

TOWN OF HERNDON, VIRGINIA
ARCHITECTURAL REVIEW BOARD PUBLIC HEARING AGENDA
JULY 20, 2022
HERNDON COUNCIL CHAMBERS BUILDING
765 LYNN STREET
7:30 P.M.

CALL TO ORDER

1. Roll Call
2. Determination of Quorum

APPROVAL OF MINUTES

3. June 1, 2022, Work Session Draft Minutes
4. June 15, 2022, Public Hearing Draft Minutes

COMMENTS

5. Comments from the Board Members
6. Comments from the Staff Members
7. Comments from the Audience

PUBLIC HEARING

8. **APPLICATION FOR SIGNAGE, ARB #22-013**, to consider the installation of a new monument sign and wall sign located at 625 Elden Street, Herndon Virginia, further identified as Fairfax County Tax Map 0162 02 0200A and located approximately 290 feet northwest of the intersection of Elden Street and Van Buren Street. The property is zoned as PD-B, Planned Development Business District, and consists of 49,738 square feet of land. Owner: Fulton Bank. Applicant/Agent: Jason Alexander, Vision Sign.
9. **APPLICATION FOR SIGNAGE, ARB #22-015**, to consider an application for alterations to an existing monument sign located at 700 A Monroe Street, Herndon, Virginia, further identified as Fairfax County Tax Map 0162 02 0200C and located on the northwest quadrant of the Van Buren Street and Monroe Street intersection. The property is zoned as PD-B, Planned Development Business District, and consists of 42,066 square feet of land. Owner: 7 Eleven Inc. Applicant/Agent: Ken Padgett, Mid-Atlantic Permitting Services, LLC.

ADJOURNMENT

Title: ARB #22-013; New signage; 625 Elden Street

Staff Contact: Tamsin Himes
 Lead Planner – Development and Design
tamsin.himes@herndon-va.gov
 (571) 612-0537

Summary Information

Applicant Request	Monument sign and wall sign		
Address	625 Elden Street		
Fairfax County Tax Map Number	0162 02 0200A		
Owner	Fulton Bank		
Applicant	Jason Alexander		
Business/Organization	Fulton Bank		
Property Use	Commercial business		
Zoning District	PD-B, Planned Development-Business		
Adjacent Zoning	North: CS, Commercial Services District South: PD-B, Planned Development-Business East: PD-B, Planned Development-Business West: CS, Commercial Services District		
Building Type(s)	Three story commercial building	Date of Construction:	2001
Architectural Style(s)	Greek revival		
Exterior Material(s)	Brick, insulite		
Neighborhood Design Profile	Commercial, office and multi-family residences.		
Comprehensive Plan Land Use Designation	Business Corridor		

Staff Recommendation	Staff is recommending approval of this application with conditions.
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Case Details

Proposal:

This application is for two business identification signs, one monument sign and one wall sign at 625 Elden Street. The monument sign requires a site plan prior to a review by the board, and therefore is not addressed in this staff report. Following site plan approval, the applicant may re-apply to the board for a review of the monument sign.

The proposed wall sign may be reviewed by staff, and as such is the subject of this staff report. The sign encompasses 4.5 square feet and has a sign face of non-illuminated painted aluminum with digitally printed vinyl graphics and text. The proposed sign is

flush mounted to the brick façade using aluminum angle clips with masonry anchors. The prospective location of the sign is to the right of the primary entrance to the building. The background of the sign is white and contains a logo and the words “analytical solutions” in red text. The logo and text are digitally printed in vinyl and adhered to the sign face.

Location Map



Applicable Design Guidance:

- Town Code of Ordinances, Section 58-96 – *Design criteria*

Staff Analysis

1. Staff has found that the proposed signage meets the applicable standards and requirements of the Town of Herndon Zoning Ordinances.
2. With the findings expressed below, staff believes the proposed signage generally complies with the applicable design criteria within the Town’s Architectural Control District as specified in Section 58-96 of the Town Code of Ordinances.
 - a. The proposed wall sign in its design and construction is suitable for a good suburban community and promotes the use and improvement of the surrounding buildings.
 - b. The proposed wall sign clearly and legibly represents the intended business
 - c. The proposed wall sign is compatible with surrounding buildings and architecture. It does not detract from or overshadow the primary structure.
 - d. The proposed wall sign is constructed in a way to remain in good condition and withstand normal weather and climate conditions without deteriorating.

Staff Recommendation:

ARB Alternatives:	1. Resolution to deny the application. 2. Resolution to approve the application as submitted. 3. Resolution to approve with condition(s). 4. The ARB may also continue the review of this item to a future public hearing
Staff Recommendation:	Staff is recommending approval of this application with conditions in accordance with the draft resolution.

Report Attachments

1.	Draft Resolution
2.	Sign drawings and Photos

Staff Signatures



Tamsin Himes
Lead Planner/Design and Development



Bryce A. Perry
Deputy Director

**TOWN OF HERNDON, VIRGINIA
ARCHITECTURAL REVIEW BOARD**

DRAFT RESOLUTION

July 6, 2022

Resolution- to approve ARB #22-013, installation of signage on a commercial building located at 625 Elden Street, Fairfax County Tax Map Number 0162 02 0200A.

WHEREAS, the applicant has submitted an application to install signage located at the above referenced address; and

WHEREAS, the proposed signage complies with the applicable zoning ordinance regulations as specified in the Town of Herndon Zoning Ordinance Article XIV; and

WHEREAS, the Town of Herndon Architectural Review Board has found that the proposed signage complies with the applicable Design Criteria as stated in the Town of Herndon Code of Ordinances Section 58-96; and

WHEREAS, the Town of Herndon Architectural Review Board has held a duly advertised public hearing concerning this application on July 20, 2022.

NOW THEREFORE, BE IT RESOLVED that the Architectural Review Board of the Town of Herndon, Virginia, HEREBY:

Approves ARB #22-013, for signage located at 625 Elden Street, Herndon, VA in substantial conformance with the design shown in the case materials reviewed by the ARB and with the following condition:

- 1) This approval excludes the monument sign portion of this application.

