

**TOWN OF HERNDON, VIRGINIA
ARCHITECTURAL REVIEW BOARD WORK SESSION AGENDA
JULY 06, 2022
HERNDON MUNICIPAL CENTER
LARGE CONFERENCE ROOM, 2nd Floor
777 LYNN STREET
7:30 P.M.**

CALL TO ORDER

1. Determination of Quorum

PUBLIC HEARING

2. **APPLICATION FOR SIGNAGE, ARB #22-013**, to consider the installation of a new monument sign and wall sign located at 625 Elden Street, Herndon Virginia, further identified as Fairfax County Tax Map 0162 02 0200A and located approximately 290 feet northwest of the intersection of Elden Street and Van Buren Street. The property is zoned as PD-B, Planned Development Business District, and consists of 49,738 square feet of land. Owner: Fulton Bank. Applicant/Agent: Jason Alexander, Vision Sign.
3. **APPLICATION FOR SIGNAGE, ARB #22-015**, to consider an application for alterations to an existing monument sign located at 700 A Monroe Street, Herndon, Virginia, further identified as Fairfax County Tax Map 0162 02 0200C and located on the northwest quadrant of the Van Buren Street and Monroe Street intersection. The property is zoned as PD-B, Planned Development Business District, and consists of 42,066 square feet of land. Owner: 7 Eleven Inc. Applicant/Agent: Ken Padgett, Mid-Atlantic Permitting Services, LLC.

DISCUSSION

4. PRE-APPLICATION, ARB, a development project: a mixed use development at 555 Herndon Parkway, Herndon, Virginia.

COMMENTS

5. Comments from the Staff Members
6. Comments from the Board Members

ADJOURNMENT

Title: ARB #22-013; New signage; 625 Elden Street

Staff Contact: Tamsin Himes
 Lead Planner – Development and Design
tamsin.himes@herndon-va.gov
 (571) 612-0537

Summary Information

Applicant Request	Monument sign and wall sign		
Address	625 Elden Street		
Fairfax County Tax Map Number	0162 02 0200A		
Owner	Fulton Bank		
Applicant	Jason Alexander		
Business/Organization	Fulton Bank		
Property Use	Commercial business		
Zoning District	PD-B, Planned Development-Business		
Adjacent Zoning	North: CS, Commercial Services District South: PD-B, Planned Development-Business East: PD-B, Planned Development-Business West: CS, Commercial Services District		
Building Type(s)	Three story commercial building	Date of Construction:	2001
Architectural Style(s)	Greek revival		
Exterior Material(s)	Brick, insulite		
Neighborhood Design Profile	Commercial, office and multi-family residences.		
Comprehensive Plan Land Use Designation	Business Corridor		

Staff Recommendation	Staff is recommending approval of this application with conditions.
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Case Details

Proposal:

This application is for two business identification signs, one monument sign and one wall sign at 625 Elden Street. The monument sign requires a site plan prior to a review by the board, and therefore is not addressed in this staff report. Following site plan approval, the applicant may re-apply to the board for a review of the monument sign.

The proposed wall sign may be reviewed by staff, and as such is the subject of this staff report. The sign encompasses 4.5 square feet and has a sign face of non-illuminated painted aluminum with digitally printed vinyl graphics and text. The proposed sign is

flush mounted to the brick façade using aluminum angle clips with masonry anchors. The prospective location of the sign is to the right of the primary entrance to the building. The background of the sign is white and contains a logo and the words “analytical solutions” in red text. The logo and text are digitally printed in vinyl and adhered to the sign face.

Location Map



Applicable Design Guidance:

- Town Code of Ordinances, Section 58-96 – *Design criteria*

Staff Analysis

1. Staff has found that the proposed signage meets the applicable standards and requirements of the Town of Herndon Zoning Ordinances.
2. With the findings expressed below, staff believes the proposed signage generally complies with the applicable design criteria within the Town’s Architectural Control District as specified in Section 58-96 of the Town Code of Ordinances.
 - a. The proposed wall sign in its design and construction is suitable for a good suburban community and promotes the use and improvement of the surrounding buildings.
 - b. The proposed wall sign clearly and legibly represents the intended business
 - c. The proposed wall sign is compatible with surrounding buildings and architecture. It does not detract from or overshadow the primary structure.
 - d. The proposed wall sign is constructed in a way to remain in good condition and withstand normal weather and climate conditions without deteriorating.

Staff Recommendation:

ARB Alternatives:	1. Resolution to deny the application. 2. Resolution to approve the application as submitted. 3. Resolution to approve with condition(s). 4. The ARB may also continue the review of this item to a future public hearing
Staff Recommendation:	Staff is recommending approval of this application with conditions in accordance with the draft resolution.

Report Attachments

1.	Draft Resolution
2.	Sign drawings and Photos

Staff Signatures



Tamsin Himes
Lead Planner/Design and Development



Bryce A. Perry
Deputy Director

**TOWN OF HERNDON, VIRGINIA
ARCHITECTURAL REVIEW BOARD**

DRAFT RESOLUTION

July 6, 2022

Resolution- to approve ARB #22-013, installation of signage on a commercial building located at 625 Elden Street, Fairfax County Tax Map Number 0162 02 0200A.

WHEREAS, the applicant has submitted an application to install signage located at the above referenced address; and

WHEREAS, the proposed signage complies with the applicable zoning ordinance regulations as specified in the Town of Herndon Zoning Ordinance Article XIV; and

WHEREAS, the Town of Herndon Architectural Review Board has found that the proposed signage complies with the applicable Design Criteria as stated in the Town of Herndon Code of Ordinances Section 58-96; and

WHEREAS, the Town of Herndon Architectural Review Board has held a duly advertised public hearing concerning this application on July 20, 2022.

NOW THEREFORE, BE IT RESOLVED that the Architectural Review Board of the Town of Herndon, Virginia, HEREBY:

Approves ARB #22-013, for signage located at 625 Elden Street, Herndon, VA in substantial conformance with the design shown in the case materials reviewed by the ARB and with the following condition:

- 1) This approval excludes the monument sign portion of this application.

DESIGN SPECIFICATIONS	
USBC/VCC 2018	
ASCE 7-16	Minimum Design Loads for Buildings & Other Structures
ACI 318-14	Building Code Requirements for Structural Concrete
ANSI/AISC 360-16	Specification for Structural Steel Buildings
DESIGN LOADS	
Wind	V = 115 mph
Exposure	C
Risk Cat.	II
Grnd. Snow	Pg = 25 psf

MURDOCH ENGINEERING
SIGN STRUCTURE PROFESSIONALS

399 A-2 NJ-34
MANASQUAN, NJ 08739
(908) 570-8215 x0

Jer K. Murdoch
10/08/2022

JERE K. MURDOCH
Lic. No. 50214

Jer K. Murdoch, PE
Professional Engineer
NJ PE Lic. #402050214

COMMONWEALTH OF VIRGINIA
PROFESSIONAL ENGINEER



Proposed



1208 Columbus Rd. Suite F Burlington NJ 08016
888.588.9057 • EffectiveSignWorks.com

Drawing Number:
220373-05
Sheet Date: 10/08/2021

Sales: **MS**
Designer: **GB**

Client:
**Fulton Bank
Financial Herndon, VA**

Site Address:
625 Elden St | Herndon, VA 20170
File Name: 220373-05 Fulton Financial Herndon VA

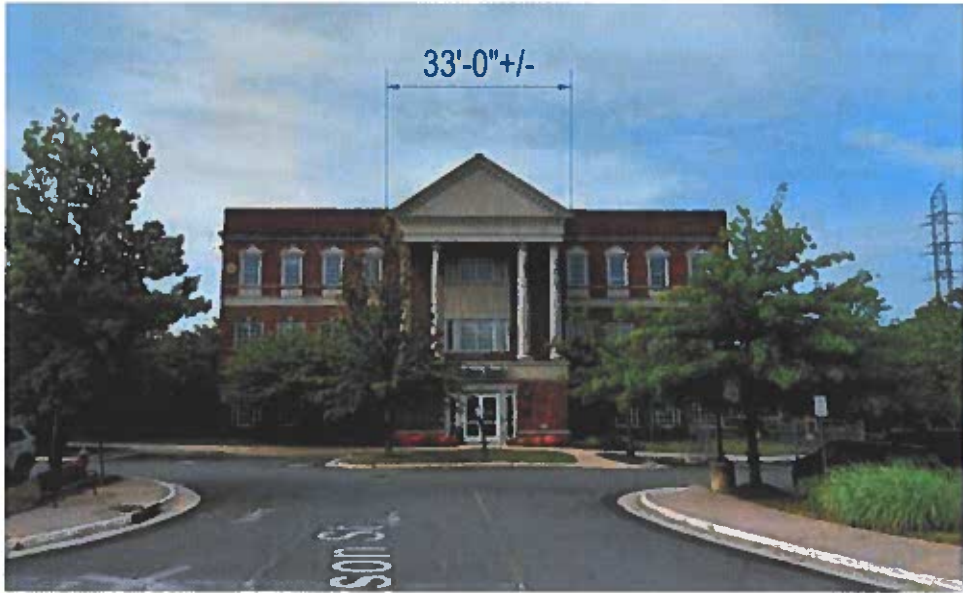
Revisions:
-02 resize monument 11/03/21
-03 reconfigured mon. tenant panels 11/20/21
-04 updated file name 03/03/22
-05 added const. details 04/08/22

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SIGN X

CUSTOMER APPROVAL AND DATE



Existing



Proposed



2.0 Elevation: LED Illum. S/F Monument
Scale: 3/4" = 1'-0"

Qty. = 1

Area Assessment

Proposed: 26" x 84"/144 = 14 SqFt

DESIGN SPECIFICATIONS	
USBC/ACC 2018	
ASCE 7-16	Minimum Design Loads for Buildings & Other Structures
ACI 318-14	Building Code Requirements for Structural Concrete
ANSI/AISC 360-16	Specification for Structural Steel Buildings
DESIGN LOADS	
Wind	V = 115 mph
Exposure	C
Risk Cat.	II
Grnd. Snow	Pg = 25 psf

SIGN SPECIFICATIONS -
CABINET MATERIAL: ALUMINUM
CABINET FINISH: Paint to Match PMS 287C
CABINET DEPTH: 12"
FACE MATERIAL: ACRYLIC
FACE FINISH: WHITE
GRAPHIC SPECS: APPLIED VINYL
RETAINING BAND MATERIAL: ALUMINUM
DIVIDERS: VINYL TENANT DIVIDER BARS
BASE MATERIAL: FAUX BRICK
BASE FINISH: TO MATCH BUILDING
INTERNAL SUPPORT MATERIAL: 4"x4" Square Tube
SUPPORT FINISH: N/A
INTERNAL ILLUMINATION: LED
BALLAST / POWER SUPPLY: 12Volt
INSTALL METHOD: CONCRETE FOOTINGS 36"D x 24"
BASE DEPTH: 12"



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MANASQUAN, NJ 08738
(973) 575-9215 x0
Jere Murdoch
Jere Murdoch, PE
Professional Engineer
VA PE Lic. #402050214



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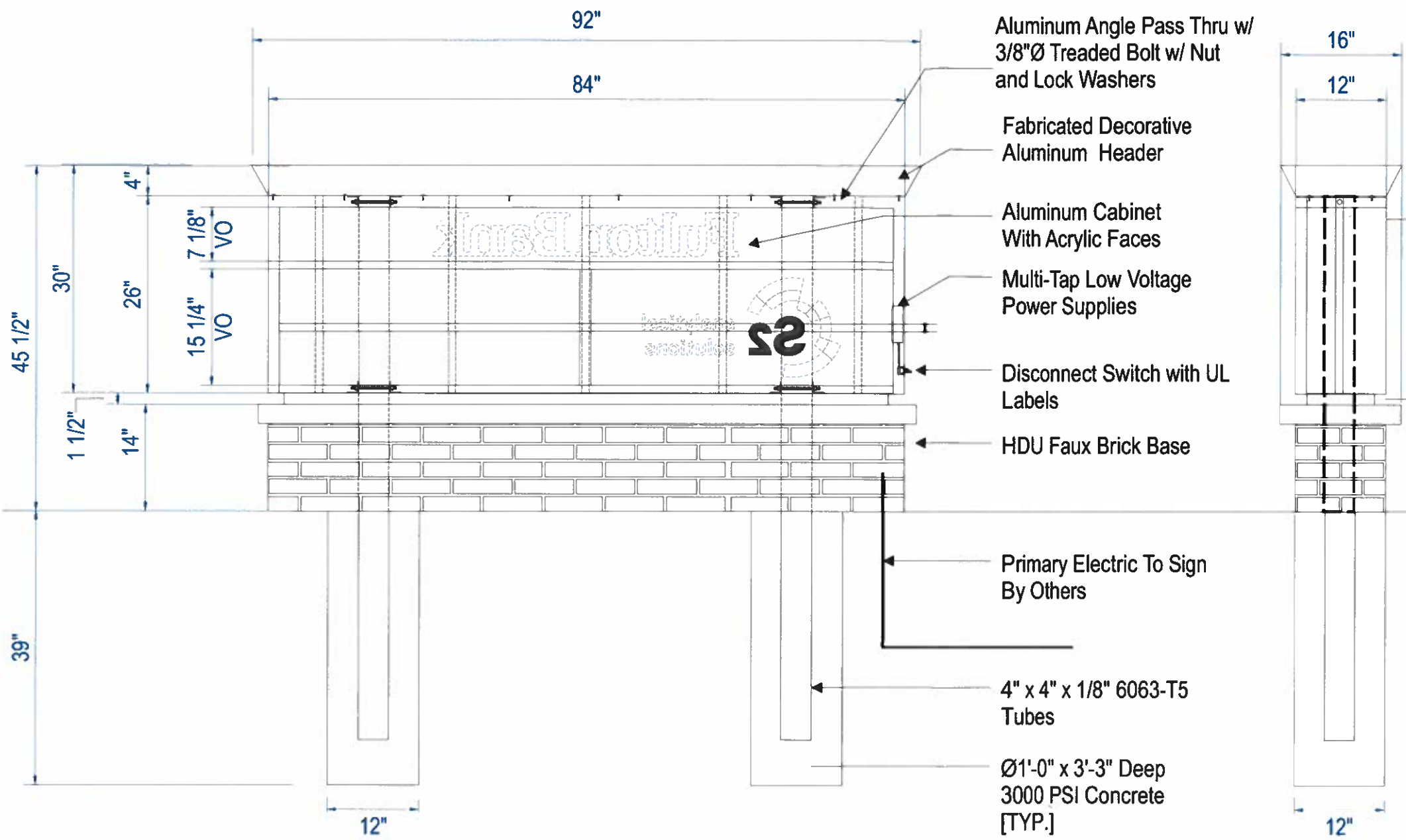
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ACI 318-14	Building Code Requirements for Structural Concrete
ANSI/AISC 360-16	Specification for Structural Steel Buildings
DESIGN LOADS	
Wind	V = 115 mph
Exposure	C
Risk Cat.	II
Grnd. Snow	Pg = 25 psf

Removable Aluminum Back Panel

1-1/2" Aluminum Reveal

Estimated Electrical Load

5a @ 120vac

Estimated Electrical Req.

