in — masonry nail
		Direct to Masonry	⑭	 ⑤ .113 in x .260 in x 2.375 in — 8D common
		7/16 in OSB or equivalent (face nailed)	④	 ⑯ No 11ga 1.75 in long — roofing nail
		④	 ④ .091 in. x .221 in. x 1.5 in — 4D siding nail	

*When blind fastening 9.5 in or wider product onto steel studs, use screws.

● indicates recommended fasteners



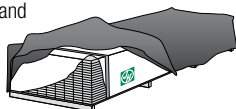
HardiePlank® Lap Siding

EFFECTIVE SEPTEMBER 2019

IMPORTANT: FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTIONS AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE AND MAY AFFECT WARRANTY COVERAGE. FAILURE TO COMPLY WITH ALL HEALTH AND SAFETY REGULATIONS WHEN CUTTING AND INSTALLING THIS PRODUCT MAY RESULT IN PERSONAL INJURY. BEFORE INSTALLATION, CONFIRM YOU ARE USING THE CORRECT HARDIEZONE® PRODUCT INSTRUCTIONS BY VISITING HARDIEZONE.COM OR CALL 1-866-942-7343 (866-9-HARDIE)

STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



CUTTING INSTRUCTIONS

OUTDOORS

- Position cutting station so that airflow blows dust away from the user and others near the cutting area.
- Cut using one of the following methods:
 - Best: Circular saw equipped with a HardieBlade® saw blade and attached vacuum dust collection system. Shears (manual, pneumatic or electric) may also be used, not recommended for products thicker than 7/16 in.
 - Better: Circular saw equipped with a dust collection feature (e.g. Roan® saw) and a HardieBlade saw blade.
 - Good: Circular saw equipped with a HardieBlade saw blade.

INDOORS

DO NOT grind or cut with a power saw indoors. Cut using shears (manual, pneumatic or electric) or the score and snap method, not recommended for products thicker than 7/16 in.

- DO NOT dry sweep dust; use wet dust suppression or vacuum to collect dust.
- For maximum dust reduction, James Hardie recommends using the "Best" cutting practices. Always follow the equipment manufacturer's instructions for proper operation.
- For best performance when cutting with a circular saw, James Hardie recommends using HardieBlade® saw blades.
- Go to jameshardiepros.com for additional cutting and dust control recommendations.

IMPORTANT: The Occupational Safety and Health Administration (OSHA) regulates workplace exposure to silica dust. For construction sites, OSHA has deemed that cutting fiber cement with a circular saw having a blade diameter less than 8 inches and connected to a commercially available dust collection system per manufacturer's instructions results in exposures below the OSHA Permissible Exposure Limit (PEL) for respirable crystalline silica, without the need for additional respiratory protection.

If you are unsure about how to comply with OSHA silica dust regulations, consult a qualified industrial hygienist or safety professional, or contact your James Hardie technical sales representative for assistance. James Hardie makes no representation or warranty that adopting a particular cutting practice will assure your compliance with OSHA rules or other applicable laws and safety requirements.

IMPORTANT: To prevent damage to the drip edge, extra care should be taken when removing planks from the pallet, while handling, and when installing with a lap gauge. Please see additional handling requirements on page 4.

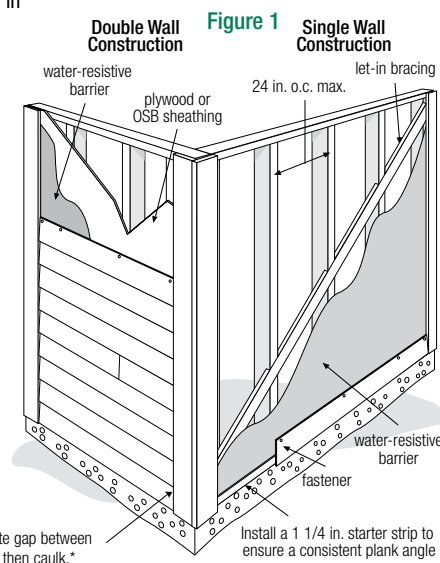
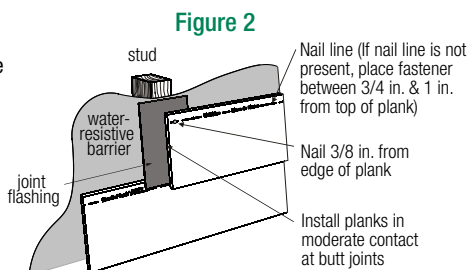
GENERAL REQUIREMENTS:

- HardiePlank® lap siding can be installed over braced wood or steel studs, 20 gauge (33 mils) minimum to 16 gauge (54 mils) maximum, spaced a maximum of 24 in. o.c. or directly to minimum 7/16 in thick OSB sheathing. See General Fastening Requirements. Irregularities in framing and sheathing can mirror through the finished application. Correct irregularities before installing siding.
- Information on installing James Hardie products over non-nailable substrates (ex: gypsum, foam, etc.) can be located in JH Tech Bulletin 19 at www.jamehardie.com
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements. James Hardie will assume no responsibility for water infiltration. James Hardie does manufacture HardieWrap® Weather Barrier, a non-woven non-perforated housewrap¹, which complies with building code requirements.
- Adjacent finished grade must slope away from the building in accordance with local building codes - typically a minimum of 6 in. in the first 10 ft..
- Do not use HardiePlank lap siding in Fascia or Trim applications.
- Do not install James Hardie products, such that they may remain in contact with standing water.
- HardiePlank lap siding may be installed on flat vertical wall applications only.
- For larger projects, including commercial and multi-family projects, where the span of the wall is significant in length, the designer and/or architect should take into consideration the coefficient of thermal expansion and moisture movement of the product in their design. These values can be found in the Technical Bulletin "Expansion Characteristics of James Hardie® Siding Products" at www.jameshardie.com.
- James Hardie Building Products provides installation /wind load information for buildings with a maximum mean roof height of 85 feet. For information on installations above 60 feet, please contact JH technical support.

INSTALLATION: JOINT TREATMENT

One or more of the following joint treatment options are required by code (as referenced 2009 IRC R703.10.2)

- Joint Flashing (James Hardie recommended)
- Caulking* (Caulking is not recommended for ColorPlus for aesthetic reasons as the Caulking and ColorPlus will weather differently. For the same reason, do not caulk nail heads on ColorPlus products.)
- "H" jointer cover



Note: Field painting over caulking may produce a sheen difference when compared to the field painted PrimePlus. *Refer to Caulking section in these instructions.

¹For additional information on HardieWrap® Weather Barrier, consult James Hardie at 1-866-4Hardie or www.hardiewrap.com

SELECT CEDARMILL® | SMOOTH | BEADED CEDARMILL® | BEADED SMOOTH

Visit jameshardiepros.com for the most recent version.