DESIGN SPECIFICATIONS	
USBC/VCC 2018	
ASCE 7-16	Minimum Design Loads for Buildings & Other Structures
ACI 318-14	Building Code Requirements for Structural Concrete
ANSI/AISC 360-16	Specification for Structural Steel Buildings
DESIGN LOADS	
Wind	V = 115 mph
Exposure	C
Risk Cat.	II
Grnd. Snow	Pg = 25 psf

MURDOCH ENGINEERING
SIGN STRUCTURE PROFESSIONALS

399 A-2 NJ-34
MANASQUAN, NJ 08739
(908) 570-8215 x0

Jer K. Murdoch
10/08/2022

JERE K. MURDOCH
Lic. No. 50214

Jer K. Murdoch, PE
Professional Engineer
NJ PE Lic. #402050214

COMMONWEALTH OF VIRGINIA
PROFESSIONAL ENGINEER



Proposed



1208 Columbus Rd. Suite F Burlington NJ 08016
888.588.9057 • EffectiveSignWorks.com

Drawing Number:
220373-05
Sheet Date: 10/08/2021

Sales: **MS**
Designer: **GB**

Client:
**Fulton Bank
Financial Herndon, VA**

Site Address:
625 Elden St | Herndon, VA 20170
File Name: 220373-05 Fulton Financial Herndon VA

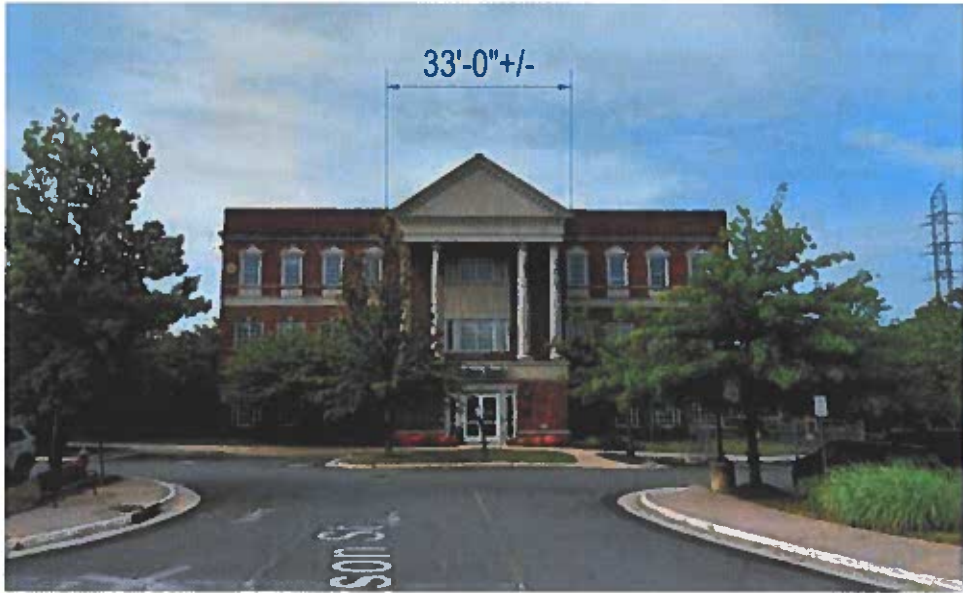
U\F\Fulton Bank\Herndon VAI Drawings
Revisions:
-02 resize monument 11/03/21
-03 reconfigured mon. tenant panels 11/20/21
-04 updated file name 03/03/22
-05 added const. details 04/08/22

I have carefully reviewed this proof for accuracy including spelling, and authorize production in accordance with this document.

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CUSTOMER APPROVAL AND DATE

Page: **1**



Existing



Proposed



2.0 Elevation: LED Illum. S/F Monument
Scale: 3/4" = 1'-0"

Qty. = 1

Area Assessment

Proposed: 26" x 84"/144 = 14 SqFt

DESIGN SPECIFICATIONS	
USBC/ACC 2018	
ASCE 7-16	Minimum Design Loads for Buildings & Other Structures
ACI 318-14	Building Code Requirements for Structural Concrete
ANSI/AISC 360-16	Specification for Structural Steel Buildings
DESIGN LOADS	
Wind	V = 115 mph
Exposure	C
Risk Cat.	II
Grnd. Snow	Pg = 25 psf

SIGN SPECIFICATIONS -
CABINET MATERIAL: ALUMINUM
CABINET FINISH: Paint to Match PMS 287C
CABINET DEPTH: 12"
FACE MATERIAL: ACRYLIC
FACE FINISH: WHITE
GRAPHIC SPECS: APPLIED VINYL
RETAINING BAND MATERIAL: ALUMINUM
DIVIDERS: VINYL TENANT DIVIDER BARS
BASE MATERIAL: FAUX BRICK
BASE FINISH: TO MATCH BUILDING
INTERNAL SUPPORT MATERIAL: 4"x4" Square Tube
SUPPORT FINISH: N/A
INTERNAL ILLUMINATION: LED
BALLAST / POWER SUPPLY: 12Volt
INSTALL METHOD: CONCRETE FOOTINGS 36"D x 24"
BASE DEPTH: 12"



MURDOCH ENGINEERING
SIGN STRUCTURAL PROFESSIONALS

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MANASQUAN, NJ 08738
(732) 575-1515 x0
Jere Murdoch
Jere Murdoch, PE
Professional Engineer
VA PE Lic. #402050214

4/26/2022

Effective SIGN WORKS

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Drawing Number
220373-05
Start Date: 10/08/2021