(1)20a Circuit @ 120vac

SIGN SPECIFICATIONS -

CABINET MATERIAL: ALUMINUM

CABINET FINISH: Paint to Match PMS 287C

CABINET DEPTH: 12"

FACE MATERIAL: ACRYLIC

FACE FINISH: WHITE

GRAPHIC SPECS: APPLIED VINYL

RETAINING BAND MATERIAL: ALUMINUM

DIVIDERS: VINYL TENANT DIVIDER BARS

BASE MATERIAL: FAUX BRICK

BASE FINISH: TO MATCH BUILDING

INTERNAL SUPPORT MATERIAL: 4"x4" Square Tube

SUPPORT FINISH: N/A

INTERNAL ILLUMINATION: LED

BALLAST / POWER SUPPLY: 12 Volt

INSTALL METHOD: CONCRETE FOOTINGS

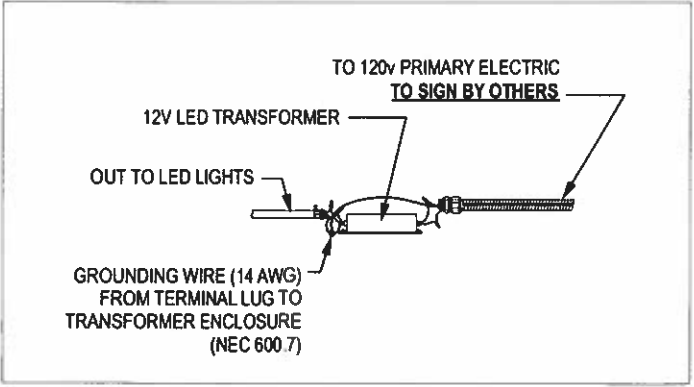
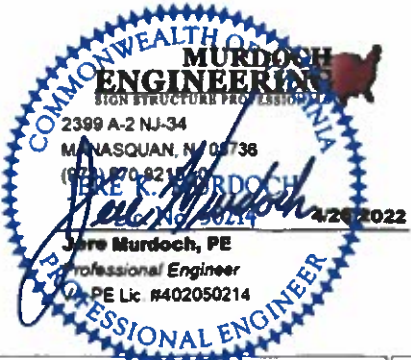
BASE DEPTH: 12"

3.0 Elevation: LED Illum. S/F Monument
Scale: 3/4" = 1'-0"

Qty. = 1

Engineer's Note:

- Fasten posts to angle saddles with min. one [1] 1/2" 316 SS Bolt per saddle
- Alum. tube to be coated in bituminous paint or polyurethane coating to prevent degrading and corrosion
- Maintain 6" clearance between posts and bottom of footings w/ solid concrete paver



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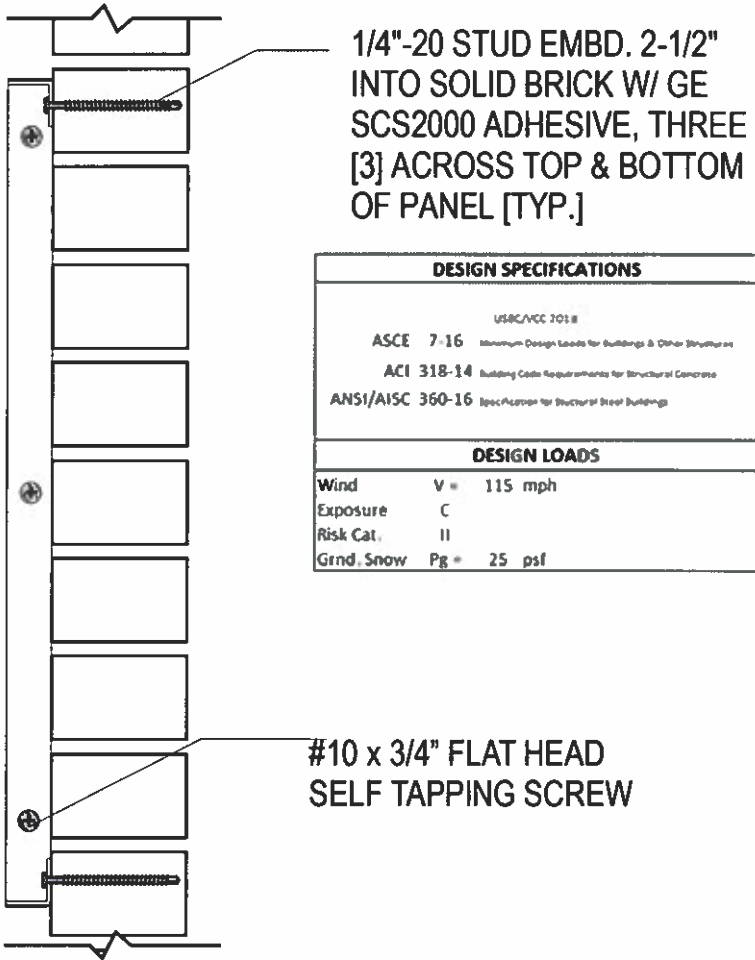
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625 Elden St | Herndon, VA 20170
File Name: 220373-05 Fulton Financial Herndon VA

Revisions:
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-03 reconfigured mon. tenant panels 11/20/21
-04 updated file name 03/03/22
-05 added const. details 04/08/22

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CUSTOMER APPROVAL AND DATE



Proposed

4.0 Elevation: Non-Illum. Pan Sign Qty. = 1
Scale: 1:4

Sign Specifications -
Material: 1" deep Aluminum Panel Sign Painted White
Graphics: Applied Digitally Printed Vinyl
Install: Aluminum Angle Clips w/ Studs
Engineer's Note:
For alternate hardware, provide 1/4"x3" DeWALT Screw-Bolt+ embd. 1-5/8" into solid brick. Contact Murdoch Engineering if field conditions vary.

Cross Section Mounting Detail

Area Assessment
Proposed: 18" x 36"/144 = **4.5 SqFt**



MURDOCH ENGINEERING
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Jere Murdoch
Jere Murdoch, PE
Professional Engineer
VA PE Lic. #402050214
4/28/2022



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CUSTOMER APPROVAL AND DATE

GENERAL:

1. ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE INTERNATIONAL BUILDING CODE (IBC).
2. CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
4. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
5. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, CONSTRUCT IN ACCORDANCE WITH THE STEEL CONSTRUCTION MANUAL, 14TH EDITION OR 2010 ALUMINUM DESIGN MANUAL.
6. WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
7. ANY CHANGE TO THE DESIGN AS SHOWN ON THE DRAWINGS REQUIRES PRIOR WRITTEN APPROVAL FROM DESIGN ENGINEER OF RECORD BEFORE CONSTRUCTION.
8. WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
9. VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE EOR IMMEDIATELY OF ANY DISCREPANCIES.

EXISTING CONDITIONS:

1. IF EXISTING CONDITIONS ARE NOT AS DETAILED IN THIS DESIGN, THE INSTALLER SHALL CEASE WORK AND NOTIFY MURDOCH ENGINEERING IMMEDIATELY.
2. MURDOCH ENGINEERING WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER, STRUCTURE OWNER, AND PROPERTY OWNER TO IDENTIFY EXISTING CONDITIONS AND CONTACT MURDOCH ENGINEERING WITH ANY DISCREPANCIES OR CONCERNS.
3. INSTALLER SHALL CONFIRM THE DIAMETER AND THICKNESS OF EXISTING MEMBERS AND NOTIFY MURDOCH ENGINEERING OF ANY DISCREPANCIES.
4. INSTALLER SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, INSTALLER SHALL CEASE WORK IMMEDIATELY AND NOTIFY MURDOCH ENGINEERING.
5. ANY EXISTING INFORMATION SHOWN HAS BEEN FURNISHED BY THE PERSON(S) OR COMPANY THIS DOCUMENT WAS PREPARED FOR (SEE TITLE BLOCK). MURDOCH ENGINEERING IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT". IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, MURDOCH ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.

STEEL

1. STEEL SHAPES SHALL CONFORM TO THE FOLLOWING:

ROUND HSS	ASTM A500, GR B	Fy=42 KSI MIN.
SQUARE/RECT HSS	ASTM A500, GR B	Fy=46 KSI MIN.
THREADED ROD	F1554 GR 55	Fy=55 KSI MIN.
STEEL PLATE STD.	ASTM A36 ASTM	Fy=36 KSI MIN.
PIPE	A53, GR B	Fy=35 KSI MIN.

2. BOLTS SHALL CONFORM TO ASTM A325 UNO.
3. BOLTS AND THREADED ROD SHALL BE HOT-DIP GALVANIZED PER ASTM F2329 UNO.
4. ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 UNO.
5. NUTS SHALL CONFORM TO ASTM A563.
6. WASHERS SHALL CONFORM TO ASTM F844.
7. STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153 UNO
8. WELDING:
 - a. WELD STRUCTURAL STEEL IN COMPLIANCE WITH ANSI/AWS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY GOVERNING CODE AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
 - b. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH ACTIVE STATUS AT TIME OF WELDING
 - c. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELDS PER AISC SPECIFICATION, SECTION J2, TABLE J2.4
 - d. BASE PLATES SHALL BE WELDED ON TOP AND BOTTOM WITH CONTINUOUS WELDS OF AT LEAST 1/4" (IF PLATE IS CUT TO FIT TUBE INTO PLATE)

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Deviations from this drawing shall not be made without consulting Murdoch Engineering. In case of incongruities between drawings, specifications, and details included in contract documents, Murdoch Engineering shall decide which indication must be followed and their decision shall be final.

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ALUMINUM:

1. FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE ALUMINUM ASSOCIATION (AA) 2010 ALUMINUM DESIGN MANUAL (ADM) 1, THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND IBC CHAPTER 20.
2. PIPE AND TUBE SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
3. STD STRUCTURAL PROFILES SHALL BE 6061-T6 PER B308 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
4. SHEET AND PLATE SHALL BE 6061-T6 PER ASTM B209 WITH Ftu=42 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
5. EXTRUSIONS SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ftu=38 KSI MIN, Fty=35 KSI MIN, Ftuw=24 KSI MIN, Ftyw=15 KSI MIN.
6. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH CURRENT STATUS AT TIME OF WELDING
7. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM. ALL ALUMINUM WELDED JOINTS SHALL HAVE WELD SIZES OF AT LEAST 1/4 INCH
8. FILLET WELDS SHALL NOT EXCEED THINNEST MEMBER WALL THICKNESS JOINED.
9. ALUMINUM WELD FILLER SHALL BE 5356 ALLOY
10. WELDING PROCESS GMAW OR GTAW SHALL BE IN ACCORDANCE WITH AWS D1.2
11. ALUMINUM CHANNEL LETTERS SHALL BE CONSTRUCTED OF 0.090" RETURNS AND 0.125" BACKS MINIMUM, UNLESS A LARGER SIZE IS INDICATED ON DRAWINGS. THIS NOTE SHALL SUPERCEDE DRAWING DETAILS.
12. PROVIDE NEOPRENE GASKET BETWEEN DISSIMILAR METALS TO PREVENT GALVANIC CORROSION
13. ALUMINUM DIRECTLY EMBEDDED INTO CONCRETE SHALL BE CAPPED AT BOTTOM AND COATED WITH BITUMINOUS COATING OR POLYURETHANE WHERE IN CONTACT WITH CONCRETE.
14. FASTENERS BETWEEN DISSIMILAR METALS SHALL BE STAINLESS STEEL 316.

CONCRETE & REINFORCEMENT

1. MINIMUM 28-DAY COMPRESSIVE STRENGTH (fc') SHALL BE 3,000 PSI. THE MAXIMUM WATER TO CEMENT RATIO SHALL BE 0.45 BY WEIGHT. A MINIMUM OF 5-3/4 BAGS OF CEMENT SHALL BE USED PER CUBIC YARD WITH A SLUMP OF 4" +/- 1.
2. REINFORCEMENT TO BE ASTM A615 GR 60, Fy=60 KSI UNO
3. CALCIUM CHLORIDE OR ADDED CHLORIDE IS NOT PERMITTED
4. VIBRATION: ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS
5. CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-14
6. PROVIDE A MINIMUM OF 2-1/2" COVER OF ALL EMBEDDED STEEL REBAR AND A MINIMUM OF 6 INCHES OF COVER FOR DIRECT BURIED PIPE OR TUBE MEMBERS.

FOUNDATIONS

1. CONCRETE POURED INTO CONSTRAINED EARTH EXCAVATIONS MUST CURE UNDER PROPER CONDITIONS FOR A MINIMUM OF 7 DAYS PRIOR TO SIGN BOX INSTALLATION. (EXCEPTION: IF THE OVERALL HEIGHT OF THE SIGN IS LESS THAN 20 FEET AND THE SIGN IS ADEQUATELY BRACED AGAINST WIND LOADS FOR A MINIMUM OF 4 DAYS, THE BOX MAY BE INSTALLED THE SAME DAY AS THE FOOTING IS POURED)
2. FOOTINGS MUST BE POURED AGAINST UNDISTURBED EARTH. SOIL BACKFILL IS UNACCEPTABLE. WHEN A SONOTUBE IS USED AS THE FORM, 3/4" BLUESTONE OR CONCRETE SHALL BE USED TO BACKFILL THE SPACE BETWEEN THE SONOTUBE AND UNDISTURBED EARTH.
3. COLD WEATHER PLACEMENT: PROTECT CONCRETE WORK FROM PHYSICAL DAMAGE OR REDUCED STRENGTH THAT COULD BE CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES. DO NOT POUR CONCRETE DURING OR WHEN FREEZING TEMPERATURES ARE ANTICIPATED WITHIN 3 DAYS OF POUR.
4. REINFORCEMENT IS NOT REQUIRED FOR DIRECT BURIAL TYPE SIGN FOOTINGS FOR SIGNS OF 25 FEET OVERALL HEIGHT OR LESS, DIRECT BURIED STEEL SHALL EXTEND TO 6 INCHES FROM BOTTOM OF FOOTING.
5. FOR ANCHOR BOLT/ BASE PLATE - SQUARE FOOTINGS, PROVIDE A MINIMUM OF #5 VERTICAL REBAR @ 12" O.C., 4" OFFSET FROM PERIMETER, TOP AND BOTTOM OF FOOTING. PROVIDE #3 HORIZONTAL TIES @ 12" O.C. UNLESS OTHERWISE NOTED.
6. FOR ANCHOR BOLT/ BASE PLATE - ROUND FOOTINGS, PROVIDE A MINIMUM OF SIX (6) VERTICAL #5 REBARS, EVENLY SPACED, 4" OFFSET FROM FOOTING PERIMETER & #3 HORIZONTAL TIES, 12" O.C. UNLESS OTHERWISE NOTED.
7. ANCHOR BOLTS SHALL BE TIED TO REBAR CAGE AT A MINIMUM OF TWO LOCATIONS PER ANCHOR BOLT
8. FOOTING DESIGN ASSUMES FOOTING SHALL BE EXCAVATED AND POURED IN UNDISTURBED NATURAL EARTH, CAPABLE OF WITHSTANDING A MINIMUM 1,500 PSF VERTICAL DESIGN BEARING PRESSURE AND 150 PSF/FT OF DEPTH OF LATERAL BEARING PRESSURE BASED ON SOIL DATA OBTAINED FROM THE USGS SOIL SURVEY.
9. IF CLAY, SILTY - CLAY, ORGANIC OR FILL SOIL IS ENCOUNTERED UPON EXCAVATION, CONTACT MURDOCH ENGINEERING FOR FOOTING DESIGN MODIFICATION PRIOR TO CONSTRUCTION.