HS11117 P1/4 09/19

CLEARANCE AND FLASHING REQUIREMENTS

Figure 3
Roof to Wall

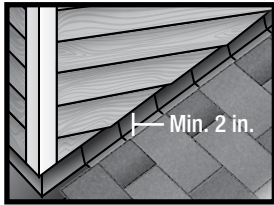


Figure 4
Horizontal Flashing

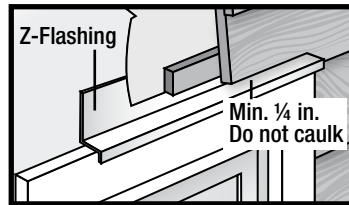


Figure 5
Kickout Flashing

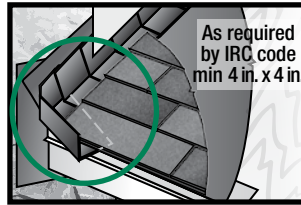


Figure 6
Slabs, Path, Steps to Siding

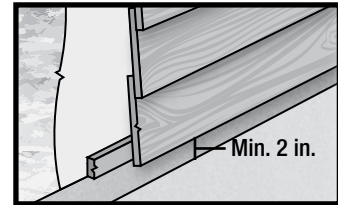


Figure 7
Deck to Wall

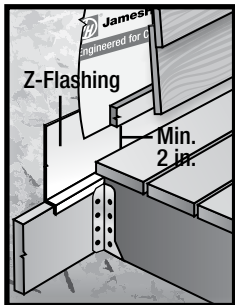


Figure 8
Ground to Siding

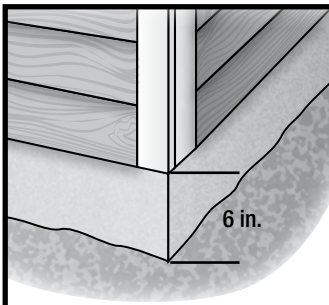


Figure 9
Gutter to Siding

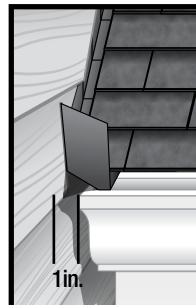


Figure 10
Sheltered Areas

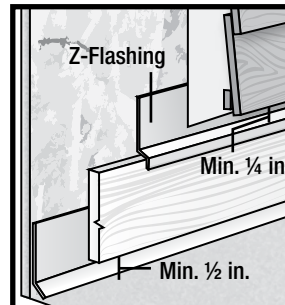


Figure 11
Mortar/Masonry

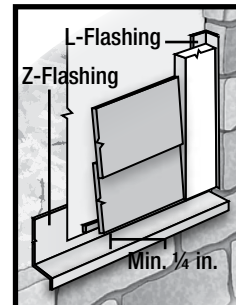


Figure 12
Drip Edge

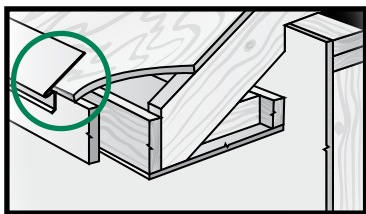


Figure 13
Block Penetration

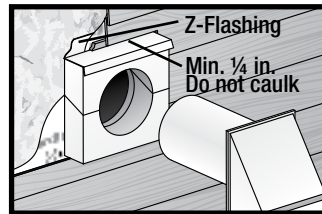
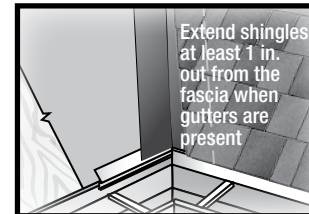


Figure 14
Valley/Shingle Extension



FASTENER REQUIREMENTS*

Refer to the applicable ESR report online to determine which fastener meets your wind load design criteria.

Blind Nailing is the preferred method of installation for HardiePlank® lap siding products. Face nailing should only be used where required by code for high wind areas and must not be used in conjunction with Blind nailing (Please see JH Tech bulletin 17 for exemption when doing a repair).

BLIND NAILING

Nails - Wood Framing

- Siding nail (0.09 in. shank x 0.221 in. HD x 2 in. long)
- 11ga. roofing nail (0.121 in. shank x 0.371 in. HD x 1.25 in. long)

Screws - Steel Framing

- Ribbed Wafer-head or equivalent (No. 8 x 1 1/4 in. long x 0.375 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

- ET & F Panelfast® nails or equivalent (0.10 in. shank x 0.313 in. HD x 1-1/2 in. long) Nails must penetrate minimum 1/4 in. into metal framing.

OSB minimum 7/16 in.

- Siding nail (0.09 in. shank x 0.215 in. HD x 1-1/2 in. long)
- Ribbed Wafer-head or equivalent (No. 8 x 1 5/8 in. long x 0.375 in. HD).

FACE NAILING

Nails - Wood Framing

- 6d (0.113 in. shank x 0.267 in. HD x 2 in. long)
- Siding nail (0.09" shank x 0.221" HD x 2" long)

Screws - Steel Framing

- Ribbed Bugle-head or equivalent (No. 8-18 x 1-5/8 in. long x 0.323 in. HD) Screws must penetrate 3 threads into metal framing.

Nails - Steel Framing

- ET & F pin or equivalent (0.10 in. shank x 0.25 in. HD x 1-1/2 in. long) Nails must penetrate minimum 1/4 in. into metal framing.

OSB minimum 7/16 in.

- Siding nail (0.09 in. shank x 0.221 in. HD x 1-1/2 in. long)

*Also see General Fastening Requirements; and when considering alternative fastening options refer to James Hardie's Technical Bulletin USTB 5 - Fastening Tips for HardiePlank Lap Siding.

FASTENER REQUIREMENTS *continued*

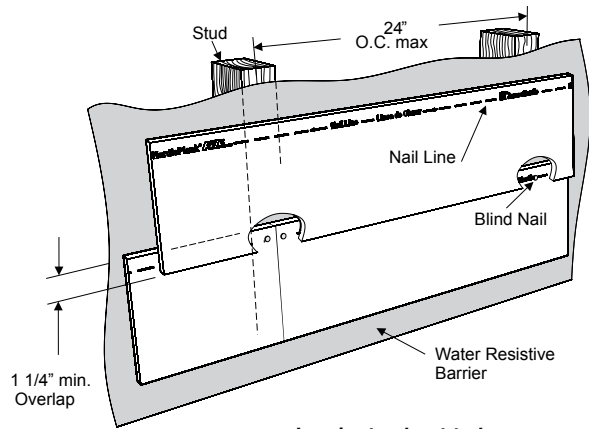
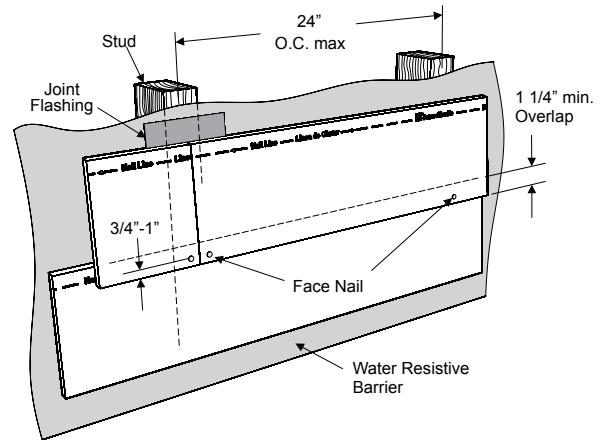
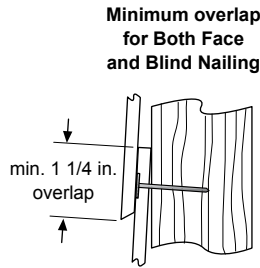


Figure 14 **Figure 15**



Laminate sheet to be removed immediately after installation of each course for ColorPlus® products.

Pin-backed corners may be done for aesthetic purposes only. Finish nails are recommended for pin-backs. Headed siding nails are allowed. Place pin-backs no closer than 1 in. from plank ends and 3/4 in. from plank edge into min. 3/8 in. wood structural panel. Pin-backs are not a substitute for blind or face nailing.

GENERAL FASTENING REQUIREMENTS

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie® products near the ocean, large bodies of water, or in very humid climates.

Manufacturers of ACQ and CA preservative-treated wood recommend spacer materials or other physical barriers to prevent direct contact of ACQ or CA preservative-treated wood and aluminum products. Fasteners used to attach HardieTrim Tabs to preservative-treated wood shall be of hot dipped zinc-coated galvanized steel or stainless steel and in accordance to 2009 IRC R317.3 or 2009 IBC 2304.9.5

- Consult applicable product evaluation or listing for correct fasteners type and placement to achieve specified design wind loads.
- NOTE: Published wind loads may not be applicable to all areas where Local Building Codes have specific jurisdiction. Consult James Hardie Technical Services if you are unsure of applicable compliance documentation.
- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space).
- NOTE: Whenever a structural member is present, HardiePlank should be fastened with even spacing to the structural member. The tables allowing direct to OSB or plywood should only be used when traditional framing is not available.

CUT EDGE TREATMENT

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

CAULKING

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions.

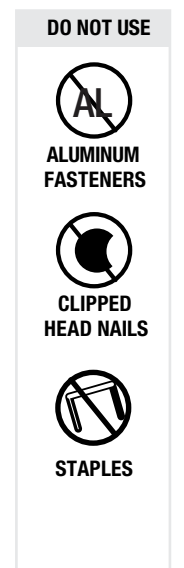
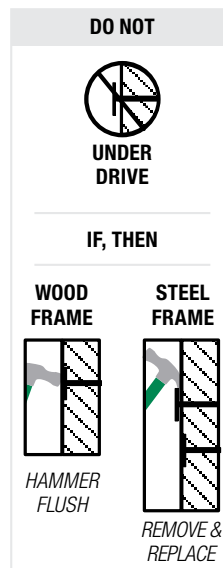
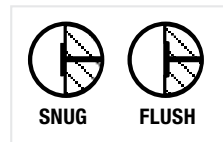
Note: some caulking manufacturers do not allow "tooling".