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625 Elden St | Herndon, VA 20170
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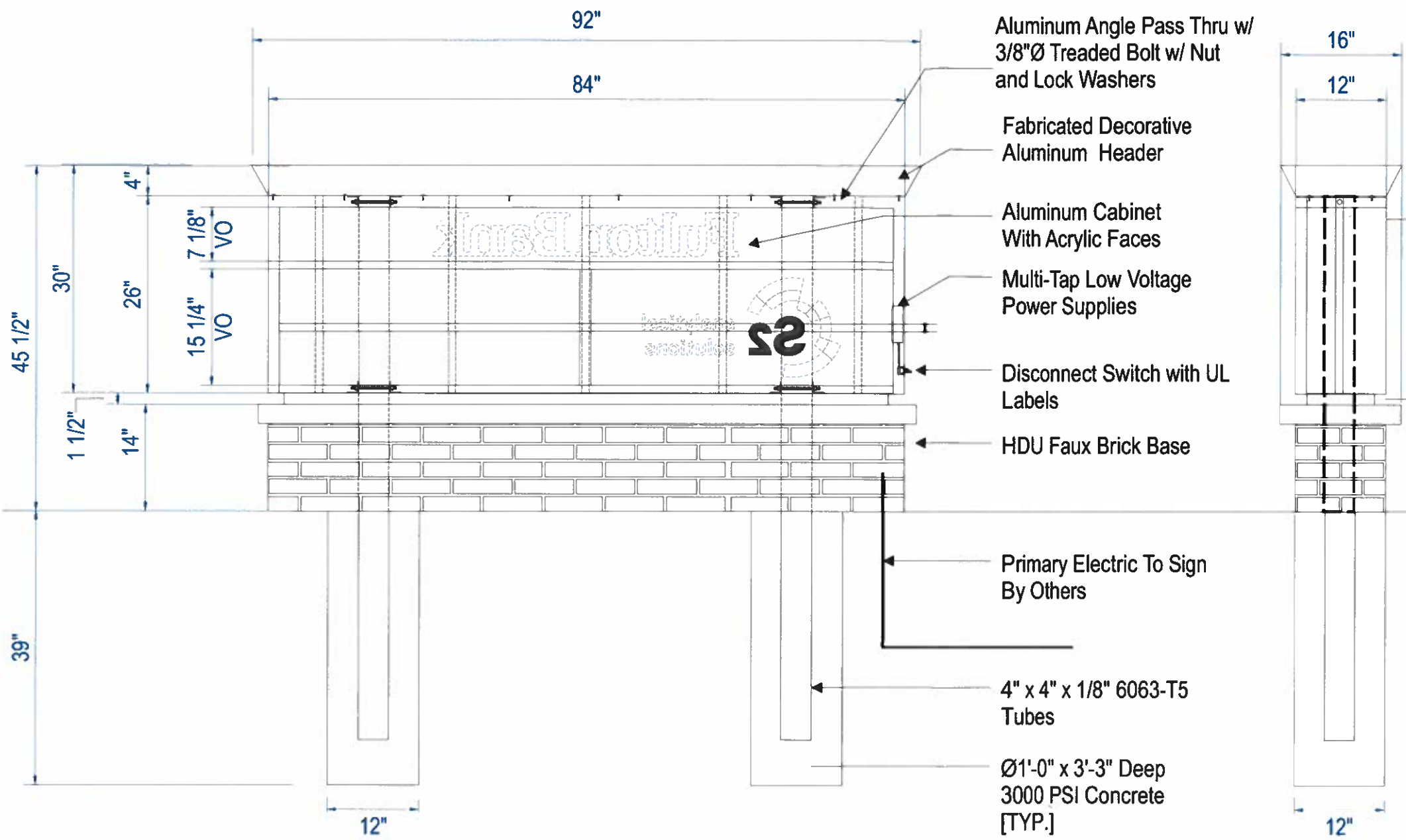
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DESIGN SPECIFICATIONS	
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DESIGN LOADS	
Wind	V = 115 mph
Exposure	C
Risk Cat.	II
Grnd. Snow	Pg = 25 psf

Removable Aluminum Back Panel

1-1/2" Aluminum Reveal

Estimated Electrical Load

5a @ 120vac

Estimated Electrical Req.

(1)20a Circuit @ 120vac

SIGN SPECIFICATIONS -

CABINET MATERIAL: ALUMINUM

CABINET FINISH: Paint to Match PMS 287C

CABINET DEPTH: 12"

FACE MATERIAL: ACRYLIC

FACE FINISH: WHITE

GRAPHIC SPECS: APPLIED VINYL

RETAINING BAND MATERIAL: ALUMINUM

DIVIDERS: VINYL TENANT DIVIDER BARS

BASE MATERIAL: FAUX BRICK

BASE FINISH: TO MATCH BUILDING

INTERNAL SUPPORT MATERIAL: 4"x4" Square Tube

SUPPORT FINISH: N/A

INTERNAL ILLUMINATION: LED

BALLAST / POWER SUPPLY: 12 Volt

INSTALL METHOD: CONCRETE FOOTINGS

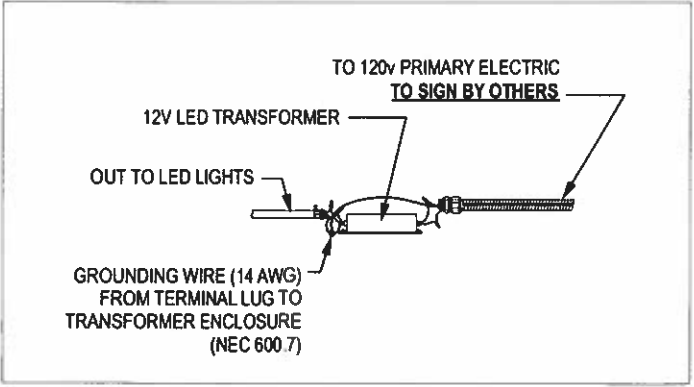
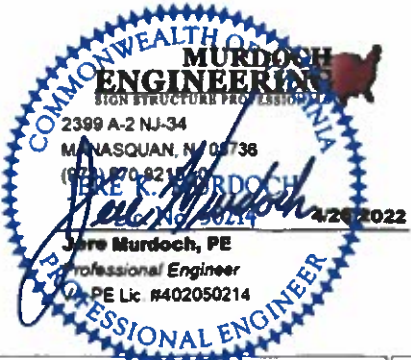
BASE DEPTH: 12"

3.0 Elevation: LED Illum. S/F Monument
Scale: 3/4" = 1'-0"

Qty. = 1

Engineer's Note:

- Fasten posts to angle saddles with min. one [1] 1/2" 316 SS Bolt per saddle
- Alum. tube to be coated in bituminous paint or polyurethane coating to prevent degrading and corrosion
- Maintain 6" clearance between posts and bottom of footings w/ solid concrete paver