SCOPE OF WORK:

1. LIMITS OF LIABILITY TO EXTEND ONLY TO THE QUANTITY INDICATED. ATTEMPTS IN PART OR IN WHOLE TO INSTALL GREATER QUANTITIES THAN THOSE SPECIFIED WITHOUT CONSULTING MURDOCH ENGINEERING SHALL VOID ALL PROFESSIONAL LIABILITY AND COVERAGE.



murdochengineering.com
(973) 570-8215
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Manasquan, NJ 08736

PREPARED FOR:

Vision Sign Inc.

PROJECT TITLE:
Fulton Bank Signage

PROJECT ADDRESS:
625 Elden St,
Herndon, VA 20170

DESIGN SPECIFICATIONS

USBC/ACI 308R
ASCE 7-16 Minimum Design Loads for Buildings & Other Structures
ACI 318-14 Building Code Requirements for Structural Concrete
ANSI/AISC 360-16 Specification for Structural Steel Buildings

DESIGN LOADS

Wind V = 115 mph
Exposure C
Prob Cat II
Grnd Snow Pg = 25 psf



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MANASQUAN, NJ 08736
(973) 570-8215

Jerre Murdoch 4/26/2022

Jerre Murdoch, PE
Professional Engineer
VA PE Lic #402050214

DWG TITLE:

GENERAL NOTES

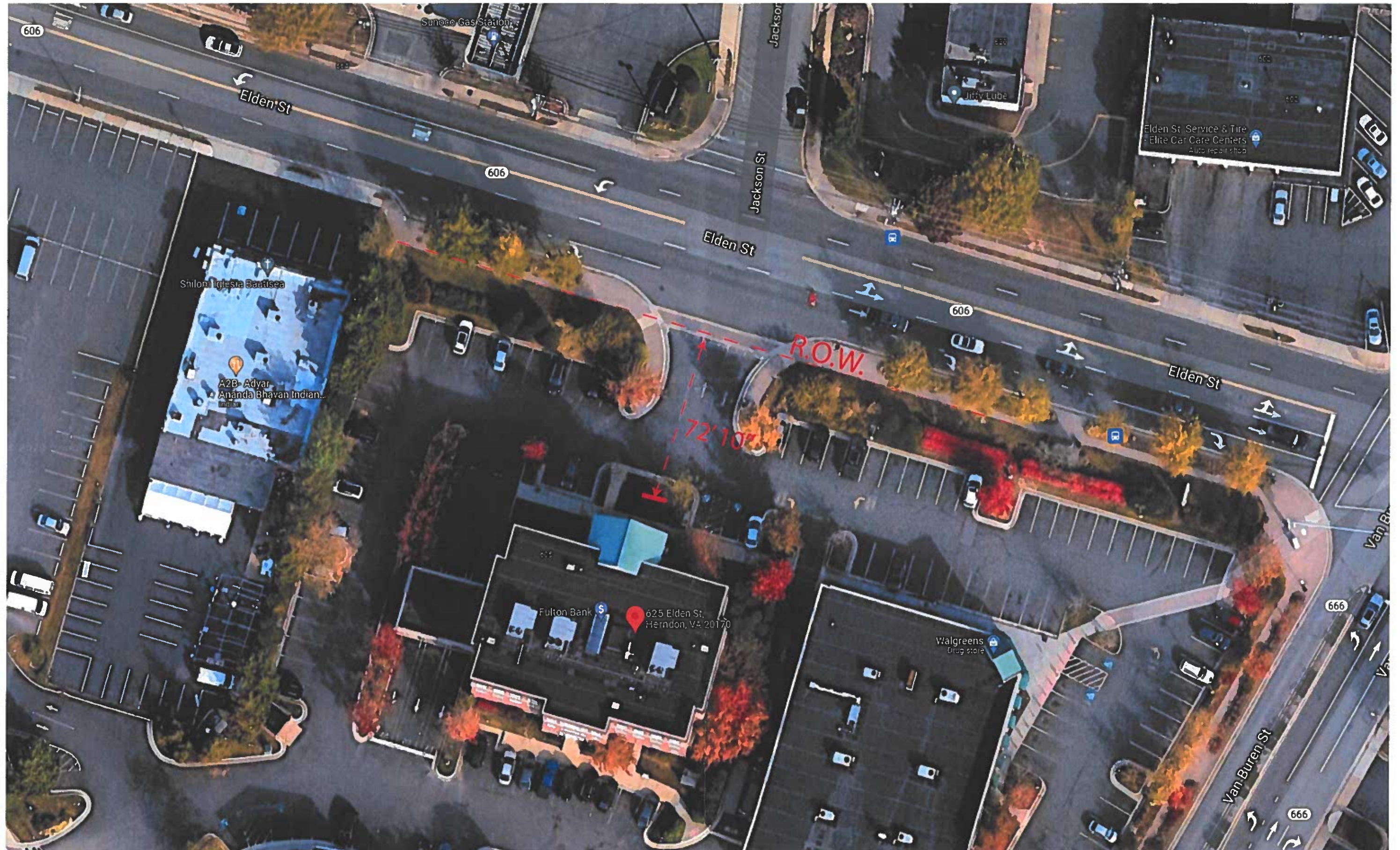
SHEET:

S.1

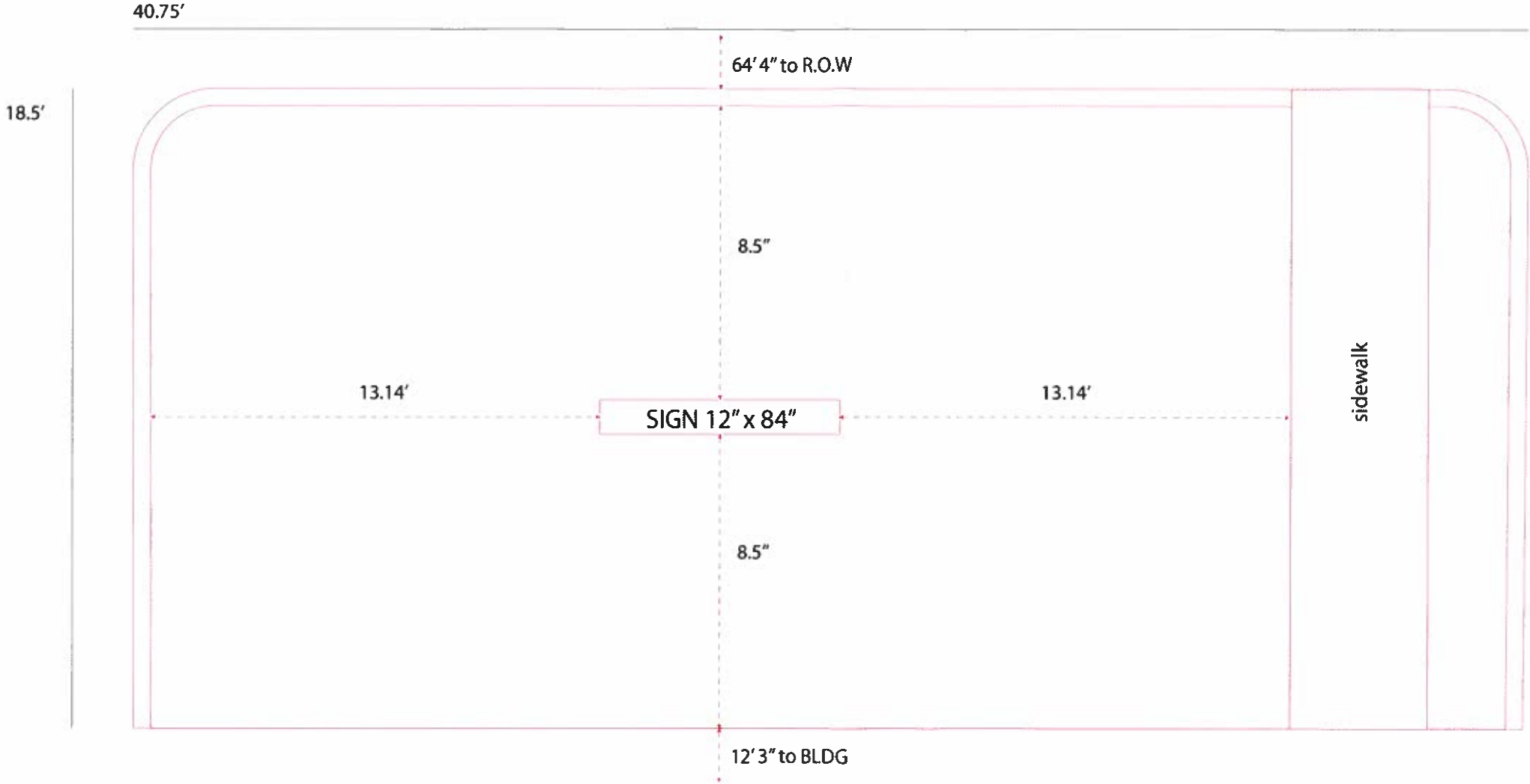
SIZE:

B

Freestanding sign R.O.W.



Landscape Buffer detail



Title: ARB #22-015; Sign alteration; 700 A Monroe Street

Staff Contact: Tamsin Himes
Lead Planner – Development and Design
tamsin.himes@herndon-va.gov
(571) 612-0537

Summary Information

Applicant Request	Monument sign alteration		
Address	700 A Monroe Street		
Fairfax County Tax Map Number	0162 02 0200C		
Owner	7 Eleven Inc.		
Applicant	Ken Padgett, Mid-Atlantic Permitting Services, LLC		
Business/Organization	7 Eleven Inc.		
Property Use	Commercial business		
Zoning District	PD-B, Planned Development Business		
Adjacent Zoning	North: PD-B, Planned Development Business East: CS, Commercial Services District South: O & LI, Office and Light Industrial West: PD-D, Planned Development – Downtown		
Building Type(s)	Gas station & convenience store	Date of Construction:	2001
Architectural Style(s)	Modern neo-classical commercial		
Exterior Material(s)	Brick		
Neighborhood Design Profile	Commercial, office and multi-family residences.		
Comprehensive Plan Land Use Designation	Business Corridor		

Staff Recommendation	Staff is recommending approval of this application.
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Case Details

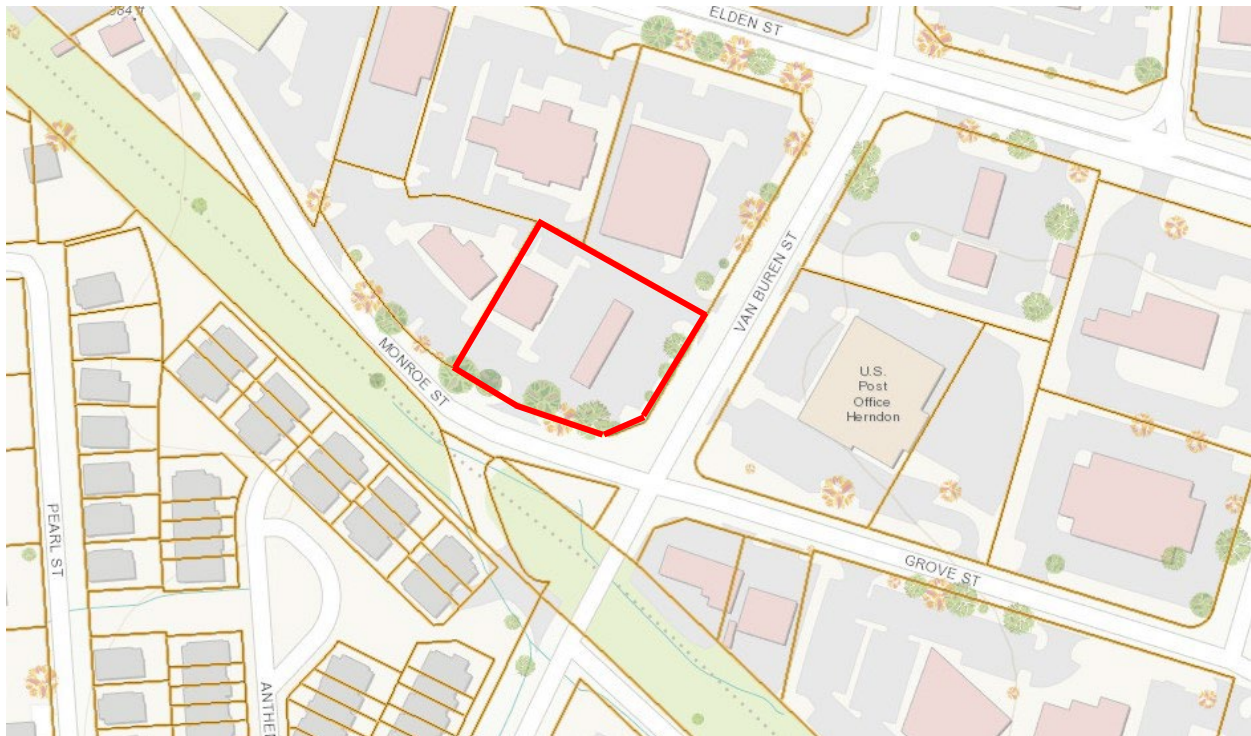
Proposal:

This application is for alterations to an existing monument sign at 700 A Monroe Street. The existing monument sign has a brick masonry base topped with cabinet sign. The sign is divided into two sections, the left portion displaying the branding for 7 Eleven, and the right portion listing gas prices. This application proposes replacing the right-hand portion of the sign which displays gas prices with a digital price display.

Site Description:

700 A Monroe Street is situated at the intersection of Monroe Street and Van Buren Street. The monument sign is situated at the edge of the property line along Van Buren Street. The primary structure on the site is set back from the street with parking and service stations between the structure and the right of way. The building, sign and service station are clad, primarily of brick, with light-colored secondary elements and company branding prominently displayed. The sign sits next to landscaping between the street and the parking lot.