PAINTING

DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® products. Factory-primed James Hardie products must be painted within 180 days of installation. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth faced hammer - Does not apply for installation to steel framing).





COLORPLUS® TECHNOLOGY CAULKING, TOUCH-UP & LAMINATE

- Care should be taken when handling and cutting James Hardie ColorPlus® products. During installation use a wet soft cloth or soft brush to gently wipe off any residue or construction dust left on the product, then rinse with a garden hose.
- Touch up nicks, scrapes and nail heads using the ColorPlus® Technology touch-up applicator. Touch-up should be used sparingly. If large areas require touch-up, replace the damaged area with new HardiePlank® lap siding with ColorPlus® Technology.
- Laminate sheet must be removed immediately after installation of each course.
- Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus® product dealer.
- Treat all other non-factory cut edges using the ColorPlus Technology edge coaters, available from your ColorPlus product dealer.

Note: James Hardie does not warrant the usage of third party touch-up or paints used as touch-up on James Hardie ColorPlus products.

Problems with appearance or performance arising from use of third party touch-up paints or paints used as touch-up that are not James Hardie touch-up will not be covered under the James Hardie ColorPlus Limited Finish Warranty.

COVERAGE CHART/ESTIMATING GUIDE

Number of 12 ft. planks, does not include waste

COVERAGE AREA
LESS
OPENINGS

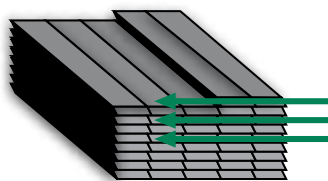
SQ (1 SQ = 100 sq.ft.)	HARDIEPLANK® LAP SIDING WIDTH									
	(exposure)	5 1/4 4	6 1/4 5	7 1/4 6	7 1/2 6 1/4	8 6 3/4	8 1/4 7	9 1/4 8	9 1/2 8 1/4	12 10 3/4
1		25	20	17	16	15	14	13	13	9
2		50	40	33	32	30	29	25	25	19
3		75	60	50	48	44	43	38	38	28
4		100	80	67	64	59	57	50	50	37
5		125	100	83	80	74	71	63	63	47
6		150	120	100	96	89	86	75	75	56
7		175	140	117	112	104	100	88	88	65
8		200	160	133	128	119	114	100	100	74
9		225	180	150	144	133	129	113	113	84
10		250	200	167	160	148	143	125	125	93
11		275	220	183	176	163	157	138	138	102
12		300	240	200	192	178	171	150	150	112
13		325	260	217	208	193	186	163	163	121
14		350	280	233	224	207	200	175	175	130
15		375	300	250	240	222	214	188	188	140
16		400	320	267	256	237	229	200	200	149
17		425	340	283	272	252	243	213	213	158
18		450	360	300	288	267	257	225	225	167
19		475	380	317	304	281	271	238	238	177
20		500	400	333	320	296	286	250	250	186

This coverage chart is meant as a guide. Actual usage is subject to variables such as building design. James Hardie does not assume responsibility for over or under ordering of product.

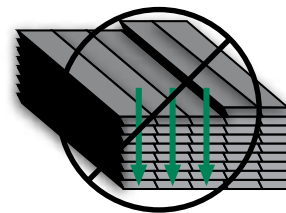
ADDITIONAL HANDLING REQUIREMENTS

IMPORTANT: To prevent damage to the drip edge, extra care should be taken when removing planks from the pallet, while handling, and when installing with a lap gauge. Planks are interlocked together on the pallet, therefore they should be removed from the pallet horizontally (side to side) to allow planks to unlock themselves from one another.

Pull from across the stack



Do not go down the stack



HS11117 P4/4 09/19

SILICA WARNING

DANGER: May cause cancer if dust from product is inhaled. Causes damage to lungs and respiratory system through prolonged or repeated inhalation of dust from product. Refer to the current product Safety Data Sheet before use. The hazard associated with fiber cement arises from crystalline silica present in the dust generated by activities such as cutting, machining, drilling, routing, sawing, crushing, or otherwise abrading fiber cement, and when cleaning up, disposing of or moving the dust. When doing any of these activities in a manner that generates dust you must (1) comply with the OSHA standard for silica dust and/or other applicable law, (2) follow James Hardie cutting instructions to reduce or limit the release of dust; (3) warn others in the area to avoid breathing the dust; (4) when using mechanical saw or high speed cutting tools, work outdoors and use dust collection equipment; and (5) if no other dust controls are available, wear a dust mask or respirator that meets NIOSH requirements (e.g. N-95 dust mask). During clean-up, use a well maintained vacuum and filter appropriate for capturing fine (respirable) dust or use wet clean-up methods - never dry sweep.

WARNING: This product can expose you to chemicals including respirable crystalline silica, which is known to the State of California to cause cancer. For more information go to P65Warnings.ca.gov.

RECOGNITION: In accordance with ICC-ES Evaluation Report ESR-2290, HardiePlank® lap siding is recognized as a suitable alternate to that specified in the 2006, 2009, 2012 & 2015 International Residential Code for One and Two-Family Dwellings, and the 2006, 2009, 2012 & 2015 International Building Code. HardiePlank lap siding is also recognized for application in the following: City of Los Angeles Research Report No. 24862, State of Florida Product Approval FL#13192, Miami-Dade County Florida NOA No. 17-0406.06, U.S. Dept. of HUD Materials Release 1263f, Texas Department of Insurance Product Evaluation EC-23, City of New York MEA 223-93-M, and California DSA PA-019. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.



7702 THERMAL SASH SIDELIGHT

DOOR SPECIFICATIONS (AS SHOWN):

Wood Species: Fir

Glass: Clear

Profile: Ovolo Sticking

Panel Type: 1-7/16" Innerbond DHRP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

STANDARD OPTIONS

Quantity

1

Change Quantity

Stain or Paint?

[view more](#)

☒ Stain ☐ Paint

Wood Species

Fir

Slab Width

[view more](#)

[view more](#)

Feet

1

Inches

0

Fraction

0

Slab Height

[view more](#)

[view more](#)

6

8

0

Thickness

[view more](#)

1 3/4"

IG Glass, Option 1

[view more](#)

Clear

Add Low-E

☐ Yes ☒ No

Film Yes

[view more](#)

Sticking Profile Ovolo Sticking ▼

Panel Type 1-7/16" Innerbond Df ▼

Groove Type None ▼

UltraBlock Yes

[view more](#)

WaterBarrier ☐ Yes ☒ No

[view more](#)

DESIGN AND CONSTRUCTION ALTERATIONS

Modified Mortise & Tenon ☐ Yes ☒ No

[view more](#)

Two-Piece Laminated Stiles ☐ Yes ☒ No

and Rails

[view more](#)

Engineered Stiles and Rails ☐ Yes ☒ No

with 1/4" Veneer

[view more](#)

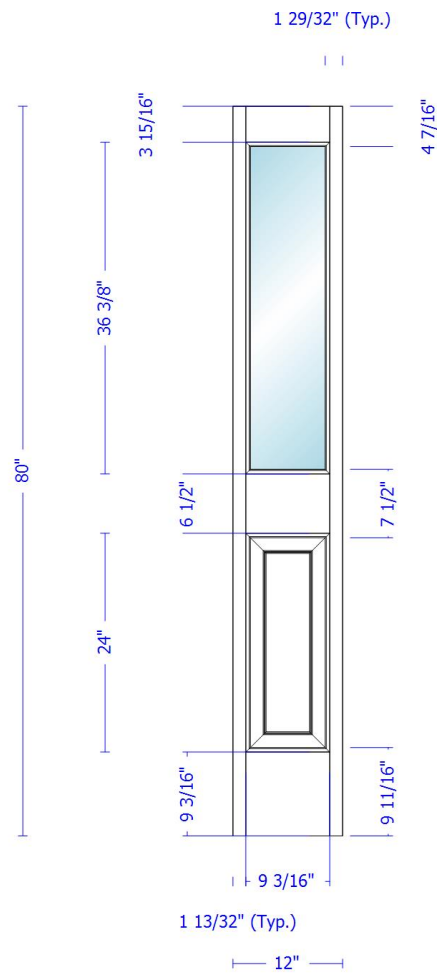
Mouldings None ▼

[view more](#)

FINISHING TOUCHES

Priming ☐ Yes ☒ No

[view more](#)





37803 THERMAL SASH SIDELIGHT (SDL)

DOOR SPECIFICATIONS (AS SHOWN):

Wood Species: Fir

Glass: Clear

Profile: Ovolo Sticking

Panel Type: 1-7/16" Innerbond DHRP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

STANDARD OPTIONS

Quantity

1

Change Quantit

Stain or Paint?