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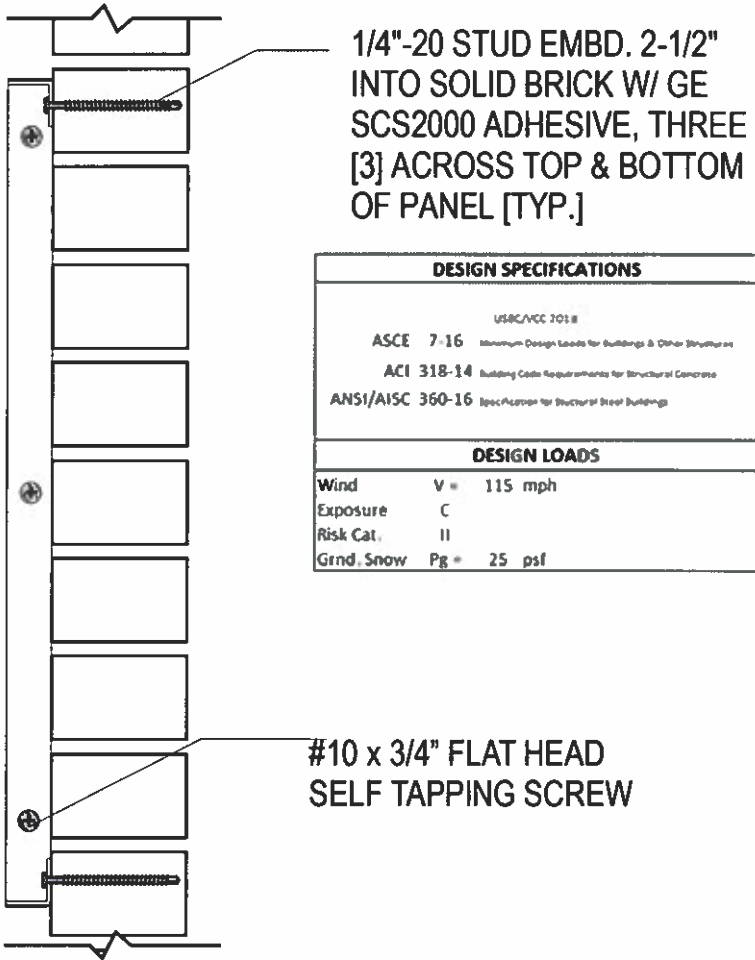
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**Fulton Bank
Financial Herndon, VA**

Site Address:
625 Elden St | Herndon, VA 20170
File Name: 220373-05 Fulton Financial Herndon VA

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Proposed

4.0 Elevation: Non-Illum. Pan Sign Qty. = 1
Scale: 1:4

Sign Specifications -
Material: 1" deep Aluminum Panel Sign Painted White
Graphics: Applied Digitally Printed Vinyl
Install: Aluminum Angle Clips w/ Studs
Engineer's Note:
For alternate hardware, provide 1/4"x3" DeWALT Screw-Bolt+ embd. 1-5/8" into solid brick. Contact Murdoch Engineering if field conditions vary.

Cross Section Mounting Detail

Area Assessment
Proposed: 18" x 36"/144 = **4.5 SqFt**



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Jere Murdoch
Jere Murdoch, PE
Professional Engineer
VA PE Lic. #402050214
4/28/2022



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CUSTOMER APPROVAL AND DATE

GENERAL:

1. ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE INTERNATIONAL BUILDING CODE (IBC).
2. CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
4. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
5. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, CONSTRUCT IN ACCORDANCE WITH THE STEEL CONSTRUCTION MANUAL, 14TH EDITION OR 2010 ALUMINUM DESIGN MANUAL.
6. WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
7. ANY CHANGE TO THE DESIGN AS SHOWN ON THE DRAWINGS REQUIRES PRIOR WRITTEN APPROVAL FROM DESIGN ENGINEER OF RECORD BEFORE CONSTRUCTION.
8. WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
9. VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE EOR IMMEDIATELY OF ANY DISCREPANCIES.

EXISTING CONDITIONS:

1. IF EXISTING CONDITIONS ARE NOT AS DETAILED IN THIS DESIGN, THE INSTALLER SHALL CEASE WORK AND NOTIFY MURDOCH ENGINEERING IMMEDIATELY.
2. MURDOCH ENGINEERING WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER, STRUCTURE OWNER, AND PROPERTY OWNER TO IDENTIFY EXISTING CONDITIONS AND CONTACT MURDOCH ENGINEERING WITH ANY DISCREPANCIES OR CONCERNS.
3. INSTALLER SHALL CONFIRM THE DIAMETER AND THICKNESS OF EXISTING MEMBERS AND NOTIFY MURDOCH ENGINEERING OF ANY DISCREPANCIES.
4. INSTALLER SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, INSTALLER SHALL CEASE WORK IMMEDIATELY AND NOTIFY MURDOCH ENGINEERING.
5. ANY EXISTING INFORMATION SHOWN HAS BEEN FURNISHED BY THE PERSON(S) OR COMPANY THIS DOCUMENT WAS PREPARED FOR (SEE TITLE BLOCK). MURDOCH ENGINEERING IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT". IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, MURDOCH ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.

STEEL

1. STEEL SHAPES SHALL CONFORM TO THE FOLLOWING:

ROUND HSS	ASTM A500, GR B	Fy=42 KSI MIN.
SQUARE/RECT HSS	ASTM A500, GR B	Fy=46 KSI MIN.
THREADED ROD	F1554 GR 55	Fy=55 KSI MIN.
STEEL PLATE STD.	ASTM A36 ASTM	Fy=36 KSI MIN.
PIPE	A53, GR B	Fy=35 KSI MIN.

2. BOLTS SHALL CONFORM TO ASTM A325 UNO.
3. BOLTS AND THREADED ROD SHALL BE HOT-DIP GALVANIZED PER ASTM F2329 UNO.
4. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 UNO.
5. NUTS SHALL CONFORM TO ASTM A563.
6. WASHERS SHALL CONFORM TO ASTM F844.
7. STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153 UNO
8. WELDING:
 - a. WELD STRUCTURAL STEEL IN COMPLIANCE WITH ANSI/AWS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY GOVERNING CODE AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
 - b. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH ACTIVE STATUS AT TIME OF WELDING
 - c. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELDS PER AISC SPECIFICATION, SECTION J2, TABLE J2.4
 - d. BASE PLATES SHALL BE WELDED ON TOP AND BOTTOM WITH CONTINUOUS WELDS OF AT LEAST 1/4" (IF PLATE IS CUT TO FIT TUBE INTO PLATE)

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Deviations from this drawing shall not be made without consulting Murdoch Engineering. In case of incongruities between drawings, specifications, and details included in contract documents, Murdoch Engineering shall decide which indication must be followed and their decision shall be final.