Location Map



Applicable Design Guidance:

- Town Code of Ordinances, Section 58-96 – *Design criteria*

Staff Analysis

1. Staff has found that the proposed signage meets the applicable standards and requirements of the Town of Herndon Zoning Ordinance. The Zoning Ordinance prohibits the use of digital signs for animated, flashing, or frequently changing content. This sign, as proposed, changes infrequently and is generally static.
2. With the findings expressed below, staff believes the proposed signage generally complies with the applicable design criteria within the Town's Architectural Control District, as specified in Section 58-96 of the Town Code of Ordinances.
 - a. The proposed sign alteration does not detract from the existing sign or its integration with the surrounding buildings. It is harmonious in materials, color, and aesthetic.

- b. The proposed sign alteration promotes the surrounding suburban community by updating and modernizing the sign and area.
- c. The proposed sign alteration would be constructed in a way so as to not deteriorate quickly but withstand reasonable weathering.

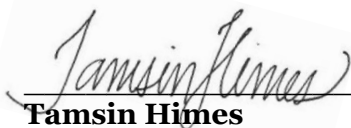
Staff Recommendation:

ARB Alternatives:	1. Resolution to deny the application. 2. Resolution to approve the application as submitted. 3. Resolution to approve with condition(s). 4. The ARB may also continue the review of this item to a future public hearing
Staff Recommendation:	Staff is recommending approval of this sign in accordance with the draft resolution.

Report Attachments

1.	Draft Resolution
2.	Sign Design Documents

Staff Signatures



Tamsin Himes
Lead Planner/Design and Development



Bryce A. Perry
Deputy Director

**TOWN OF HERNDON, VIRGINIA
ARCHITECTURAL REVIEW BOARD**

DRAFT RESOLUTION

July 20, 2022

Resolution- to approve ARB #22-015, alteration to an existing standalone sign on gas located at 700 A Monroe Street, Fairfax County Tax Map Number 0162 02 0200C.

WHEREAS, the applicant has submitted an application to install signage located the above referenced address; and

WHEREAS, the proposed signage complies with the applicable zoning ordinance regulations as specified in the Town of Herndon Zoning Ordinance Article XIV; and

WHEREAS, the Town of Herndon Architectural Review Board has found that the proposed signage complies with the applicable Design Criteria as stated in the Town of Herndon Code of Ordinances Section 58-96; and

WHEREAS, the Town of Herndon Architectural Review Board has held a duly advertised public hearing concerning this application on July 20, 2022.

NOW THEREFORE, BE IT RESOLVED that the Architectural Review Board of the Town of Herndon, Virginia, HEREBY:

Approves ARB #22-015, for signage located at 700 A Monroe Street, Herndon, VA in substantial conformance with the design shown in the case materials reviewed by the ARB.

MONUMENT SIGN

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY
ANY SEPARATE OF OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

SignResource
IDENTITY GROUP
6135 District Blvd - Hayward, CA 94520
800.423.4783 • Fax 323.560.3143
Website: www.signresource.com

VERIFY SIZE OF LEDS WITH PRODUCTION GRAPHICS PRIOR TO ORDERING LED MODULES

Existing to remain.



EXISTING

48.68 SQ.FT.

EXISTING FONT 13"

Fuel price panel for re-face.

Existing to remain.



PROPOSED

48.68 SQ.FT.

Fuel price panel for re-face.



23.70 SQ.FT.

REPLACEMENT FACES

18" WHITE PWM TRACK LED
WINDOW SIZE: 19 7/8" x 47"
FOOTPRINT SIZE: 21 3/8" x 48 7/8"
(INCLUDE BLACK BEHIND LEDS)

SCALE 1:20

SITE #: 10653

SITE ADDRESS:

701 VANBUREN ST
Herndon, VA 23452

PAGE # 1 OF 1

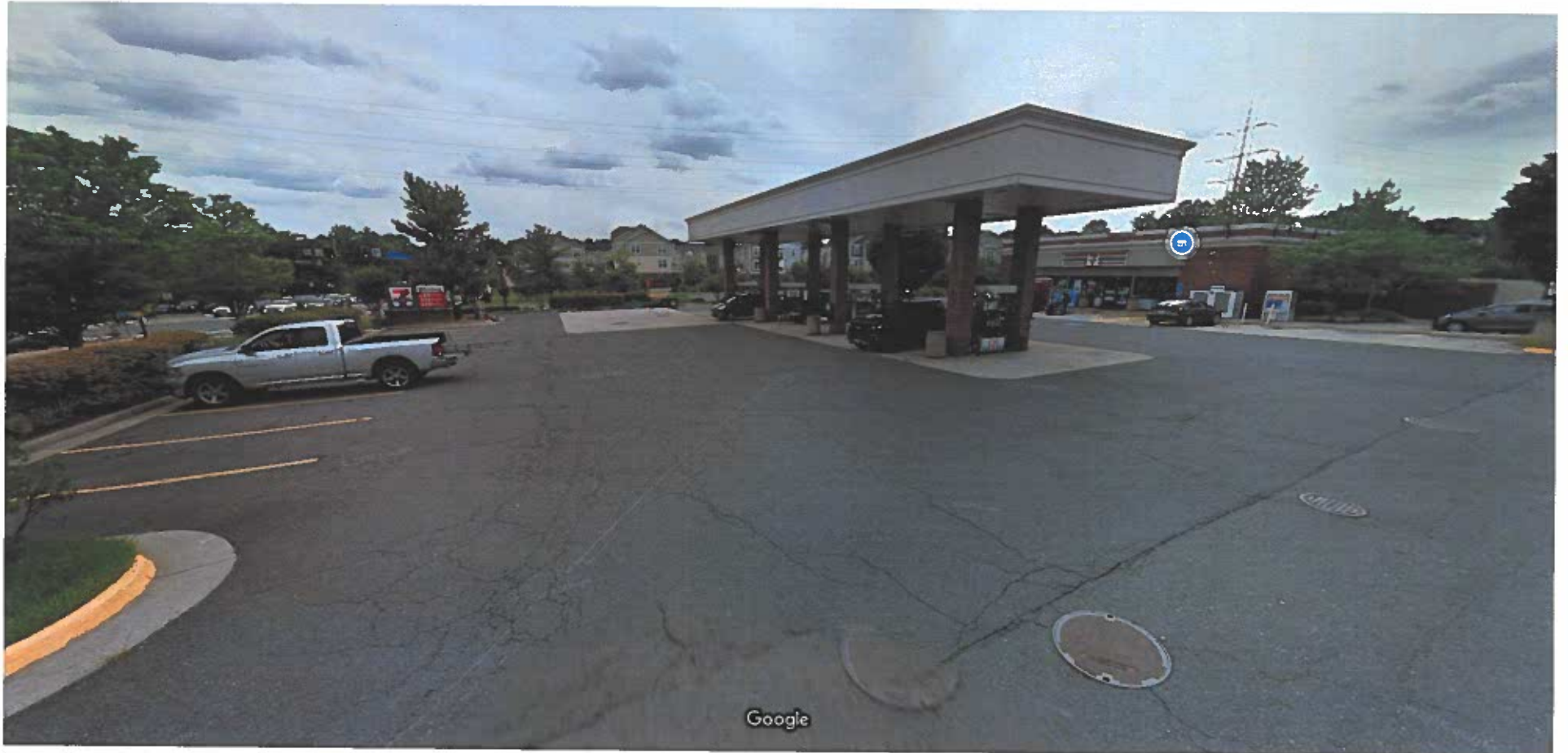
CLEAN/POWERWASH - PAINT CABINETS AND POLES IF NEEDED
SR APPROVED SURVEY REQUIRED

RENDERING

7-11_10653 - RENDERING_A







Google Maps Herndon, Virginia



Google

Street View - Jun 2018



Image capture: Jun 2018 © 2022 Google

TOWN OF
Herndon
VIRGINIA
MEMORANDUM

To: Chair Blaker-Glass & Members of the Architectural Review Board

From: Tamsin Himes, Lead Planner/Design and Development 
Bryce A Perry, Deputy Director of Community Development 

Date: July 1, 2022

Subject: Pre-application ARB Discussion Item, DP #21-01, 555 Herndon Parkway

Summary

This memorandum provides a pre-application review for the proposed development at 555 Herndon Parkway. On April 19, 2019, the Town Council approved Development Plan DP #17-01, a proposed development for this property. The applicant has submitted a new development proposal for the property that, if approved, would supersede DP #17-01. The Architectural Review Board (ARB) provided preliminary review of the previous versions of this development prior to Town Council action.

As required by the zoning ordinance, the ARB is tasked with a preliminary review of the architectural design of any Herndon Transit-Oriented Core (HTOC) Development Plan prior to Planning Commission consideration of the proposed development. HTOC Development Plan building and landscape designs must be evaluated using the Herndon Transit Oriented Core Architectural and Urban Design Guidelines (the Guidelines). The Guidelines provide the ARB with guidance for properties within the HTOC to augment the general Architectural Control District Design Criteria found in Section 58-96 of the Town Code. Following ARB review, the ARB will forward a report with its findings to the Planning Commission for consideration, and subsequently the Town Council during their review of the development proposal. The ARB will review the formal ARB case following any site plan approvals of the development.

Background

This project is located within the Herndon Transit-Oriented Core (HTOC), a strategic and critical location along the Dulles Toll Road and within 0.09 miles of the future Herndon Metrorail Station. The future development will create an entire block within the HTOC, extending from frontage along the Herndon Parkway to frontage along the Dulles Toll Road. Two private streets with public access will run along the western and eastern edge of the block. Another street, along the southern edge of the block, will run parallel to the toll road. The three private street are referred to as the “loop road.” This system of private streets with public access is an element of the Urban Design and Architectural Guidelines for the HTOC.

A central courtyard with pedestrian access from the Herndon Parkway sidewalk fronts Herndon Parkway, while vehicle access into the courtyard is from the western access road. Several stories of the residential structure bridge over the vehicle access.

Past reviews of this project identified concerns regarding massing, retaining pedestrian scale and active use areas, stark open space design choices, and garage façade treatment. Following the past reviews by the ARB there have been major changes to the development and its design, including changes to the site plan, building form and massing, and cladding elements color schemes.

Architecture and Design Overview

The development is mixed use with space divided into structured parking, office, residential, and potential retail. It should be noted that it is unlikely for the tower and residential structures to be built simultaneously. The parking for the residential units is wrapped on the north, east and west sides by residential structures. The south façade of the residential parking will be screened by the office building. The office building parking will constitute six stories above the office building's lobby, as well as extend over the residential parking garage and below the office building. The applicant has not provided elevations of parking garage screening at different phases of construction.

North Elevation

The north façade, along Herndon Parkway, provides pedestrian access and open space between two wings of the development. These two wings are midrise structures and primarily residential, but with potential retail spaces on the ground floor of the west wing. The north elevation displays some open space and retail and is the primary pedestrian access and interaction point in the development. The open space recedes into the block with the two wings of the development on either side. The design, materials and color scheme of this façade is nearly identical to other facades (as described below) -- some variation in materials and fenestration, but uniform in most respects. The ground floor near the retail space includes cylindrical support columns under which is pedestrian interactive open space. The storefronts are described only as "aluminum storefront" and a series of canopies over the storefront windows is shown. The internal courtyard area includes landscaping and vehicle access.

East Elevation

The east elevations consist of five stories of residential space. The design and use of much of the first floor is unclear given the size of the provided drawings. The ARB may wish to ask for clarification regarding the uses of this area. The façade is simple, modern, and stark using blank surfaces and regular flat window fenestration. The façade plain is broken up using alternating materials and a series of recesses and protruding blocks of windows and occasional recessed residential balconies. Façade materials include cement board, architectural precast concrete, aluminum metal panel, metal siding with

woodgrain pattern, masonry and stone veneer, and composite paneling. These materials vary between shades of white and gray.

At the south end of the eastern elevation transitions from the seven-story residential form to the office tower. A garage entrance, which also provides access to the covered entry of the office building lobby, is located along the ground floor façade of the southernmost portion of the residential building. A landscape strip divides the entrance drive from the loop road. Cylindrical support columns, which appear to be like those associated with the retail portion of the Herndon Parkway elevation, support the overhang of the office building. Six floors of parking garage are located above the lobby of the office building. The parking garage façade is flush with the floors above it, and the exterior of the garage is described simply as metal mesh in aluminum frame. Above the parking garage the façade of the office building is smooth glazing curtain walls with occasional rectangular protrusions which display an alternative glazing pattern.

South Elevation

The south elevation is dominated by the high-rise garage and office tower building located at the southeast corner of the building. There are also residential units along this façade to the west of the garage and office tower. The ground floor features service access to the office building and garage entrances to the parking area below the office space. The residential portion is similar to the east elevation in color scheme, fenestration pattern and materials, while the tower consists of primarily glazing and screening, aluminum window curtain walls, and architectural concrete or aluminum metal paneling. Again, metal mesh is used to screen the elevated parking levels, which the elevations indicate are visible behind the mesh. The tower façade design is broken by rectangular changes in glazing pattern, but generally there is little variation in the façade treatment.

West Elevation

Primarily residential, the west elevation does include potential retail space at the far north corner of the ground floor. This portion is nearest to the Herndon Parkway and the pedestrian open space. The potential retail space includes aluminum storefronts and canopies. The remainder of the ground floor appears to feature a loading dock, and some pedestrian access and the vehicle access to the courtyard. Like the other residential portions of the development, the façade is primarily flat with regular window openings, broken by occasional rows of recessed residential balconies and protruding portions of the façade. The color scheme is gray to white. Materials on this façade also include composite paneling, cement board, metal siding with wood grain pattern, masonry and stone veneer, and aluminum metal panel.

Staff Analysis

Tower

Section C of the Urban Design and Architectural Guidelines emphasizes the need for towers to have an articulated base, middle and top. As proposed, this tower does not meet that guideline. The garage access on the ground floor could be considered a base, however, it is not clearly articulated. It is difficult to review completely for the aesthetics of this portion of the design because there are limitations in the size and detail of the renderings provided. One way this is evident is that the renderings do not show how the metal mesh screening the garage portion of the tower interacts with the glazing above it. The board may wish to discuss this with the applicant. There may be a way to address the articulation of a base, middle, and top of the building using the divisions of parking and interior spaces that exist in the building already.

Residential

Staff believes that the overall design of the residential facades could be modified to more closely adhere to the guidelines by using more variation in the façade treatment. The variation that exists as proposed is minimal and color and material changes are not organized in a visually satisfactory manor but give the impression of arbitrary differentiation between areas of the façade. The Urban Design and Architectural Guidelines specify that midrise developments should be articulated to resemble an ensemble of smaller buildings. This indicates a level of order that the current design does not display. Variation in materials as proposed is important but the variation could be enhanced with a more varied color scheme and organized system of architectural divisions. Staff believes that the articulation of a cap or finish on the roofline of the residential portions may also provide needed additional articulation.