☒ Stain ☐ Paint

[view more](#)

Wood Species

Fir

Slab Width

Feet Inches Fraction

1

0

0

[view more](#)

[view more](#)

Slab Height

6

8

0

[view more](#)

[view more](#)

Thickness

1 3/4"

[view more](#)

IG Glass, Option 1

Clear

[view more](#)

Add Low-E

☐ Yes ☒ No

Sticking Profile

Bar Type

[view more](#)

7/8" Ovolo SDL 

Panel Type

1-7/16" Innerbond Df 

Groove Type

None 

UltraBlock

[view more](#)

☒ Yes

WaterBarrier

[view more](#)

☐ Yes ☒ No

DESIGN AND CONSTRUCTION ALTERATIONS

Modified Mortise & Tenon

[view more](#)

☐ Yes ☒ No

Two-Piece Laminated Stiles
and Rails

[view more](#)

☐ Yes ☒ No

Engineered Stiles and Rails
with 1/4" Veneer

[view more](#)

☐ Yes ☒ No

Mouldings

[view more](#)

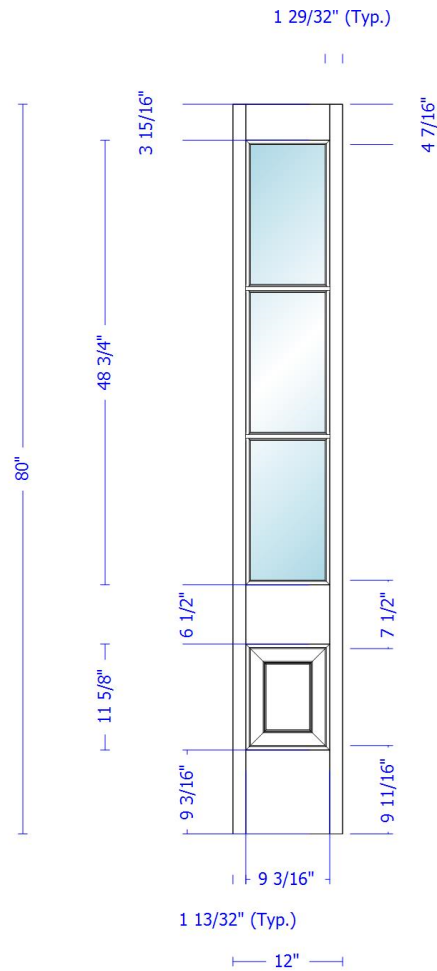
None 

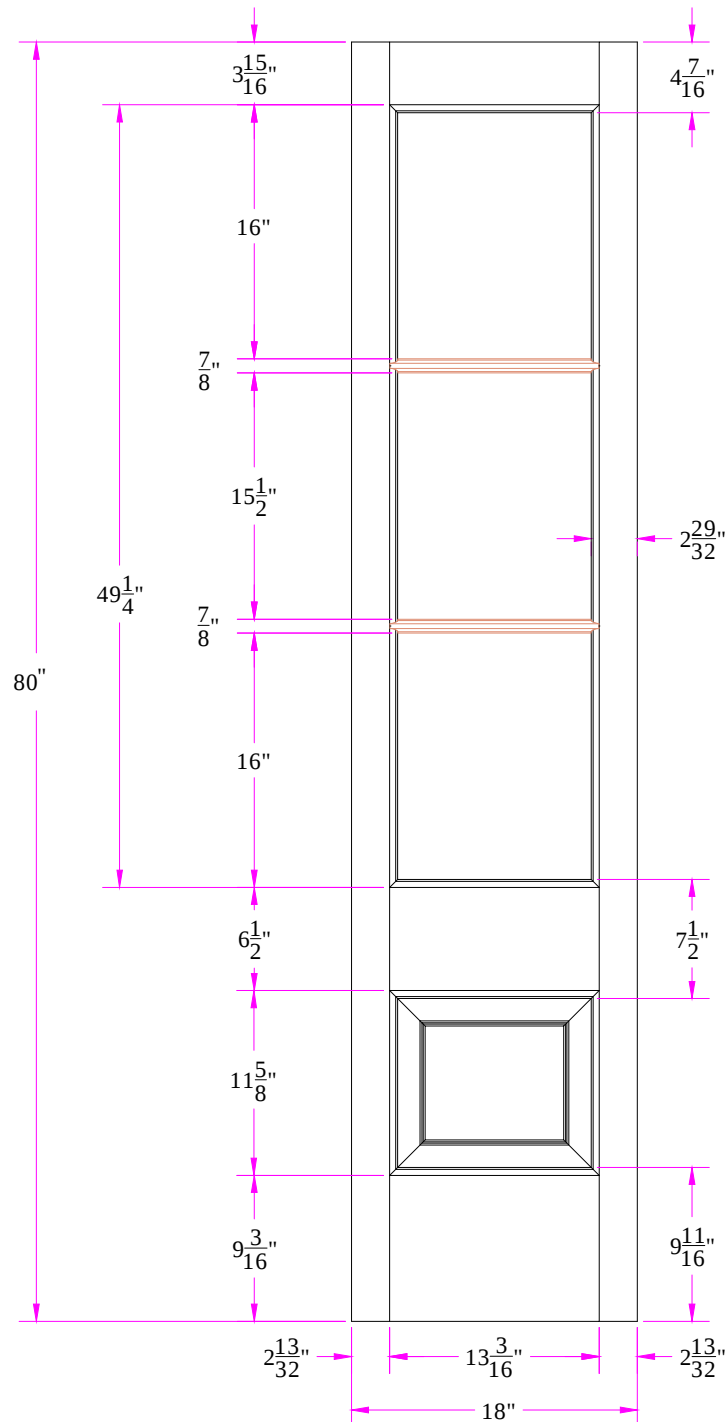
FINISHING TOUCHES

Priming

[view more](#)

☐ Yes ☒ No





THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS THE PROPRIETARY TO SIMPSON DOOR COMPANY AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF SIMPSON DOOR COMPANY.

Revisions

Rev. #	Description	Date	by Whom

TITLE 37803 1/6 x 6/8.5 Customer Layout		
DRAWING NO. S-37803-106-608.5-0700		
LAYOUT 00	SCALE NTS	PATTERN # 7006
DRAWN BY: J. Decker		DATE 03/09/2011
Simpson®		



37506 THERMAL SASH (SDL)

DOOR SPECIFICATIONS (AS SHOWN):

Wood Species: Fir

Glass: Clear

Profile: Ovolo Sticking

Panel Type: 1-7/16" Innerbond DHRP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

STANDARD OPTIONS

Quantity

1

Change Quantit

Stain or Paint?