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ALUMINUM:

1. FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE ALUMINUM ASSOCIATION (AA) 2010 ALUMINUM DESIGN MANUAL (ADM) 1, THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND IBC CHAPTER 20.
2. PIPE AND TUBE SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
3. STD STRUCTURAL PROFILES SHALL BE 6061-T6 PER B308 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
4. SHEET AND PLATE SHALL BE 6061-T6 PER ASTM B209 WITH Ftu=42 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
5. EXTRUSIONS SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
6. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH CURRENT STATUS AT TIME OF WELDING
7. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM. ALL ALUMINUM WELDED JOINTS SHALL HAVE WELD SIZES OF AT LEAST 1/4 INCH
8. FILLET WELDS SHALL NOT EXCEED THINNEST MEMBER WALL THICKNESS JOINED.
9. ALUMINUM WELD FILLER SHALL BE 5356 ALLOY
10. WELDING PROCESS GMAW OR GTAW SHALL BE IN ACCORDANCE WITH AWS D1.2
11. ALUMINUM CHANNEL LETTERS SHALL BE CONSTRUCTED OF 0.090" RETURNS AND 0.125" BACKS MINIMUM, UNLESS A LARGER SIZE IS INDICATED ON DRAWINGS. THIS NOTE SHALL SUPERCEDE DRAWING DETAILS.
12. PROVIDE NEOPRENE GASKET BETWEEN DISSIMILAR METALS TO PREVENT GALVANIC CORROSION
13. ALUMINUM DIRECTLY EMBEDDED INTO CONCRETE SHALL BE CAPPED AT BOTTOM AND COATED WITH BITUMINOUS COATING OR POLYURETHANE WHERE IN CONTACT WITH CONCRETE.
14. FASTENERS BETWEEN DISSIMILAR METALS SHALL BE STAINLESS STEEL 316.

CONCRETE & REINFORCEMENT

1. MINIMUM 28-DAY COMPRESSIVE STRENGTH (fc') SHALL BE 3,000 PSI. THE MAXIMUM WATER TO CEMENT RATIO SHALL BE 0.45 BY WEIGHT. A MINIMUM OF 5-3/4 BAGS OF CEMENT SHALL BE USED PER CUBIC YARD WITH A SLUMP OF 4" +/- 1.
2. REINFORCEMENT TO BE ASTM A615 GR 60, Fy=60 KSI UNO
3. CALCIUM CHLORIDE OR ADDED CHLORIDE IS NOT PERMITTED
4. VIBRATION: ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS
5. CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-14
6. PROVIDE A MINIMUM OF 2-1/2" COVER OF ALL EMBEDDED STEEL REBAR AND A MINIMUM OF 6 INCHES OF COVER FOR DIRECT BURIED PIPE OR TUBE MEMBERS.

FOUNDATIONS

1. CONCRETE POURED INTO CONSTRAINED EARTH EXCAVATIONS MUST CURE UNDER PROPER CONDITIONS FOR A MINIMUM OF 7 DAYS PRIOR TO SIGN BOX INSTALLATION. (EXCEPTION: IF THE OVERALL HEIGHT OF THE SIGN IS LESS THAN 20 FEET AND THE SIGN IS ADEQUATELY BRACED AGAINST WIND LOADS FOR A MINIMUM OF 4 DAYS, THE BOX MAY BE INSTALLED THE SAME DAY AS THE FOOTING IS POURED)
2. FOOTINGS MUST BE POURED AGAINST UNDISTURBED EARTH. SOIL BACKFILL IS UNACCEPTABLE. WHEN A SONOTUBE IS USED AS THE FORM, 3/4" BLUESTONE OR CONCRETE SHALL BE USED TO BACKFILL THE SPACE BETWEEN THE SONOTUBE AND UNDISTURBED EARTH.
3. COLD WEATHER PLACEMENT: PROTECT CONCRETE WORK FROM PHYSICAL DAMAGE OR REDUCED STRENGTH THAT COULD BE CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES. DO NOT POUR CONCRETE DURING OR WHEN FREEZING TEMPERATURES ARE ANTICIPATED WITHIN 3 DAYS OF POUR.
4. REINFORCEMENT IS NOT REQUIRED FOR DIRECT BURIAL TYPE SIGN FOOTINGS FOR SIGNS OF 25 FEET OVERALL HEIGHT OR LESS, DIRECT BURIED STEEL SHALL EXTEND TO 6 INCHES FROM BOTTOM OF FOOTING.
5. FOR ANCHOR BOLT/ BASE PLATE - SQUARE FOOTINGS, PROVIDE A MINIMUM OF #5 VERTICAL REBAR @ 12" O.C., 4" OFFSET FROM PERIMETER, TOP AND BOTTOM OF FOOTING. PROVIDE #3 HORIZONTAL TIES @ 12" O.C. UNLESS OTHERWISE NOTED.
6. FOR ANCHOR BOLT/ BASE PLATE - ROUND FOOTINGS, PROVIDE A MINIMUM OF SIX (6) VERTICAL #5 REBARS, EVENLY SPACED, 4" OFFSET FROM FOOTING PERIMETER & #3 HORIZONTAL TIES, 12" O.C. UNLESS OTHERWISE NOTED.
7. ANCHOR BOLTS SHALL BE TIED TO REBAR CAGE AT A MINIMUM OF TWO LOCATIONS PER ANCHOR BOLT
8. FOOTING DESIGN ASSUMES FOOTING SHALL BE EXCAVATED AND POURED IN UNDISTURBED NATURAL EARTH, CAPABLE OF WITHSTANDING A MINIMUM 1,500 PSF VERTICAL DESIGN BEARING PRESSURE AND 150 PSF/FT OF DEPTH OF LATERAL BEARING PRESSURE BASED ON SOIL DATA OBTAINED FROM THE USGS SOIL SURVEY.
9. IF CLAY, SILTY - CLAY, ORGANIC OR FILL SOIL IS ENCOUNTERED UPON EXCAVATION, CONTACT MURDOCH ENGINEERING FOR FOOTING DESIGN MODIFICATION PRIOR TO CONSTRUCTION.