Parking

The Guidelines state that ideally, parking should be provided behind a liner of active uses or in a standalone garage. As proposed, some parking is situated underground, and a portion of the parking is curtained on three sides by residential space. The parking levels located above the lobby of the office building are visible. The current description of the screening is limited to “metal mesh,” and the proposed elevations indicate a significant level of transparency making the parking visible. It should be noted that a mesh product that provides a level of daylight opaqueness quickly loses its ability to obscure the parking levels at night when the garage is internally lit. As mentioned previously, the parking area screening and how it interacts with the glazing of the tower facade is unclear.

General analysis

As this is a preliminary review and the documents are not complete or detailed, the review by the Board and staff is limited. When this project comes before the ARB as an official application, the applicant will be required to submit more detailed drawings and information regarding the following:

- Open space and pedestrian access points
- Storefront systems and retail spaces

- Specific materials information
- Detailed, high-quality renderings of facades showing the interaction of materials being used
- Design solutions for clarifying the base, middle and upper portions of the tower building
- Design alterations for the residential facades to address the flatness and monochromatic color scheme

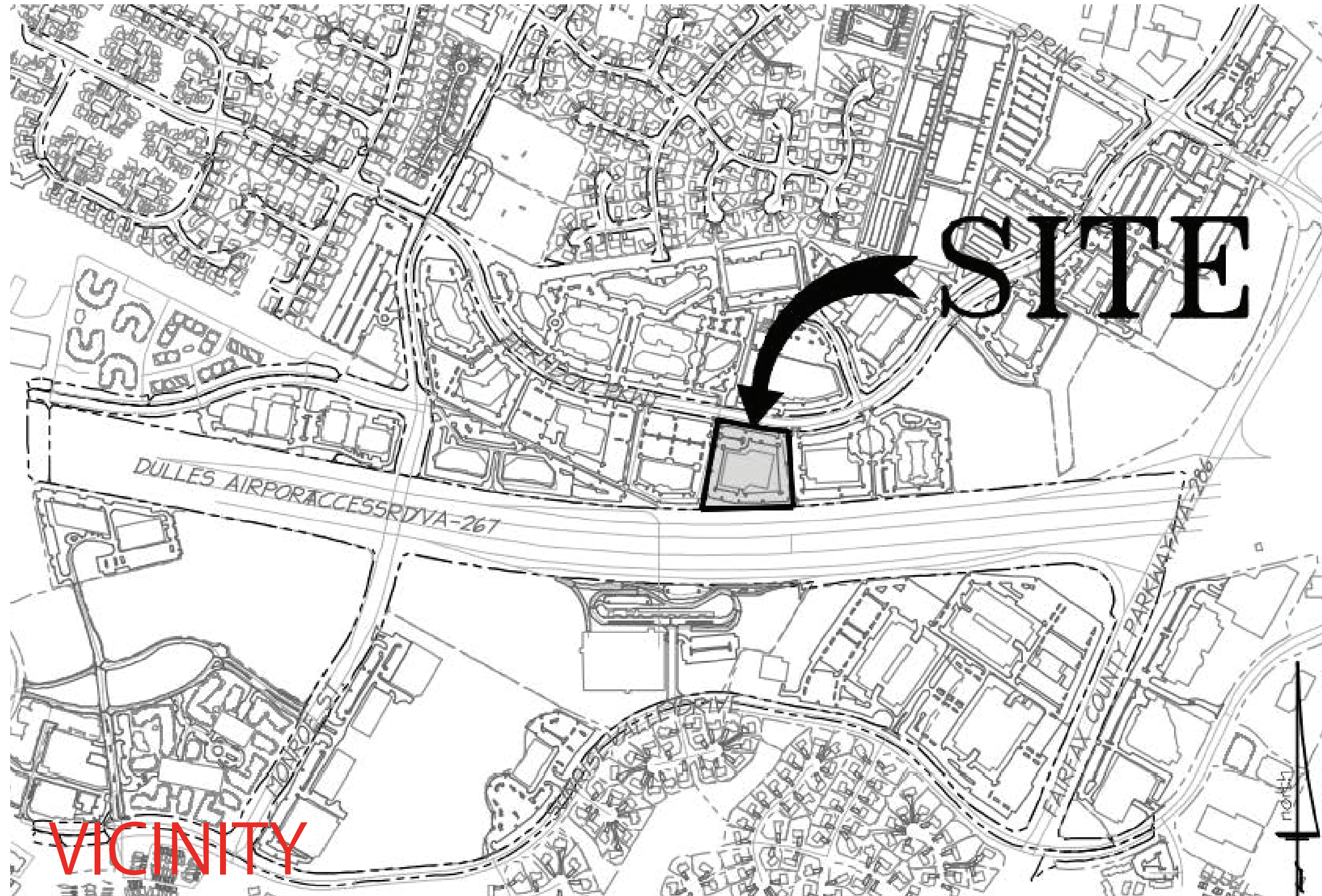
Overall, staff is concerned that the façade articulation, style, and materials will become outdated very quickly. This concern is greatest regarding the residential portions of the development. The style and materials reflect residential architecture that has been promulgated across the United States for approximately a decade. Not only is the concern one of stylistic longevity, but also sense of place. With this style and associated materials being so ubiquitous within the multifamily industry, the sense of place called for in the town's zoning ordinance and the adopted Herndon Metrorail Area Plan is not being met. A possible option for addressing this concern could be a heavier emphasis on more natural cladding materials such as brick or other masonry as well as glass and steel and minimizing the flatness of the façade. While staff acknowledges that the development is purposefully modern, especially the design of the tower with its use of glazed curtain walls, and that there is a need for harmony of design throughout the development, a greater emphasis on more natural materials and human scale can be incorporated into high quality modernistic design.

Garage screening is of course an important issue that has been previously raised regarding HTOC development. As mentioned above, the current elevations and material description indicate that the levels of parking above the office building lobby will be readily apparent. In addition, if the office building is not built at the same time as the residential, the south façade of the residential parking garage will be visible, and screening will be needed.

Sheets 19.0 through 23.0 of the applicant's submittal provide images of history and heritage ideas, outdoor furnishing, pavement details, recreational amenities, and green infrastructure. It should be noted that these are only conceptual in nature. The staff believes that while some of these images are appropriate for development in the HTOC, others are less so.

Attachment:

1. Development renderings

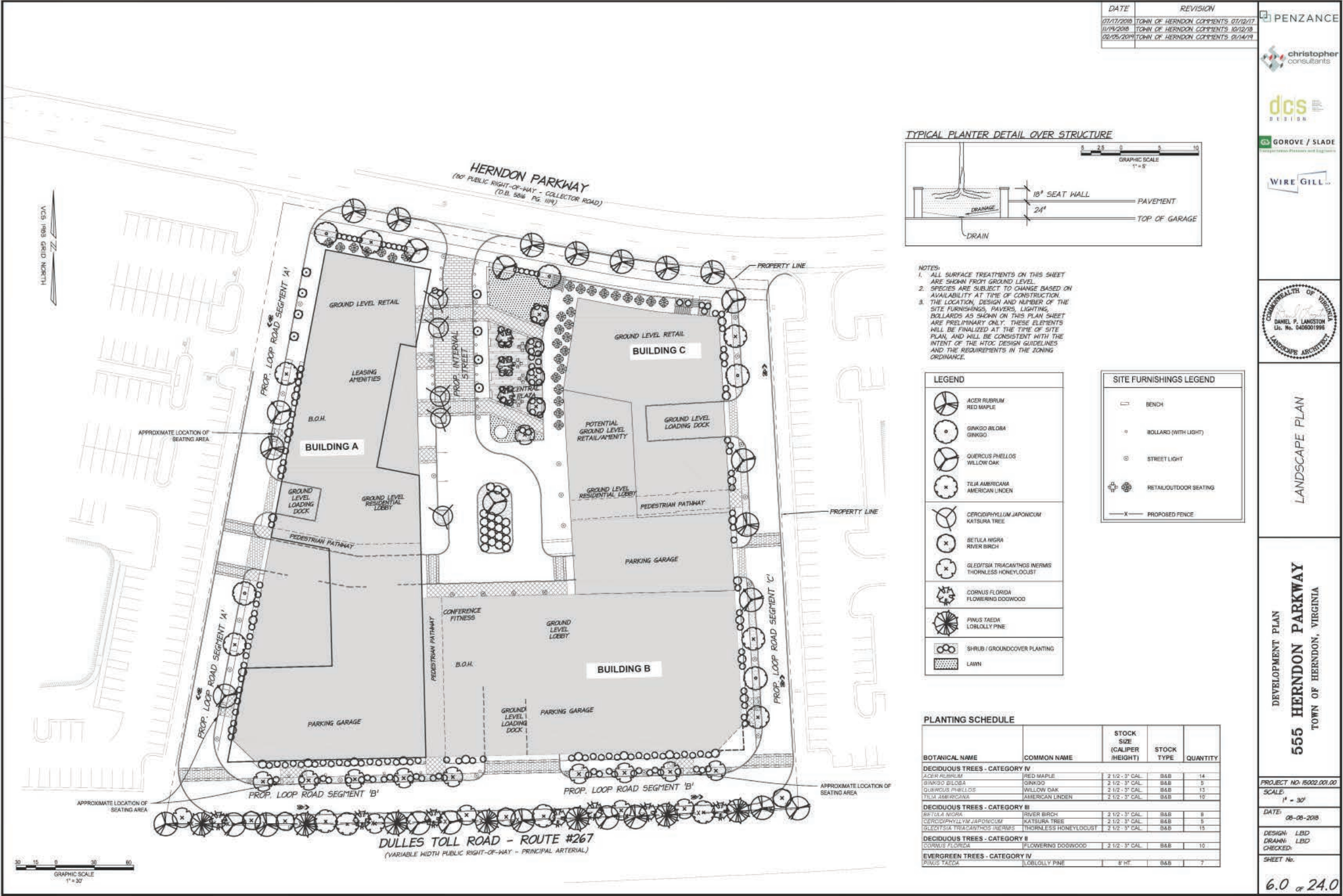


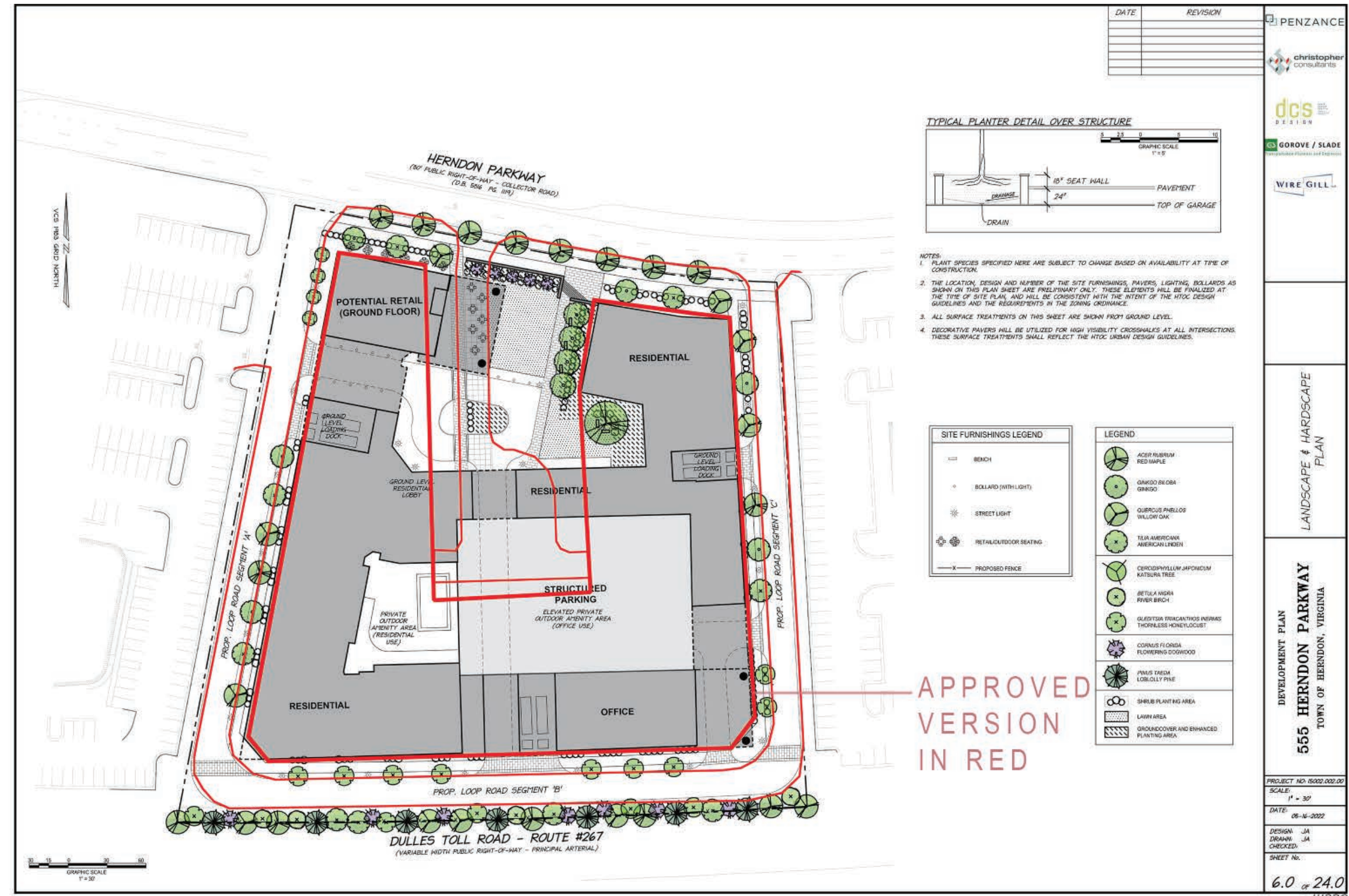
VICINITY

MIXED USE DEVELOPMENT

| 555 HERNDON PARKWAY |

HERNDON, VIRGINIA





APPROVED SITE PLAN COMPARED TO PROPOSED SITE PLAN



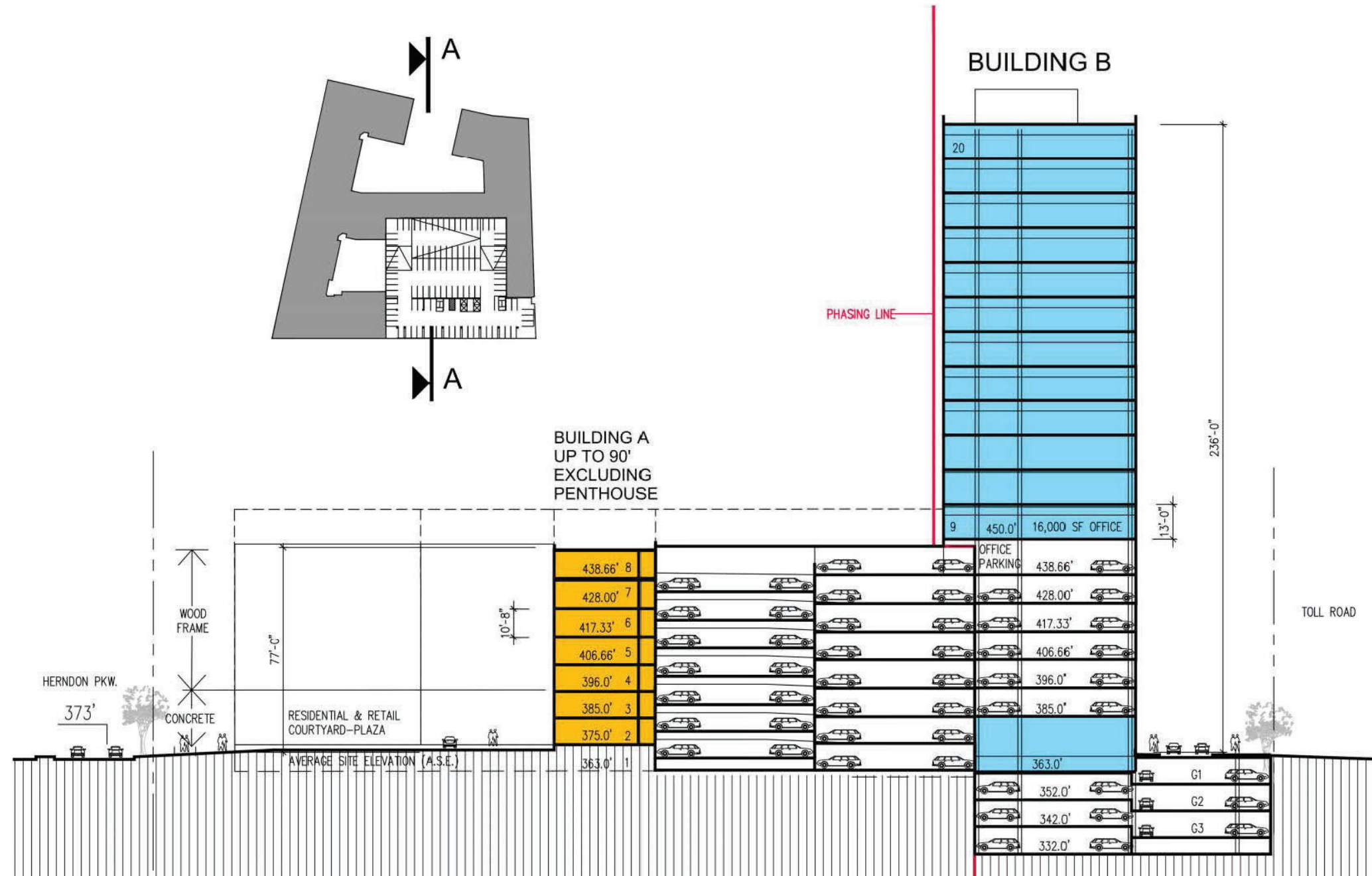


FLOOR PLANS

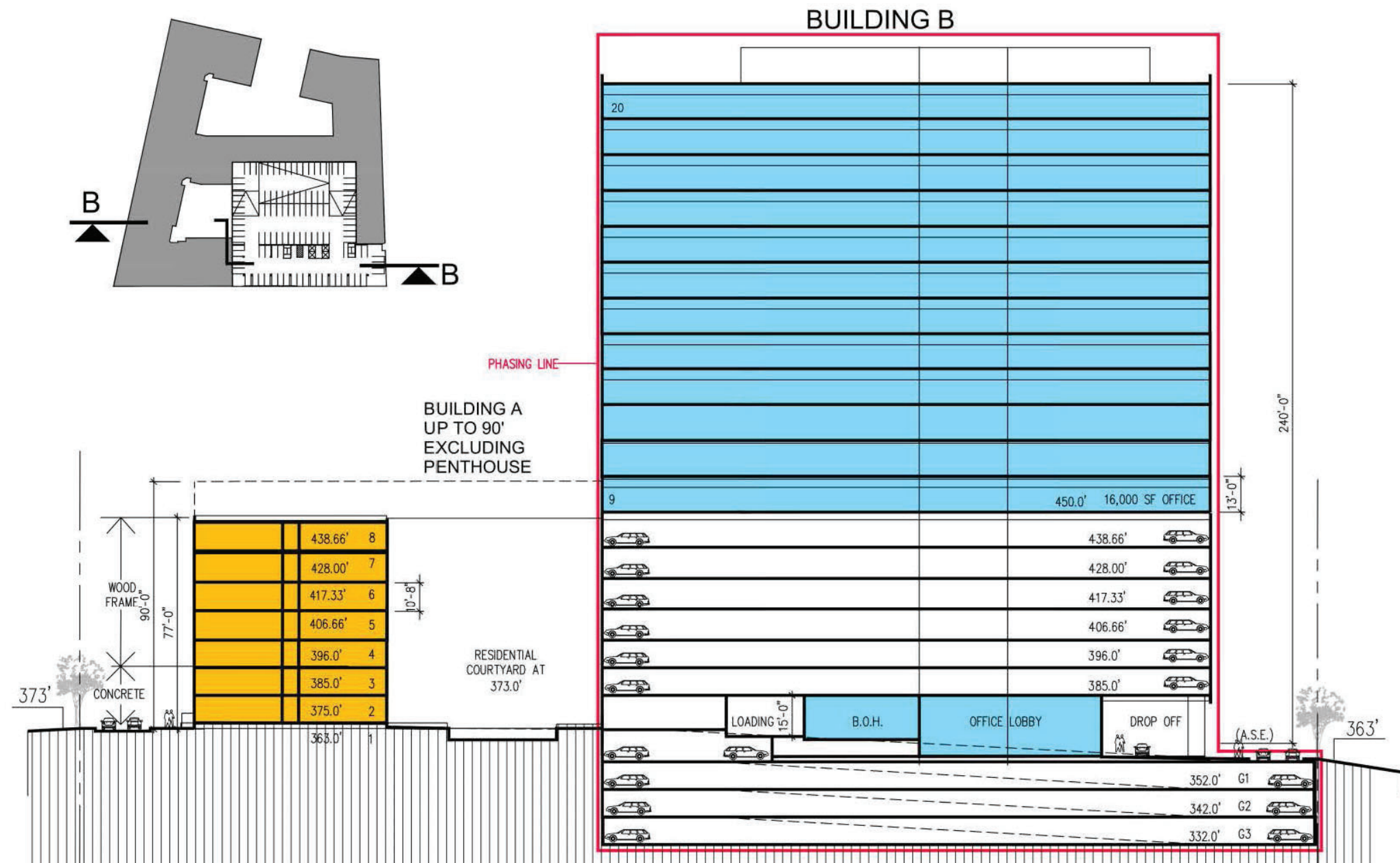
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555 HERNDON PARKWAY |

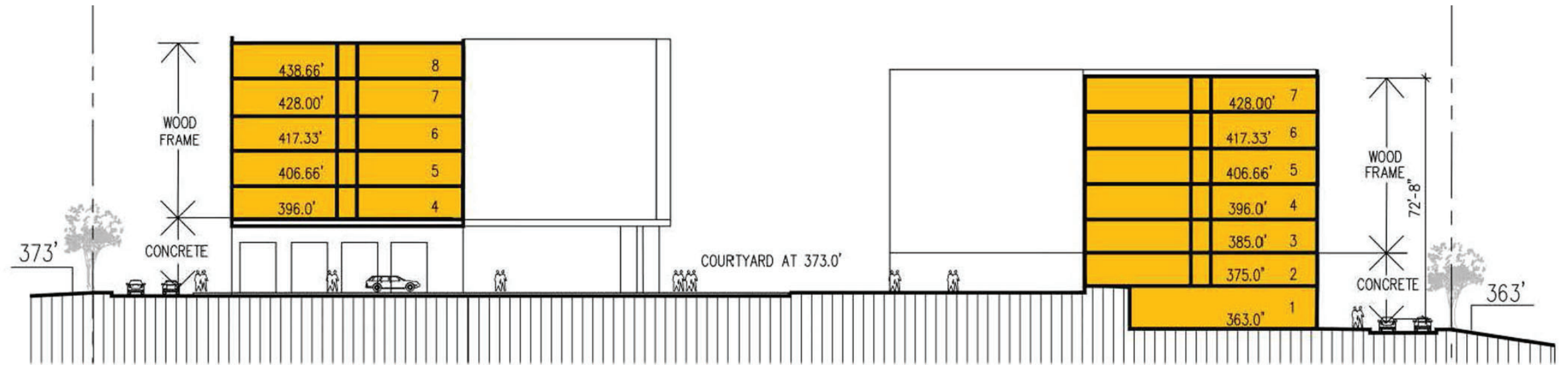
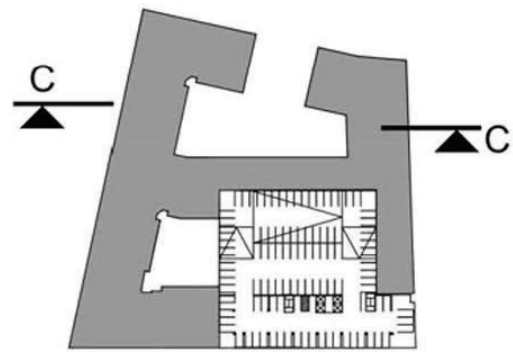
HERNDON, VIRGINIA



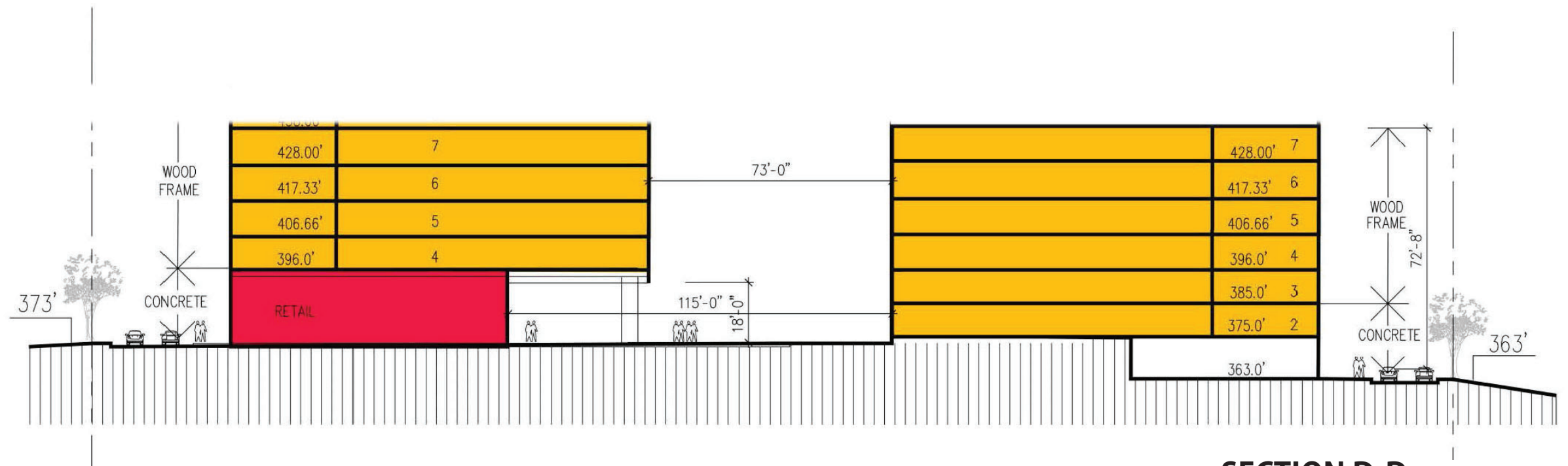
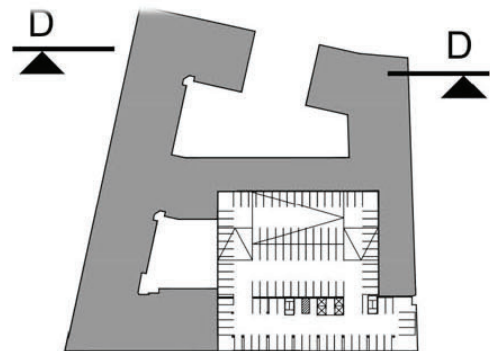
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SECTION B-B