[view more](#)

☒ Stain ☐ Paint

Wood Species

Fir

Slab Width

[view more](#)

Feet Inches Fraction
3 0 0

Slab Height

[view more](#)

6 8 0

Thickness

[view more](#)

1 3/4"

IG Glass, Option 1

[view more](#)

Clear

Add Low-E

☐ Yes ☒ No

Sticking Profile

Ovolo Sticking

Bar Type

[view more](#)

Panel Type

1-7/16" Innerbond Df 

Groove Type

None 

Stile Width

[view more](#)5-1/2" 

UltraBlock

[view more](#)

Yes

WaterBarrier

[view more](#)☐ Yes ☒ No**DESIGN AND CONSTRUCTION ALTERATIONS**

Dutch

None 

Modified Mortise & Tenon

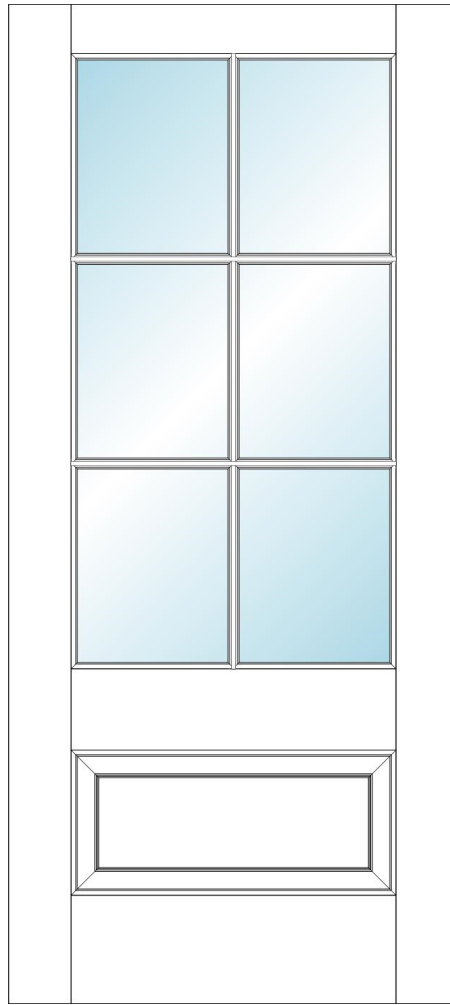
[view more](#)☐ Yes ☒ NoTwo-Piece Laminated Stiles
and Rails[view more](#)☐ Yes ☒ NoEngineered Stiles and Rails
with 1/4" Veneer[view more](#)☐ Yes ☒ No

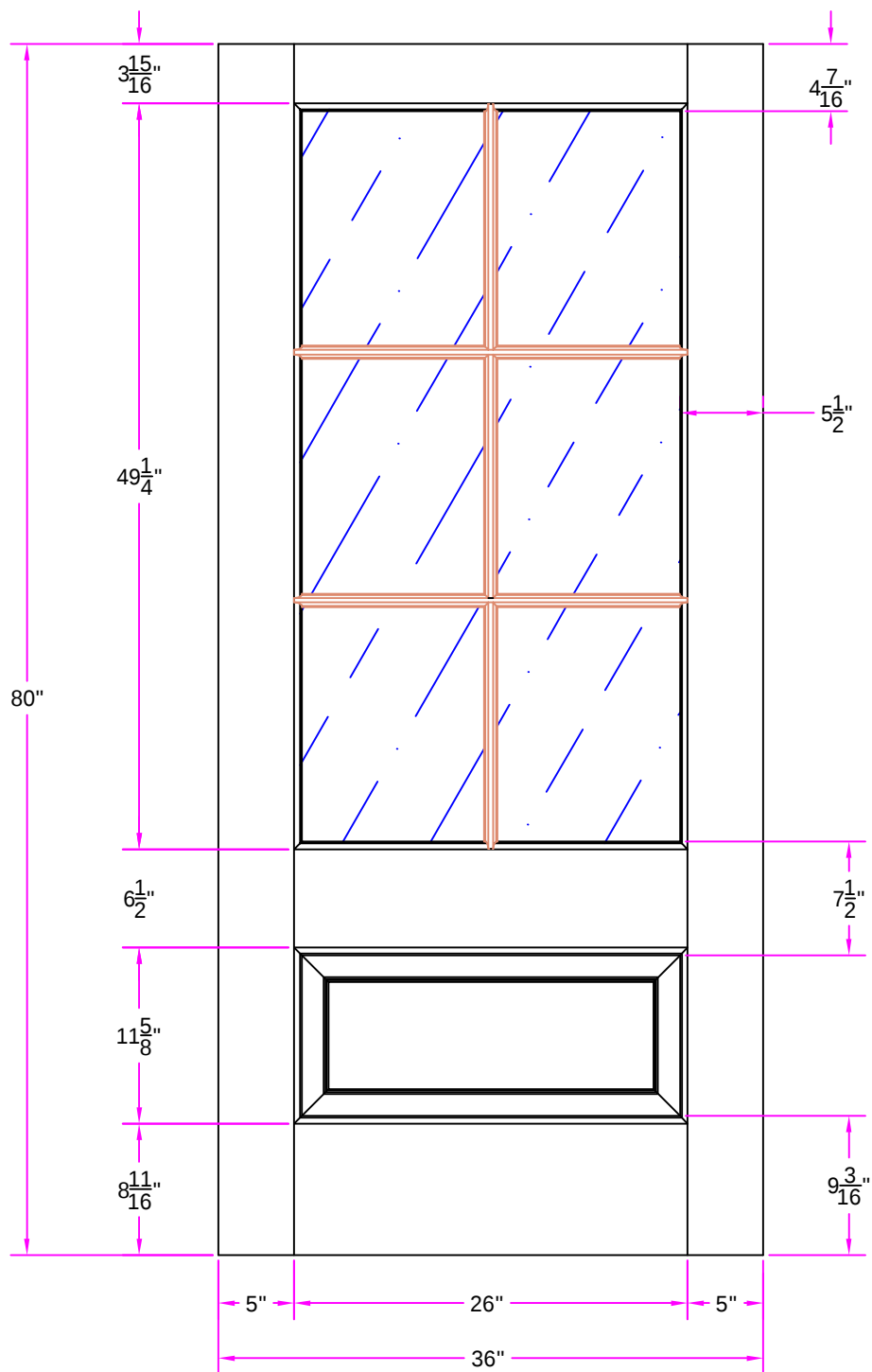
Mouldings

[view more](#)None **FINISHING TOUCHES**

Priming

[view more](#)☐ Yes ☒ No





THIS DRAWING AND THE INFORMATION CONTAINED HEREIN IS THE PROPRIETARY TO SIMPSON DOOR COMPANY AND SHALL NOT BE REPRODUCED, COPIED OR DISCLOSED IN WHOLE OR PART, OR USED FOR MANUFACTURE OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF SIMPSON DOOR COMPANY.

Revisions

Rev. #	Description	Date	by Whom

TITLE 37506 3/0 x 6/8 Customer Layout			
DRAWING NO. D-37506-300-608-0700			
LAYOUT SDL	SCALE NTS	BORE PATTERN # 7018	
DRAWN BY: J. Decker		DATE 06/22/2010	
Simpson®			



314 INTERIOR FRENCH & SASH

DOOR SPECIFICATIONS (AS SHOWN):

Wood Species: Fir

Profile: Ovolo Sticking

Panel Type: 3/4" DHRP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

STANDARD OPTIONS

Quantity

1

Change Quantity

Stain or Paint?

[view more](#)

☒ Stain ☐ Paint

Wood Species

Fir

Slab Width

[view more](#)

Feet

3

Inches

0

Fraction

0

Slab Height

[view more](#)

6

8

0

Thickness

[view more](#)

1 3/4"

SG Glass Type

Clear

Film

[view more](#)

Yes

Sticking Profile

Ovolo Sticking

Bar Type	1 1/4" Reg	▼
view more		
Panel Type	3/4" DHRP	▼
Groove Type	None	▼
Stile Width	4-1/2"	▼
view more		
UltraBlock	Yes	
view more		

DESIGN AND CONSTRUCTION ALTERATIONS

Dutch	None	▼
Two-Piece Laminated Stiles and Rails	☐ Yes ☒ No	
view more		
Engineered Stiles and Rails with 1/4" Veneer	☐ Yes ☒ No	
view more		
Mouldings	None	▼
view more		

FINISHING TOUCHES

Priming	☐ Yes ☒ No
view more	



**TOWN OF HERNDON, VIRGINIA
HISTORIC DISTRICT REVIEW BOARD**

DRAFT RESOLUTION

February 16, 2022

Resolution- to approve HDRB #22-001, for alterations and a rear addition to a contributing single-family residence located at 743 Florence Place, Fairfax County Tax Map Number 0162 02 0104.

WHEREAS, the applicant has submitted an application for exterior alterations and a rear addition to the residence at the above referenced address; and

WHEREAS, the proposed alterations and rear addition comply with the applicable zoning ordinance regulations as specified in the Town of Herndon Zoning Ordinance; and

WHEREAS, the Town of Herndon Historic District Review Board has determined that the proposed alterations and rear addition comply with the applicable Historic District Overlay Guidelines; and

WHEREAS, the Town of Herndon Historic District Review Board has reviewed this application and has held a duly advertised public hearing on February 16, 2022.