SCOPE OF WORK:

1. LIMITS OF LIABILITY TO EXTEND ONLY TO THE QUANTITY INDICATED. ATTEMPTS IN PART OR IN WHOLE TO INSTALL GREATER QUANTITIES THAN THOSE SPECIFIED WITHOUT CONSULTING MURDOCH ENGINEERING SHALL VOID ALL PROFESSIONAL LIABILITY AND COVERAGE.



murdochengineering.com
(973) 570-8215
2399 NJ-34 A-2
Manasquan, NJ 08736

PREPARED FOR:

Vision Sign Inc.

PROJECT TITLE:
Fulton Bank Signage

PROJECT ADDRESS:
625 Elden St,
Herndon, VA 20170

DESIGN SPECIFICATIONS

ANSI/AISC 360
ASCE 7-16 Minimum Design Loads for Buildings & Other Structures
ACI 318-14 Building Code Requirements for Structural Concrete
ANSI/AISC 360 16 Specification for Structural Steel Buildings

DESIGN LOADS

Wind V = 115 mph
Exposure C
Risk Cat II
Grnd Snow Pg = 25 psf



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MANASQUAN, NJ 08736
(973) 570-8215

John Murdoch 4/26/2022

John Murdoch, PE
Professional Engineer
VA PE Lic #402050214

DWG TITLE:

GENERAL NOTES

SHEET:

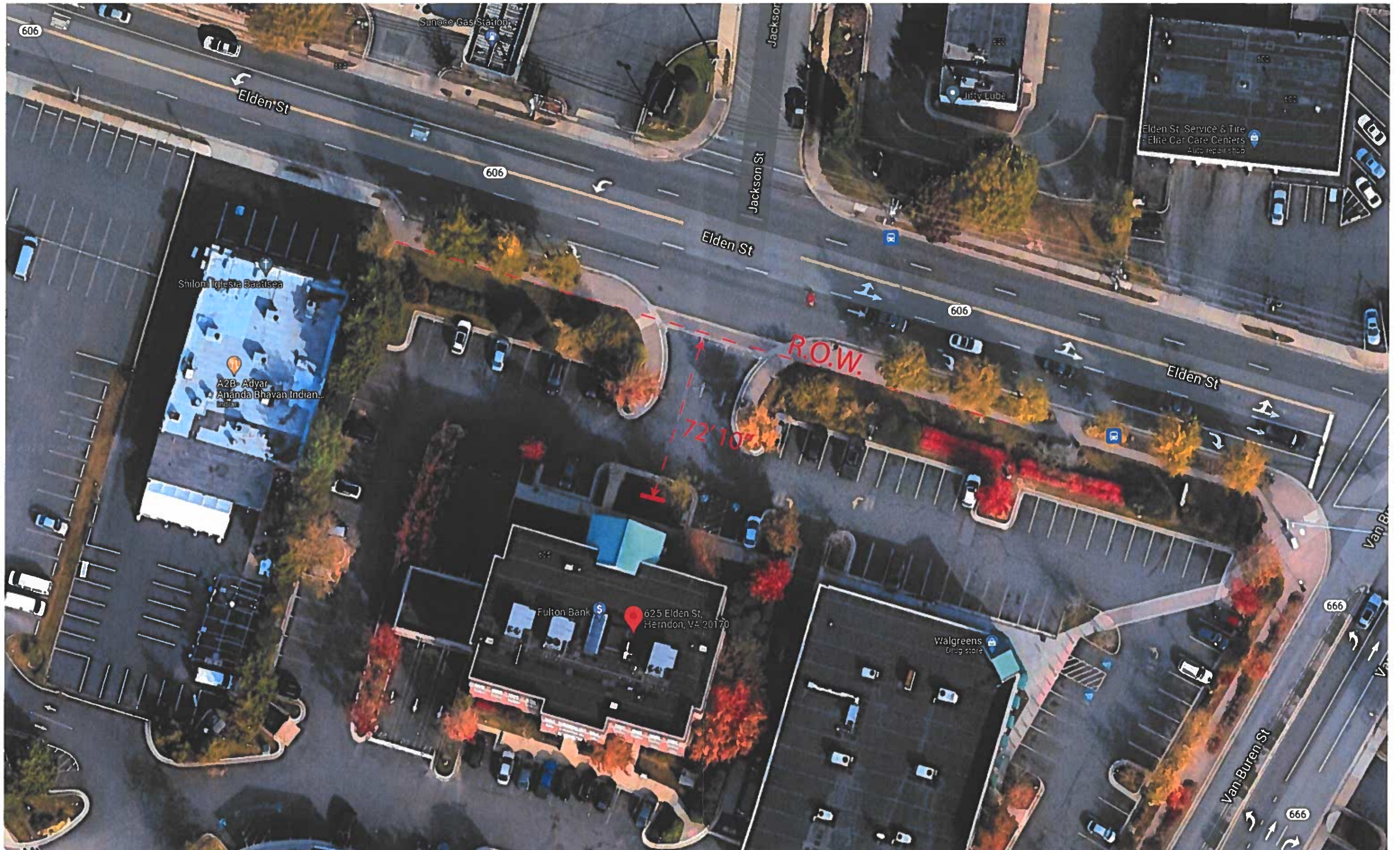
S.1

SIZE:

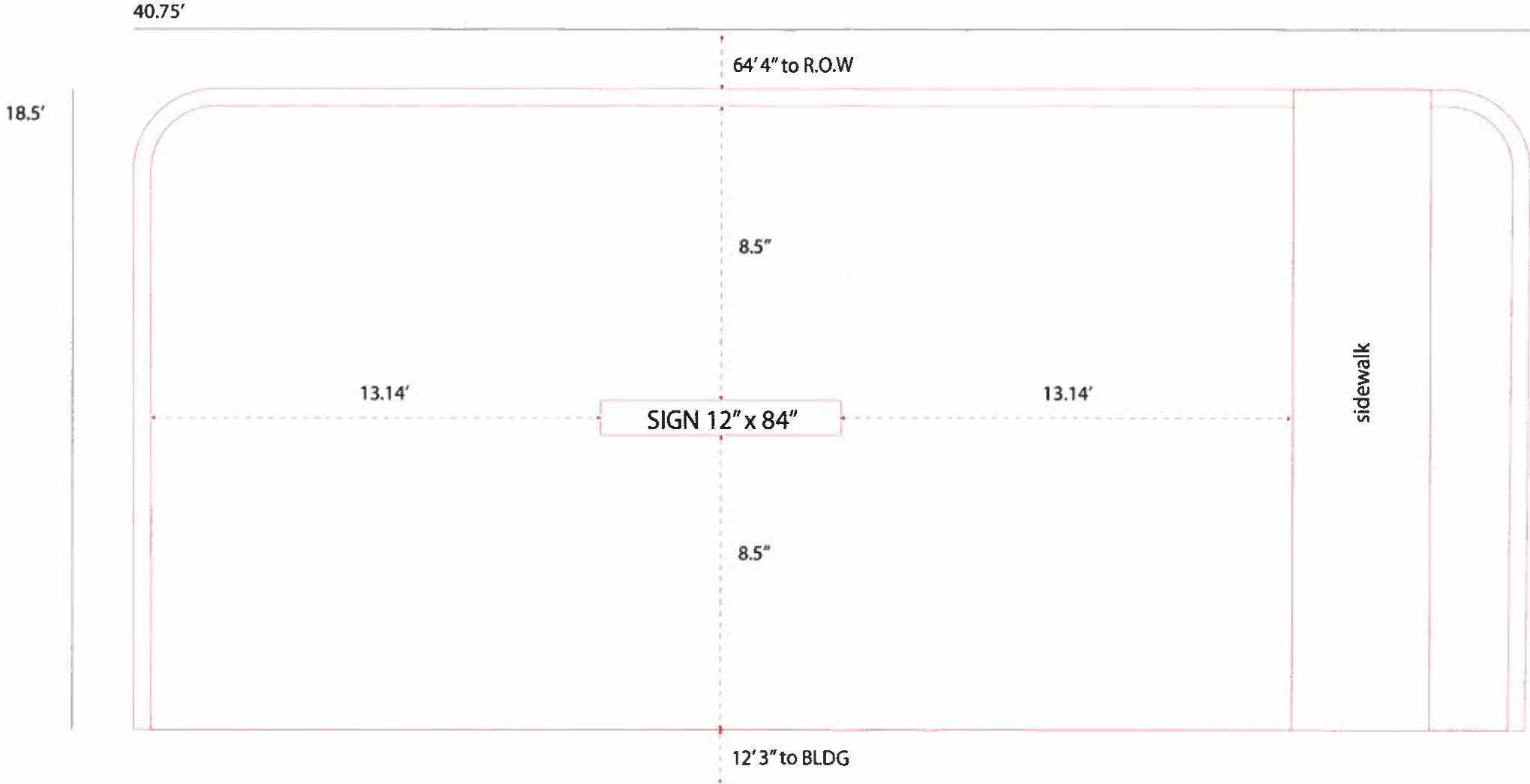
B



Freestanding sign R.O.W.



Landscape Buffer detail



Title: ARB #22-015; Sign alteration; 700 A Monroe Street

Staff Contact: Tamsin Himes
Lead Planner – Development and Design
tamsin.himes@herndon-va.gov
(571) 612-0537

Summary Information

Applicant Request	Monument sign alteration		
Address	700 A Monroe Street		
Fairfax County Tax Map Number	0162 02 0200C		
Owner	7 Eleven Inc.		
Applicant	Ken Padgett, Mid-Atlantic Permitting Services, LLC		
Business/Organization	7 Eleven Inc.		
Property Use	Commercial business		
Zoning District	PD-B, Planned Development Business		
Adjacent Zoning	North: PD-B, Planned Development Business East: CS, Commercial Services District South: O & LI, Office and Light Industrial West: PD-D, Planned Development – Downtown		
Building Type(s)	Gas station & convenience store	Date of Construction:	2001
Architectural Style(s)	Modern neo-classical commercial		
Exterior Material(s)	Brick		
Neighborhood Design Profile	Commercial, office and multi-family residences.		
Comprehensive Plan Land Use Designation	Business Corridor		

Staff Recommendation	Staff is recommending approval of this application.
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Case Details

Proposal:

This application is for alterations to an existing monument sign at 700 A Monroe Street. The existing monument sign has a brick masonry base topped with cabinet sign. The sign is divided into two sections, the left portion displaying the branding for 7 Eleven, and the right portion listing gas prices. This application proposes replacing the right-hand portion of the sign which displays gas prices with a digital price display.

Site Description:

700 A Monroe Street is situated at the intersection of Monroe Street and Van Buren Street. The monument sign is situated at the edge of the property line along Van Buren Street. The primary structure on the site is set back from the street with parking and service stations between the structure and the right of way. The building, sign and service station are clad, primarily of brick, with light-colored secondary elements and company branding prominently displayed. The sign sits next to landscaping between the street and the parking lot.

Location Map



Applicable Design Guidance:

- Town Code of Ordinances, Section 58-96 – *Design criteria*

Staff Analysis

1. Staff has found that the proposed signage meets the applicable standards and requirements of the Town of Herndon Zoning Ordinance. The Zoning Ordinance prohibits the use of digital signs for animated, flashing, or frequently changing content. This sign, as proposed, changes infrequently and is generally static.
2. With the findings expressed below, staff believes the proposed signage generally complies with the applicable design criteria within the Town's Architectural Control District, as specified in Section 58-96 of the Town Code of Ordinances.
 - a. The proposed sign alteration does not detract from the existing sign or its integration with the surrounding buildings. It is harmonious in materials, color, and aesthetic.

- b. The proposed sign alteration promotes the surrounding suburban community by updating and modernizing the sign and area.
- c. The proposed sign alteration would be constructed in a way so as to not deteriorate quickly but withstand reasonable weathering.

Staff Recommendation:

ARB Alternatives:	1. Resolution to deny the application. 2. Resolution to approve the application as submitted. 3. Resolution to approve with condition(s). 4. The ARB may also continue the review of this item to a future public hearing
Staff Recommendation:	Staff is recommending approval of this sign in accordance with the draft resolution.