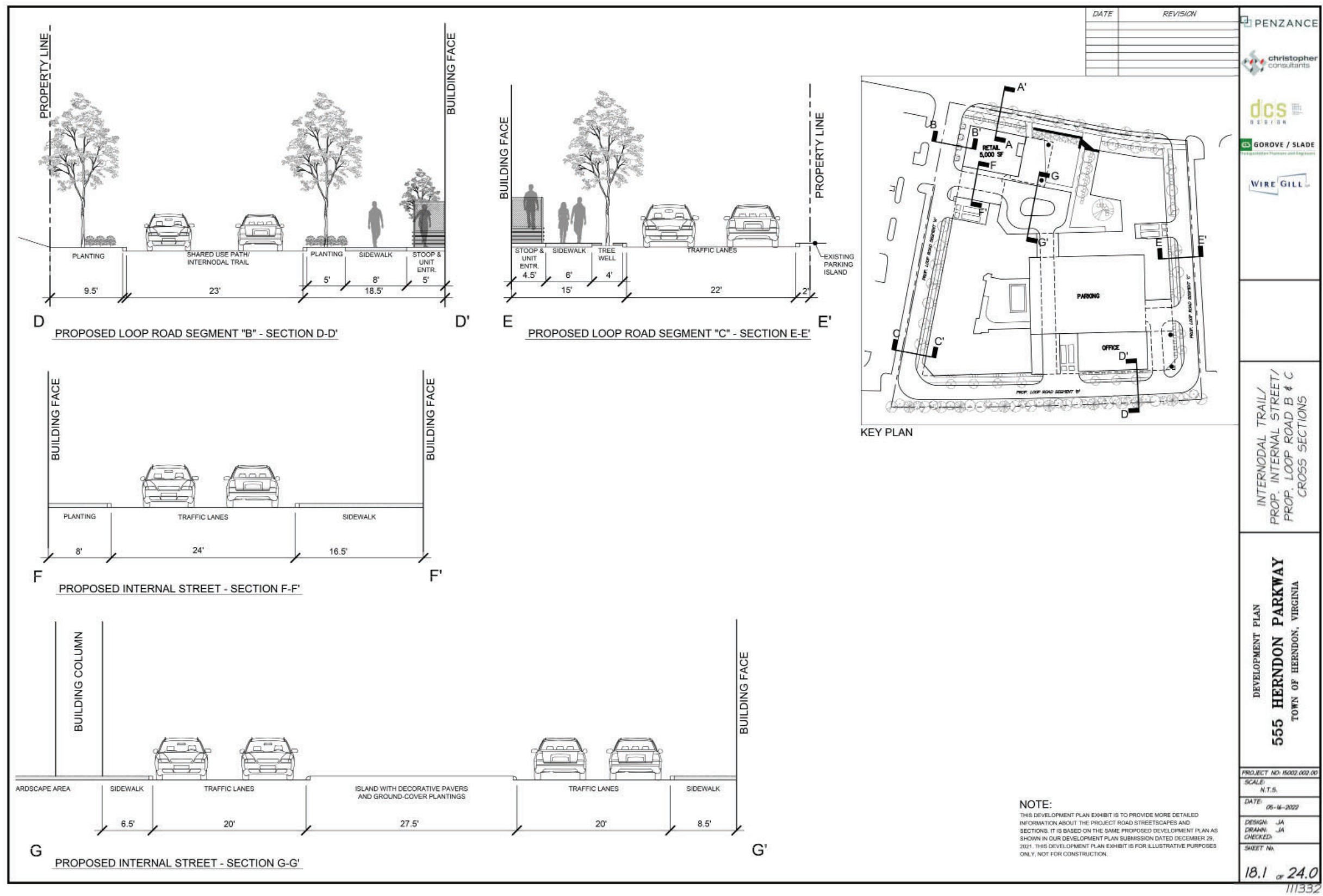


SECTION C-C



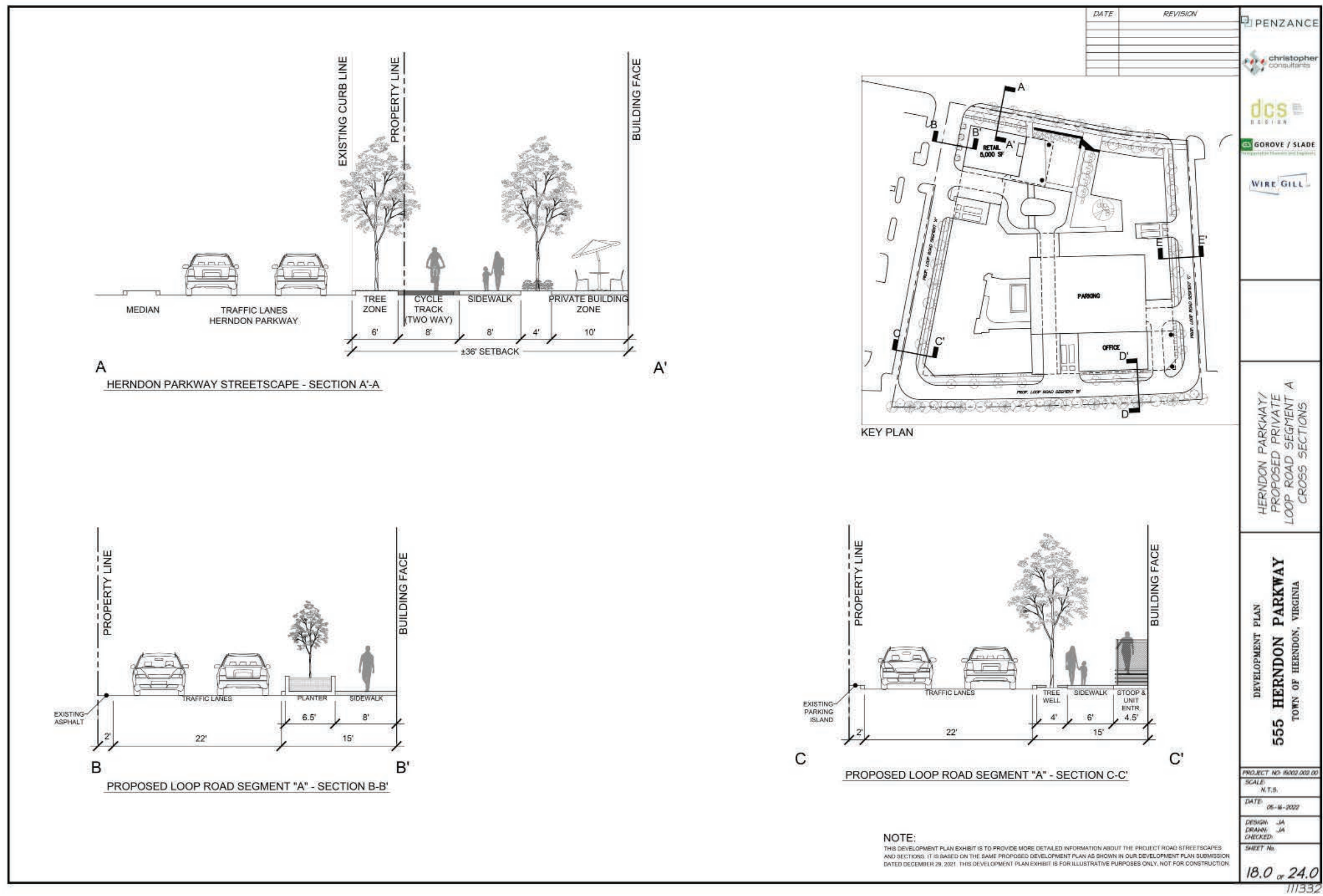
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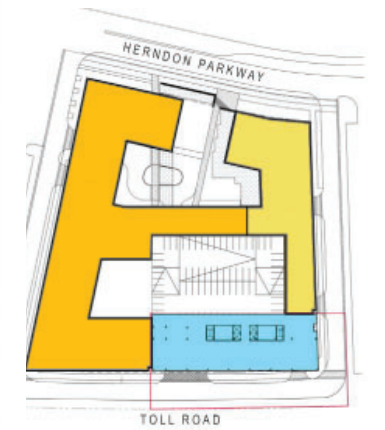
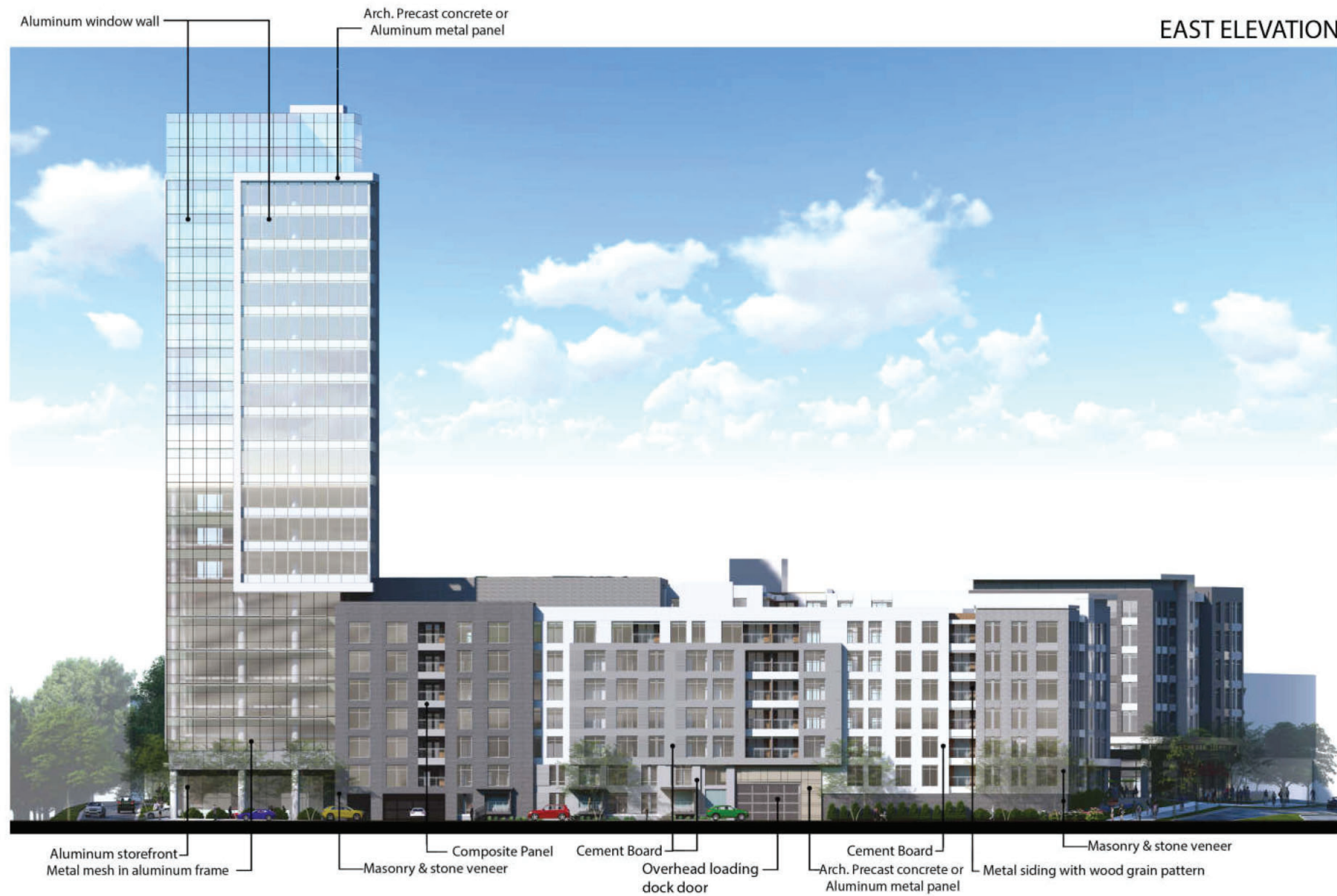
M:\JF1318490_01\01_Design\Jan\2022-07-06-ARB presentation\PRESENTATIO IN TITLES\ 555 HERNDON PARKWAY PRESENTATION.indd Copyright ©2022, Davis Carter Scott | DCS Design | All rights reserved.



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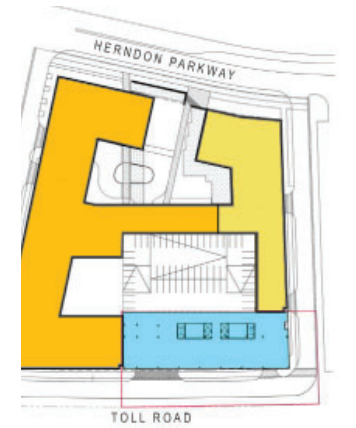
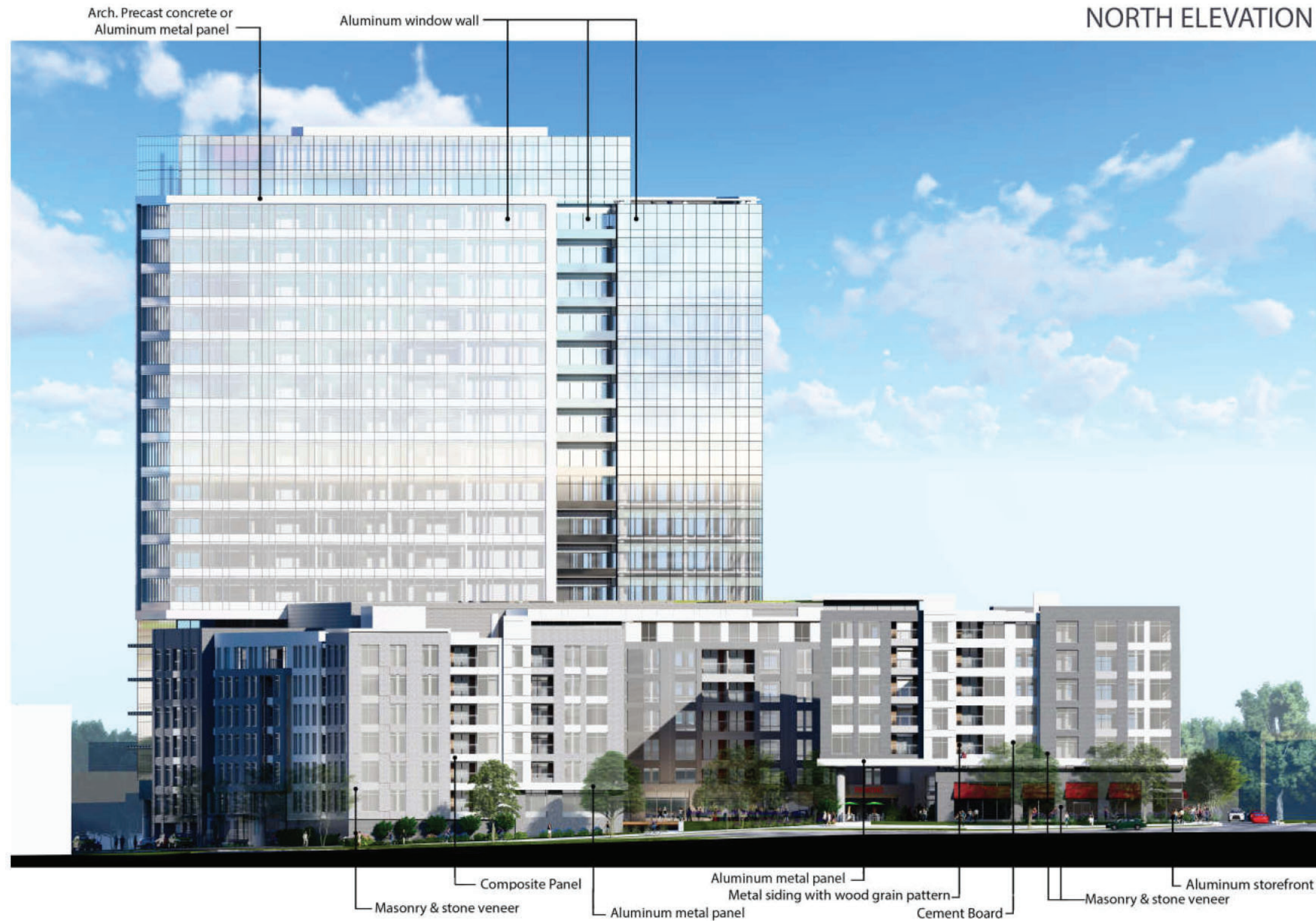
NOTE: THESE IMAGES ARE CONCEPTUAL AND SUBJECT TO CHANGE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT PLANS AND PROFFERS. BUILDING MATERIALS AND COLORS ARE SUBJECT TO CHANGE, IN ACCORDANCE WITH FINAL ARB APPROVAL.