NOW THEREFORE, BE IT RESOLVED that the Historic District Review Board of the Town of Herndon, Virginia, HEREBY:

Approves HDRB #22-001, for alterations and rear addition located at 743 Florence Place in Herndon, VA in substantial conformance with the design as shown in case materials reviewed by the HDRB and in accordance with the following conditions:

1. The new windows to replace the existing 6-over-1 double hung sash windows on the historic portions of the house shall have a matching 6-over-1 grill/muntin pattern.
2. Any shutters installed on the façade shall include traditional shutter hardware and shall be installed in a manner to be operable or appear operable which installation on the edge of window jambs and without any flush-mounting to siding.

Title: Resolution, to amend Article IV, Section (a) of the By-laws of the Town of Herndon the Historic District Review Board (HDRB).

Staff Contact: Tamsin Himes
Lead Planner, Design and
Development
tamsin.himes@herndon-va.gov
(571) 612-0537

Summary Information:

The current By-laws of the Historic District Review Board (HDRB) of the Town of Herndon, Virginia, were approved and adopted February 16, 2021. The current version of the By-laws does not specifically address the procedure to follow when a meeting of the Board is unnecessary due to lack of applications for consideration. Staff and the Town Attorney recommend an amendment to Article IV, Section (a) of the By-laws so that it is clear that the Chair of the HDRB can declare in writing that the conduct of a regular meeting is unnecessary due to the lack of applications for consideration, in which case the meeting is continued to the next regular meeting day.

The By-laws for this board must now be amended to reflect the situation where it is unnecessary for the HDRB to meet due to lack of applications for consideration. No other revisions are being proposed by staff at this time

Staff Analysis

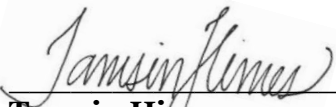
Pursuant to Article IX. of the current By-laws, a proposal for a modification to the By-laws must be submitted to the Board at a regular meeting and then scheduled for consideration and action at the next regular meeting. The revisions to the By-laws are being presented to the Board at this regular meeting for review and discussion and this item will also be placed on the agenda for the February 17, 2022, regular meeting/public hearing for consideration of the revisions and a final vote.

A redline version of the proposed changes to the bylaws is attached hereto as Attachment #1, and a final version the bylaws is attached hereto as Attachment #2 for the Board's review and consideration. The proposed by-laws can be adopted with a HDRB resolution, which is also attached hereto as Attachment #3.

Staff Recommendation:	Staff recommends approval of the Resolution - to amend Article IV, Section (a) of the By-laws of the Town of Herndon the Historic District Review Board (HDRB) attached to the staff report.
------------------------------	--

Report Attachments

1.	Redline draft of revised HDRB by-laws
2.	Final revised HDRB by-laws
3.	Resolution to approve the revised by-laws



Tamsin Himes
Lead Planner/Design and Development



Bryce A. Perry
Deputy Director of Community Development

**Town of Herndon, Virginia
Historic District Review Board**

By-Laws

Introduction

This Historic District Review Board is established pursuant to §78-150.4 of the Herndon Town Code.

**ARTICLE I.
BOARD MEMBERS**

- a. COMPOSITION/QUALIFICATIONS OF MEMBERS. The Historic District Review Board (“HDRB”) shall consist of SEVEN (7) members, five (5) of whom shall be members of the Town’s Architectural Review Board (ARB), along with two (2) additional members. At least one of the two members of the HDRB who is not on the ARB shall have a demonstrated interest, competence, or knowledge in historic preservation and at least one member shall be an architect or an architectural historian and have appropriate professional qualifications to qualify as an expert in the area of historic preservation. No more than two of the members on the combined ARB/ HDRB with professional qualifications to qualify as an expert in the area of historic preservation may be non-residents of the Town. The other members on the combined ARB/ HDRB shall be Town residents. The ARB members serving on the HDRB shall be appointed pursuant to section 7.4:1(b) of the Town’s Charter. The two additional members shall be appointed by Town Council pursuant to §78-150.4 of the Herndon Town Code.
- b. TERM. The term of office of the ARB members serving on the HDRB shall be concurrent with their membership on the ARB. The terms of the two additional HDRB members shall be three (3) years.
- c. RESIGNATION. Any member who resigns from the HDRB prior to the end of

[Date By-laws approved and adopted]

their term shall do so in writing to the chair. The effective date of such resignation shall be the date of the letter to the chair unless another date is stated within the letter of resignation.

d. VACANCIES. Vacancies occurring for reasons other than expiration of terms shall be filled for the period of the unexpired term by appointment by the Town Council for the unexpired term only. Any member is eligible for reappointment.

e. REMOVAL. Any member may be removed by the Town Council for malfeasance, misfeasance or nonfeasance in office

f. COMPENSATION. All members of the HDRB shall receive monthly compensation in an amount approved by the Town Council.

ARTICLE II.

ELECTION AND DUTIES OF OFFICERS OF THE HDRB

a. ELECTION OF CHAIR/VICE-CHAIR. The HDRB shall annually at its first public hearing in January, elect from its appointed members a Chair and a Vice Chair whose terms shall be for one year or until a successor takes office. If the office of Chair becomes vacant, the Vice Chair automatically becomes Chair and the office of Vice Chair becomes vacant. The HDRB shall then, after a new member has been appointed elect from its appointed members a new Vice Chair. If the office of Chair becomes vacant at a time when there is no Vice Chair, the HDRB shall elect from its current members both a Chair and a Vice Chair.

b. DUTIES OF CHAIR. The Chair shall preside over all hearings and meetings of the HDRB, with the same powers and duties as the other members, with vote but no veto power. He shall be the official head of the HDRB and shall perform such other duties not inconsistent with his office including being informed of any official communication and reporting about such to the HDRB at the next regular HDRB meeting.

- c. DUTIES OF VICE-CHAIR. The Vice-Chair shall act in the absence or inability of the Chair to act, serve as aide to the Chair and represent the Chair upon request.
- d. CHAIR PRO TEM. In the absence of both the Chairman and Vice-Chairmen, the most senior member of the HDRB shall act as Chair and shall have powers of the chair.

ARTICLE III. DESIGNATION AND DUTIES OF STAFF

The Zoning Administrator or his designee shall serve as the professional staff to the HDRB. The duties of such staff shall include the preparation and presentation of applications before the HDRB, preparation of draft minutes, preparation and compilation of a written record of the official actions of the HDRB (minutes) which shall be posted on the Town's website and filed in the office of the Zoning Administrator at 777 Lynn Street and preparation of official correspondence to and from the HDRB as directed by the Chair.

ARTICLE IV. MEETINGS

- a. REGULAR MEETINGS. The HDRB shall meet in regular session on the third Wednesday of each month at 7:00 p.m. at 765 Lynn Street, Herndon, Virginia. In the event such date falls on a legal holiday, the meeting shall be held on the fourth Wednesday of the month unless otherwise provided by resolution of the HDRB. The HDRB may also meet at such other times or places within the boundaries of the Town of Herndon that the HDRB designates by duly adopted resolution.

Should the conduct of a regular meeting be **unnecessary due to a lack of applications for consideration or** impossible due to the inability to obtain a quorum, or due to weather or other conditions such that it is hazardous for members to attend the regular meeting, as declared in writing by the chair, the regular meeting shall be continued to the next regular meeting day at 7:00 p.m. at 765 Lynn Street,

Herndon, Virginia. The press shall be notified as promptly as possible. All hearings and other matters previously advertised shall be conducted at the continued meeting and no further advertisement is required.

b. **REGULAR WORK SESSIONS AND SPECIAL MEETINGS.** The HDRB shall meet in regular work session on the first Wednesday of each month at 7:00 p.m. at 765 Lynn Street, Herndon, Virginia. In the event such date falls on a legal holiday, the meeting shall be held on the second Wednesday unless otherwise provided by the resolution of the HDRB. Special meetings or additional work sessions of the HDRB may be called when necessary by the Chair and notice shall be provided at least five business days in advance to members, the public and the press.

c. **PUBLIC HEARINGS.** Public hearings are open to the public and citizens are encouraged to speak. Members of the HDRB are not expected to respond to general questions. Response to questions shall be made at the discretion of the Chair.

Notice of public hearing shall be provided in accordance with Code of Virginia and the Herndon Town Code and may be supplemented with additional notices as deemed appropriate by the HDRB or staff.