Report Attachments

1.	Draft Resolution
2.	Sign Design Documents

Staff Signatures



Tamsin Himes
Lead Planner/Design and Development



Bryce A. Perry
Deputy Director

**TOWN OF HERNDON, VIRGINIA
ARCHITECTURAL REVIEW BOARD**

DRAFT RESOLUTION

July 20, 2022

Resolution- to approve ARB #22-015, alteration to an existing standalone sign on gas located at 700 A Monroe Street, Fairfax County Tax Map Number 0162 02 0200C.

WHEREAS, the applicant has submitted an application to install signage located the above referenced address; and

WHEREAS, the proposed signage complies with the applicable zoning ordinance regulations as specified in the Town of Herndon Zoning Ordinance Article XIV; and

WHEREAS, the Town of Herndon Architectural Review Board has found that the proposed signage complies with the applicable Design Criteria as stated in the Town of Herndon Code of Ordinances Section 58-96; and

WHEREAS, the Town of Herndon Architectural Review Board has held a duly advertised public hearing concerning this application on July 20, 2022.

NOW THEREFORE, BE IT RESOLVED that the Architectural Review Board of the Town of Herndon, Virginia, HEREBY:

Approves ARB #22-015, for signage located at 700 A Monroe Street, Herndon, VA in substantial conformance with the design shown in the case materials reviewed by the ARB.

MONUMENT SIGN

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY
ANY SEPARATE OF OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

SignResource
IDENTITY GROUP
8135 District Blvd - Hayward, CA 94520
800.423.4783 • Fax 323.560.3143
Website: www.signresource.com

VERIFY SIZE OF LEDS WITH PRODUCTION GRAPHICS PRIOR TO ORDERING LED MODULES

Existing to remain.



EXISTING

48.68 SQ.FT.

EXISTING FONT 13"

Fuel price panel for re-face.

Existing to remain.



PROPOSED

48.68 SQ.FT.

Fuel price panel for re-face.



23.70 SQ.FT.

REPLACEMENT FACES

18" WHITE PWM TRACK LED
WINDOW SIZE: 19 7/8" x 47"
FOOTPRINT SIZE: 21 3/8" x 48 7/8"
(INCLUDE BLACK BEHIND LEDS)

CLEAN/POWERWASH - PAINT CABINETS AND POLES IF NEEDED
SR APPROVED SURVEY REQUIRED

SCALE 1:20

SITE #: 10653

SITE ADDRESS:

701 VANBUREN ST
Herndon, VA 23452

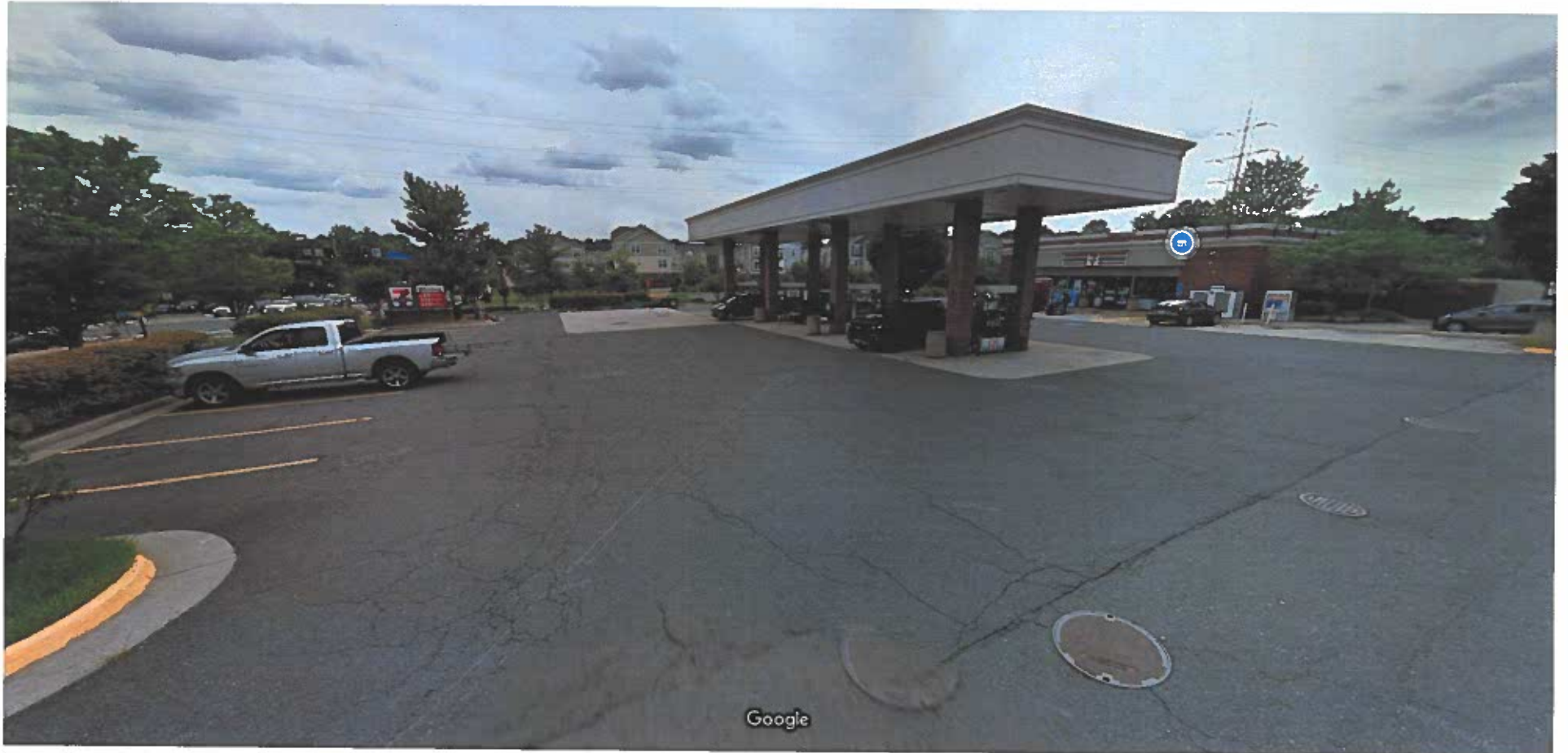
PAGE # 1 OF 1

RENDERING

7-11_10653 - RENDERING_A







Google Maps Herndon, Virginia



Google

Street View - Jun 2018



Image capture: Jun 2018 © 2022 Google