Sign-in forms, if deemed necessary by the Chair, shall be completed by persons desiring to speak, listing printed name, phone number, and address of the person desiring to speak, and application number of the issue to be addressed.

Members of the public or their representatives desiring to address the HDRB shall proceed to the appointed place, clearly state their names and addresses, and shall be subject to the following time limitations: 10 minutes total for the applicant and any of the applicant's representatives; 3 minutes per individual for all others. The Chair may, at personal discretion, allow additional time for speakers.

Members of the HDRB shall limit their comments to ensure public participation without HDRB interference. At the completion of each presentation, members of the

HDRB shall have an-opportunity to ask questions or clarify points made during the speaker's presentation.

(d) ORDER OF PUBLIC HEARING

- Presentation by staff summarizing the item.
- Presentation by the applicant.
- Testimony of citizens desiring to speak.
- Concluding comments by the applicant, if the Chair determines such are necessary; questions by HDRB members.
- Concluding comments by staff, if the Chair determines such are necessary; questions by HDRB members.
- Public hearing closed by the Chair.
- Motion
- Discussion by HDRB members.
- Vote (roll call vote if deemed necessary by the Chair)

(e) ELECTRONIC PARTICIPATION IN MEETINGS. A member of the HDRB may participate in a meeting that is not a public hearing from a remote location only pursuant to the requirements set forth in Sec. 2-4 of the Code of the Town of Herndon.

ARTICLE V.

CONDUCT OF THE MEMBERS OF THE HISTORIC DISTRICT REVIEW BOARD

Section 2-5 of the Code of the Town of Herndon, “Code of Ethics for the Members of the Town Council and Council Appointed Board and Commission Members” is hereby incorporated by reference and members of the HDRB shall so govern their actions.

ARTICLE VI. CONDUCT OF PERSONS

APPEARING BEFORE THE HISTORIC DISTRICT REVIEW BOARD

During all public hearings and other regular meetings of the HDRB, the public may

[Date By-laws approved and adopted]

be present, and a specific time shall be reserved for receipt of public comments. At other times, the public shall remain silent unless specifically invited by a member of the HDRB and permitted by the Chair to provide comment.

Comments should be addressed to the item before the HDRB. If a comment is irrelevant, inflammatory, or prejudicial, the Chair may instruct the members to "disregard" the comment, which nevertheless remains in the public record.

ARTICLE VII. VOTING AND TRANSACTION OF BUSINESS

- a. **PARLIAMENTARY AUTHORITY.** Parliamentary procedure at HDRB meetings shall be governed by the most recent edition of Robert's Rules of Order, newly revised, as applicable to boards, except to the extent set out otherwise in these bylaws or the Code of Virginia. The Town Attorney is Parliamentarian of the HDRB.
- b. **QUORUM.** A quorum shall consist of four members of the HDRB and no action of the HDRB shall be valid unless authorized by a majority vote of those present and voting. Unless otherwise specified by the Chair, actions shall be by oral vote with the vote of each member recorded in the minutes.
- c. **SUSPENSION OF THE RULES.** No rule of the HDRB shall be suspended without the concurrence of three-fourths of the members present and such suspension shall be limited to the meeting then in progress.
- d. **AGENDA.** The activities at any regular meeting of the HDRB shall be in accordance with a formal agenda. Such agenda shall be distributed to the HDRB and made available to the public prior to each meeting.
- e. **ORDER OF BUSINESS (Regular Meeting).** At regular meetings of the HDRB, business shall be conducted in the following manner:

[Date By-laws approved and adopted]

- Call to order and roll call
- Approval of minutes of the last meeting(s)
- Board comment period
- Staff comment period
- Citizen comment period
- Public hearings
- Special items deferred from previous meetings
- Old Business
- New Business
- Staff Reports
- Committee Reports
- HDRB Reports and requests
- Future Business
- Adjournment

f. ORDER OF BUSINESS (Special Meetings). The order of business at special meetings shall be in accordance with the agenda set by the Chair for such special meetings.

g. AMENDMENTS TO AGENDA. Agendas may be amended and/or items added or deleted from the agenda by majority concurrence of the members.

ARTICLE VIII. SEPARABILITY

Should any article of the HDRB bylaws be found to be void, the remaining articles shall remain in effect.

ARTICLE IX. MODIFICATION OF BYLAWS

Modification of these bylaws shall be approved by the HDRB in regular session. Proposals

[Date By-laws approved and adopted]

for modification shall be submitted to the HDRB at a regular meeting and shall be scheduled for consideration and action at the next regular meeting. An affirmative vote of a majority of the entire HDRB shall be required to modify the bylaws.

Approved and adopted this ____ day of _____, 2022.

Leslie Blaker-Glass, Chair
Historic District Review Board

Attest:

Erika Orellana
Clerk of Boards and Commissions

[Date By-laws approved and adopted]

**Town of Herndon, Virginia
Historic District Review Board**

By-Laws

Introduction

This Historic District Review Board is established pursuant to §78-150.4 of the Herndon Town Code.

**ARTICLE I.
BOARD MEMBERS**

a. COMPOSITION/QUALIFICATIONS OF MEMBERS. The Historic District Review Board (“HDRB”) shall consist of SEVEN (7) members, five (5) of whom shall be members of the Town’s Architectural Review Board (ARB), along with two (2) additional members. At least one of the two members of the HDRB who is not on the ARB shall have a demonstrated interest, competence, or knowledge in historic preservation and at least one member shall be an architect or an architectural historian and have appropriate professional qualifications to qualify as an expert in the area of historic preservation. No more than two of the members on the combined ARB/ HDRB with professional qualifications to qualify as an expert in the area of historic preservation may be non-residents of the Town. The other members on the combined ARB/ HDRB shall be Town residents. The ARB members serving on the HDRB shall be appointed pursuant to section 7.4:1(b) of the Town’s Charter. The two additional members shall be appointed by Town Council pursuant to §78-150.4 of the Herndon Town Code.

b. TERM. The term of office of the ARB members serving on the HDRB shall be concurrent with their membership on the ARB. The terms of the two additional HDRB members shall be three (3) years.

c. RESIGNATION. Any member who resigns from the HDRB prior to the end of

[Date By-laws approved and adopted]

their term shall do so in writing to the chair. The effective date of such resignation shall be the date of the letter to the chair unless another date is stated within the letter of resignation.

d. VACANCIES. Vacancies occurring for reasons other than expiration of terms shall be filled for the period of the unexpired term by appointment by the Town Council for the unexpired term only. Any member is eligible for reappointment.

e. REMOVAL. Any member may be removed by the Town Council for malfeasance, misfeasance or nonfeasance in office

f. COMPENSATION. All members of the HDRB shall receive monthly compensation in an amount approved by the Town Council.

ARTICLE II.

ELECTION AND DUTIES OF OFFICERS OF THE HDRB

a. ELECTION OF CHAIR/VICE-CHAIR. The HDRB shall annually at its first public hearing in January, elect from its appointed members a Chair and a Vice Chair whose terms shall be for one year or until a successor takes office. If the office of Chair becomes vacant, the Vice Chair automatically becomes Chair and the office of Vice Chair becomes vacant. The HDRB shall then, after a new member has been appointed elect from its appointed members a new Vice Chair. If the office of Chair becomes vacant at a time when there is no Vice Chair, the HDRB shall elect from its current members both a Chair and a Vice Chair.

b. DUTIES OF CHAIR. The Chair shall preside over all hearings and meetings of the HDRB, with the same powers and duties as the other members, with vote but no veto power. He shall be the official head of the HDRB and shall perform such other duties not inconsistent with his office including being informed of any official communication and reporting about such to the HDRB at the next regular HDRB meeting.

[Date By-laws approved and adopted]

c. DUTIES OF VICE-CHAIR. The Vice-Chair shall act in the absence or inability of the Chair to act, serve as aide to the Chair and represent the Chair upon request.

d. CHAIR PRO TEM. In the absence of both the Chairman and Vice-Chairmen, the most senior member of the HDRB shall act as Chair and shall have powers of the chair.

ARTICLE III. DESIGNATION AND DUTIES OF STAFF

The Zoning Administrator or his designee shall serve as the professional staff to the HDRB. The duties of such staff shall include the preparation and presentation of applications before the HDRB, preparation of draft minutes, preparation and compilation of a written record of the official actions of the HDRB (minutes) which shall be posted on the Town's website and filed in the office of the Zoning Administrator at 777 Lynn Street and preparation of official correspondence to and from the HDRB as directed by the Chair.

ARTICLE IV. MEETINGS

a. REGULAR MEETINGS. The HDRB shall meet in regular session on the third Wednesday of each month at 7:00 p.m. at 765 Lynn Street, Herndon, Virginia. In the event such date falls on a legal holiday, the meeting shall be held on the fourth Wednesday of the month unless otherwise provided by resolution of the HDRB. The HDRB may also meet at such other times or places within the boundaries of the Town of Herndon that the HDRB designates by duly adopted resolution.

Should the conduct of a regular meeting be unnecessary due to a lack of applications for consideration or impossible due to the inability to obtain a quorum, or due to weather or other conditions such that it is hazardous for members to attend the regular meeting, as declared in writing by the chair, the regular meeting shall be continued to

[Date By-laws approved and adopted]

the next regular meeting day at 7:00 p.m. at 765 Lynn Street, Herndon, Virginia. The press shall be notified as promptly as possible. All hearings and other matters previously advertised shall be conducted at the continued meeting and no further advertisement is required.

b. **REGULAR WORK SESSIONS AND SPECIAL MEETINGS.** The HDRB shall meet in regular work session on the first Wednesday of each month at 7:00 p.m. at 765 Lynn Street, Herndon, Virginia. In the event such date falls on a legal holiday, the meeting shall be held on the second Wednesday unless otherwise provided by the resolution of the HDRB. Special meetings or additional work sessions of the HDRB may be called when necessary by the Chair and notice shall be provided at least five business days in advance to members, the public and the press.

c. **PUBLIC HEARINGS.** Public hearings are open to the public and citizens are encouraged to speak. Members of the HDRB are not expected to respond to general questions. Response to questions shall be made at the discretion of the Chair.

Notice of public hearing shall be provided in accordance with Code of Virginia and the Herndon Town Code and may be supplemented with additional notices as deemed appropriate by the HDRB or staff.

Sign-in forms, if deemed necessary by the Chair, shall be completed by persons desiring to speak, listing printed name, phone number, and address of the person desiring to speak, and application number of the issue to be addressed.

Members of the public or their representatives desiring to address the HDRB shall proceed to the appointed place, clearly state their names and addresses, and shall be subject to the following time limitations: 10 minutes total for the applicant and any of the applicant's representatives; 3 minutes per individual for all others. The Chair may, at personal discretion, allow additional time for speakers.

[Date By-laws approved and adopted]

Members of the HDRB shall limit their comments to ensure public participation without HDRB interference. At the completion of each presentation, members of the HDRB shall have an opportunity to ask questions or clarify points made during the speaker's presentation.

(d) ORDER OF PUBLIC HEARING

- Presentation by staff summarizing the item.
- Presentation by the applicant.
- Testimony of citizens desiring to speak.
- Concluding comments by the applicant, if the Chair determines such are necessary; questions by HDRB members.
- Concluding comments by staff, if the Chair determines such are necessary; questions by HDRB members.
- Public hearing closed by the Chair.
- Motion
- Discussion by HDRB members.
- Vote (roll call vote if deemed necessary by the Chair)

(e) ELECTRONIC PARTICIPATION IN MEETINGS. A member of the HDRB may participate in a meeting that is not a public hearing from a remote location only pursuant to the requirements set forth in Sec. 2-4 of the Code of the Town of Herndon.

ARTICLE V.

**CONDUCT OF THE MEMBERS OF THE HISTORIC DISTRICT REVIEW
BOARD**

Section 2-5 of the Code of the Town of Herndon, “Code of Ethics for the Members of the Town Council and Council Appointed Board and Commission Members” is hereby incorporated by reference and members of the HDRB shall so govern their actions.

ARTICLE VI. CONDUCT OF PERSONS

APPEARING BEFORE THE HISTORIC DISTRICT REVIEW BOARD

[Date By-laws approved and adopted]

During all public hearings and other regular meetings of the HDRB, the public may be present, and a specific time shall be reserved for receipt of public comments. At other times, the public shall remain silent unless specifically invited by a member of the HDRB and permitted by the Chair to provide comment.

Comments should be addressed to the item before the HDRB. If a comment is irrelevant, inflammatory, or prejudicial, the Chair may instruct the members to "disregard" the comment, which nevertheless remains in the public record.

ARTICLE VII. VOTING AND TRANSACTION OF BUSINESS

a. **PARLIAMENTARY AUTHORITY.** Parliamentary procedure at HDRB meetings shall be governed by the most recent edition of Robert's Rules of Order, newly revised, as applicable to boards, except to the extent set out otherwise in these bylaws or the Code of Virginia. The Town Attorney is Parliamentarian of the HDRB.

b. **QUORUM.** A quorum shall consist of four members of the HDRB and no action of the HDRB shall be valid unless authorized by a majority vote of those present and voting. Unless otherwise specified by the Chair, actions shall be by oral vote with the vote of each member recorded in the minutes.

c. **SUSPENSION OF THE RULES.** No rule of the HDRB shall be suspended without the concurrence of three-fourths of the members present and such suspension shall be limited to the meeting then in progress.

d. **AGENDA.** The activities at any regular meeting of the HDRB shall be in accordance with a formal agenda. Such agenda shall be distributed to the HDRB and made available to the public prior to each meeting.

e. **ORDER OF BUSINESS (Regular Meeting).** At regular meetings of the HDRB,

[Date By-laws approved and adopted]

business shall be conducted in the following manner:

- Call to order and roll call
- Approval of minutes of the last meeting(s)
- Board comment period
- Staff comment period
- Citizen comment period
- Public hearings
- Special items deferred from previous meetings
- Old Business
- New Business
- Staff Reports
- Committee Reports
- HDRB Reports and requests
- Future Business
- Adjournment

f. ORDER OF BUSINESS (Special Meetings). The order of business at special meetings shall be in accordance with the agenda set by the Chair for such special meetings.

g. AMENDMENTS TO AGENDA. Agendas may be amended and/or items added or deleted from the agenda by majority concurrence of the members.

ARTICLE VIII. SEPARABILITY

Should any article of the HDRB bylaws be found to be void, the remaining articles shall remain in effect.

ARTICLE IX. MODIFICATION OF BYLAWS

[Date By-laws approved and adopted]

Modification of these bylaws shall be approved by the HDRB in regular session. Proposals for modification shall be submitted to the HDRB at a regular meeting and shall be scheduled for consideration and action at the next regular meeting. An affirmative vote of a majority of the entire HDRB shall be required to modify the bylaws.

Approved and adopted this _____ day of _____, 2022.

Leslie Blaker-Glass, Chair
Historic District Review Board

Attest:

Erika Orellana
Clerk of Boards and Commissions

[Date By-laws approved and adopted]

TOWN OF HERNDON, VIRGINIA

RESOLUTION

FEBRUARY 16, 2022

Resolution – to amend Article IV, Section (a) of the By-laws of the Town of Herndon Historic District Review Board

WHEREAS, The Historic District Review Board of the Town of Herndon desires to amend its By-laws to provide for cancelation of regular meetings when no applications have been received for consideration.

NOW, THEREFORE BE IT RESOLVED by the Historic District Review Board for the Town of Herndon, Virginia, that:

1. The By-laws shall be amended as follows:

ARTICLE IV. MEETINGS

a. REGULAR MEETINGS. The HDRB shall meet in regular session on the third Wednesday of each month at 7:00 p.m. at 765 Lynn Street, Herndon, Virginia. In the event such date falls on a legal holiday, the meeting shall be held on the fourth Wednesday of the month unless otherwise provided by resolution of the HDRB. The HDRB may also meet at such other times or places within the boundaries of the Town of Herndon that the HDRB designates by duly adopted resolution.

Should the conduct of a regular meeting be *unnecessary due to a lack of applications for consideration or* impossible due to the inability to obtain a quorum, or due to weather or other conditions such that it is hazardous for members to attend the regular meeting, as declared in writing by the chair, the regular meeting shall be continued to the next regular meeting day at 7:00 p.m. at 765 Lynn Street, Herndon, Virginia. The press shall be notified as promptly as possible. All hearings and other matters previously advertised shall be conducted at the continued meeting and no further advertisement is required.

2. This Resolution shall be effective on and after February 16, 2022.