ELEVATION

MIXED USE DEVELOPMENT

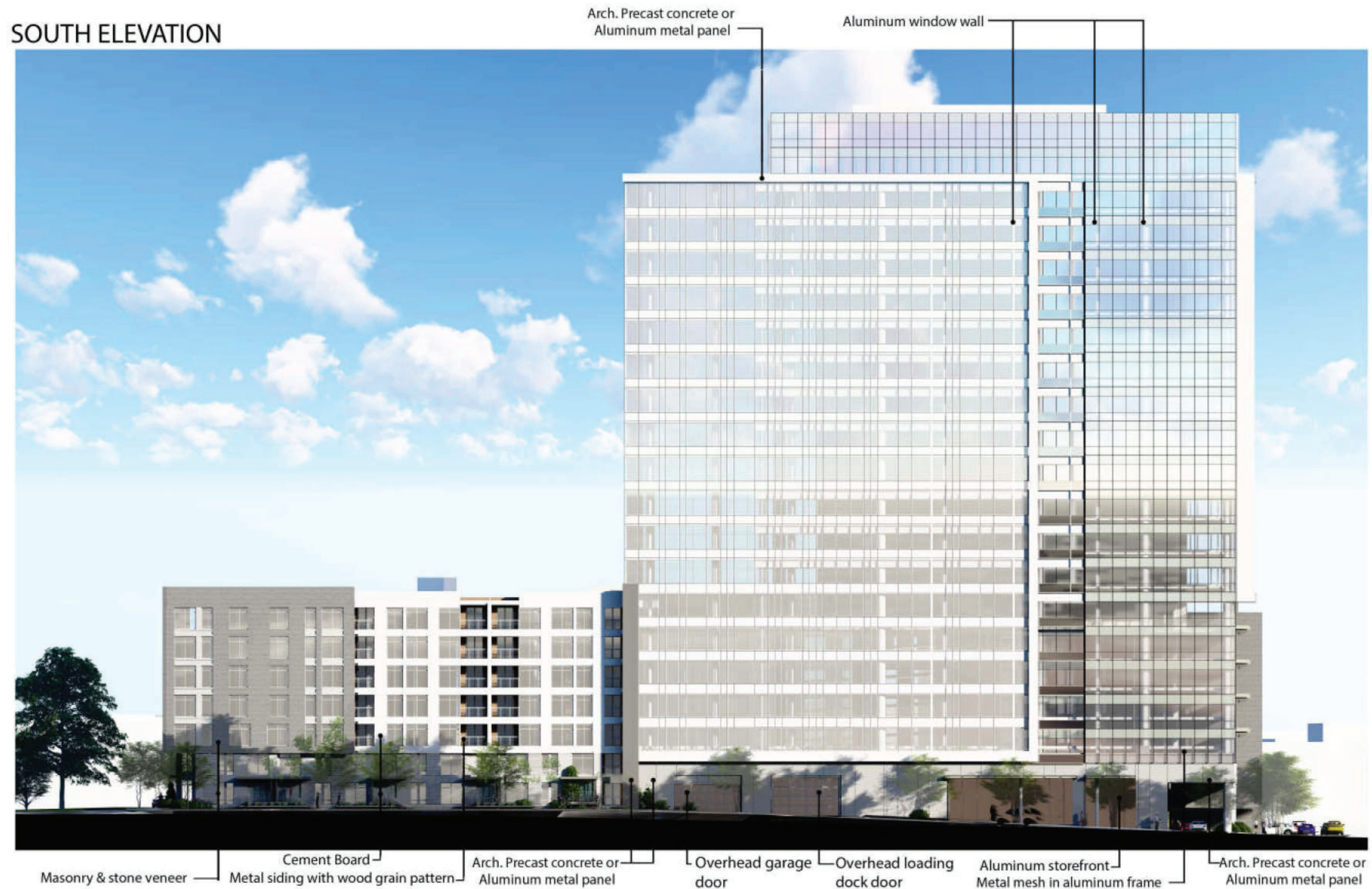
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HERNDON, VIRGINIA



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ELEVATION



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ELEVATION

MIXED USE DEVELOPMENT

555 HERNDON PARKWAY |

HERNDON, VIRGINIA

WEST ELEVATION



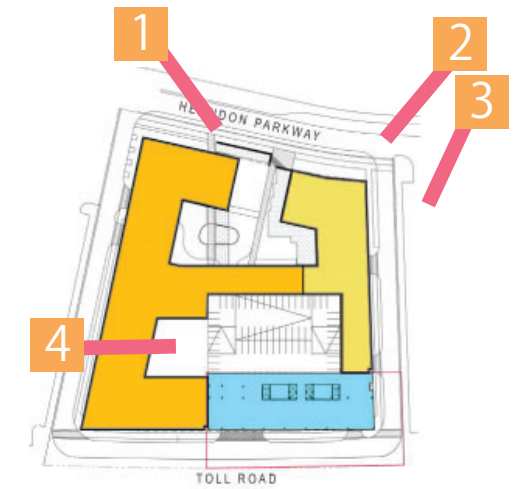
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ELEVATION

MIXED USE DEVELOPMENT

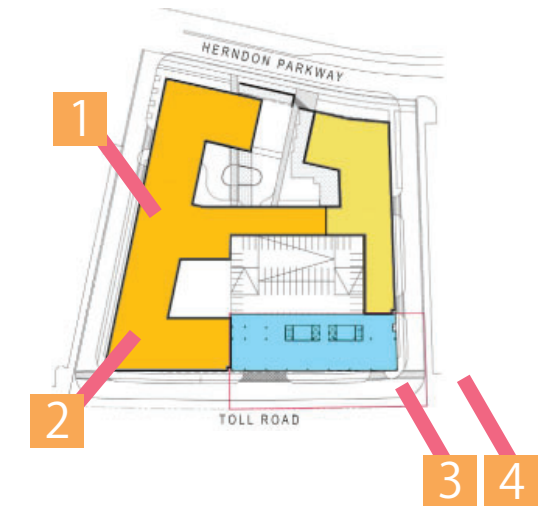
555 HERNDON PARKWAY |

HERNDON, VIRGINIA



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CONCEPT VIEWS



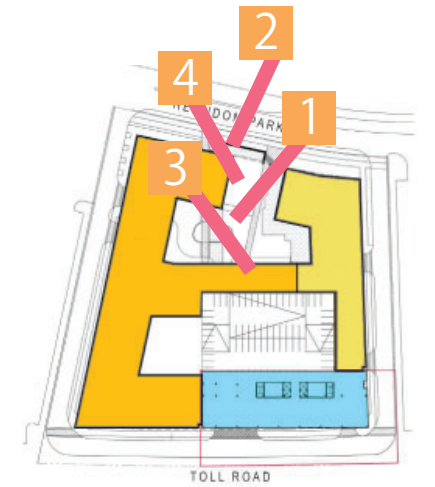
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CONCEPT VIEWS

MIXED USE DEVELOPMENT |

555 HERNDON PARKWAY |

HERNDON, VIRGINIA



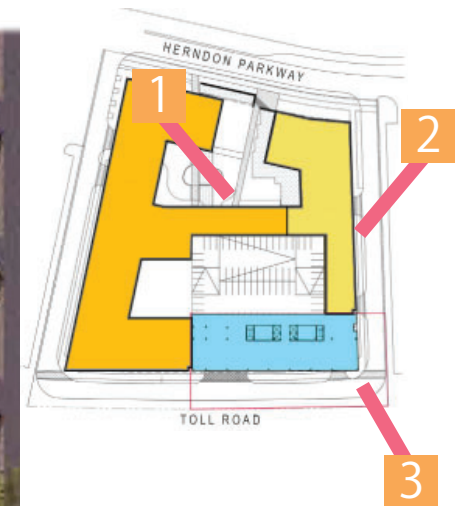
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CONCEPT VIEWS

MIXED USE DEVELOPMENT |

555 HERNDON PARKWAY |

HERNDON, VIRGINIA



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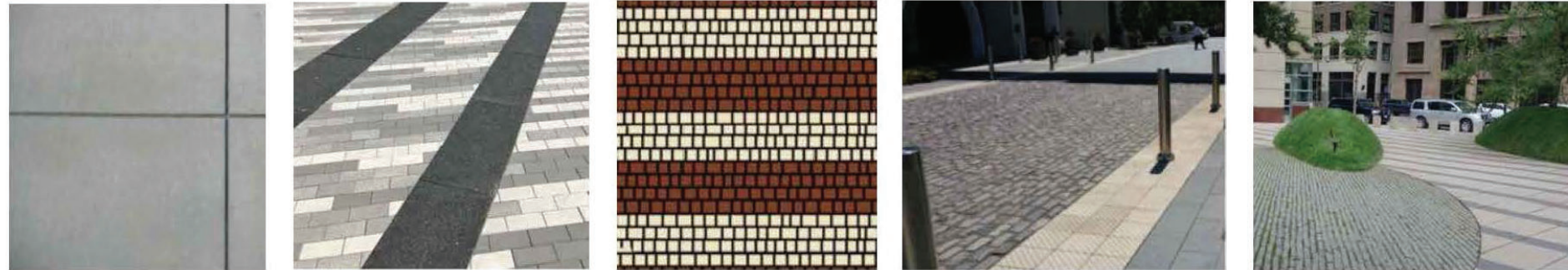
CONCEPT VIEWS



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CONCEPT VIEWS

Decorative Paving Examples



Bench Examples



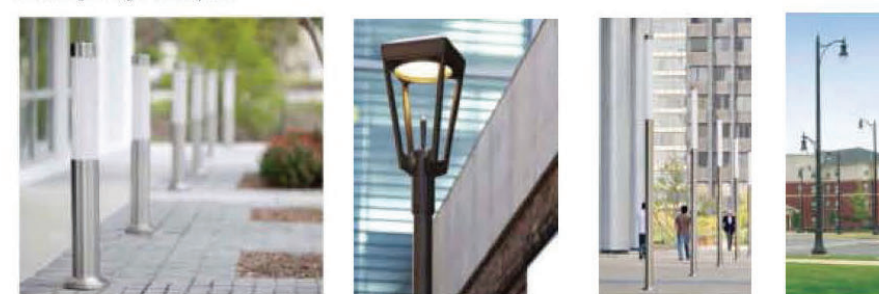
Waste Receptacle Examples



Bicycle Rack Examples

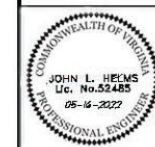


Site Lighting Examples



THIS SHEET FOR ILLUSTRATIVE PURPOSES ONLY.
DESIGNS AND FEATURES ARE SUBJECT ARB REVIEW.

DATE	REVISION



ILLUSTRATIVE DESIGN
AMENITIES

DEVELOPMENT PLAN
555 HERNDON PARKWAY
TOWN OF HERNDON, VIRGINIA

PROJECT NO: 150022.002.00

SCALE: AS NOTED

DATE: 06-16-2022

DESIGN: JTR

DRAWN: JTR

CHECKED:

SHEET No.

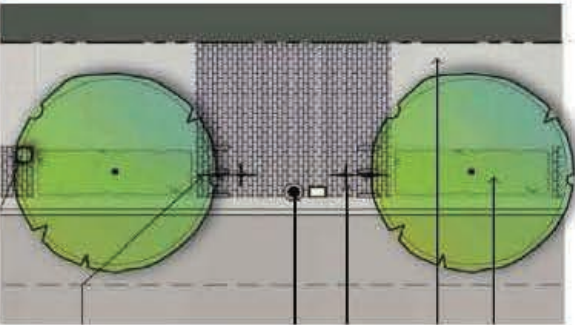
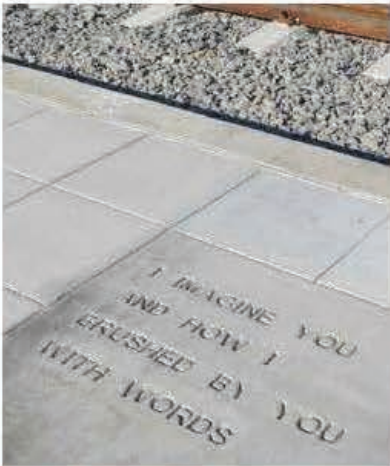
19.0 OF 24.0

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BELOW IS A MENU OF POTENTIAL OPTIONS TO REINFORCE THE SITE'S HERNDON IDENTITY, WHICH MAY BE CONSIDERED AND ARE SUBJECT TO REVIEW AND APPROVAL BY THE ARB.

DATE	REVISION

Sidewalk and Streetscape Design



Incorporating streetscape design consistent with HTOC Design Guidelines and specific to Herndon

Signage and Wayfinding



Well-designed wayfinding and other signage that coordinates with the Town's existing program

Focal Points

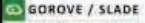


Creating focal points within the Site unique to Herndon.

Decorative Building Elements



Incorporating design elements that tie into the Town's history and heritage, including temporary screening



HERNDON IDENTITY/
PLACE MAKING

DEVELOPMENT PLAN
555 HERNDON PARKWAY
TOWN OF HERNDON, VIRGINIA

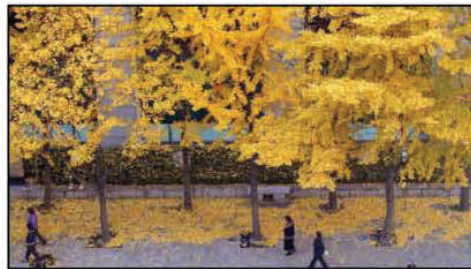
PROJECT: NEW MOOD.002.00
SCALE: AS NOTED
DATE: 06-16-2022
DESIGN: JA
DRAWN: JA
CHECKED:
SHEET No. 19.1 OF 24.0

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DESIGNS AND FEATURES ARE SUBJECT ARB REVIEW.

Retail Sidewalk - Sidewalk goes all the way to the building to offer maximum tenant flexibility. Colorful planters containing fastigate trees and a mix of perennials and shrubs between the building and sidewalk circulation space help reduce the scale of the building. The fastigate trees provide a year-round architectural feature. The sidewalk will also better serve future parallel parking on this block. Trees are not able to be placed along the curb line due to a shallow storm water pipe in this location.



Site Elements - Areas along the perimeter road such as this marked by decorative pavers offer an opportunity for site furnishings like benches, planters, bike racks, and trash receptacles creating small "garden rooms" around the property.



Tree Wells - Street trees provided in tree wells against the curb-line. The sidewalk is placed against the building. This allows for larger-canopy street trees.

South Side Plantings - More naturalized and varied plantings to provide buffer from highway.



Herndon Parkway - To be planted per the revised Streetscape Manual with a mix of trees in planting strips.



East Sidewalk - Larger shade trees help reduce the scale of the architecture along this blank facade frontage. Grade is sloping and lower than the Finished Floor Elevation of the retail floor.

South Sidewalk (Sugarland Run Trail Pedestrian Connection) - Medium sized shade trees, shrubs, and attractive street lighting that compliments the proposed architecture helps to enhance this pedestrian travel way.



DATE	REVISION



ILLUSTRATIVE
LANDSCAPE -
STREETSCAPE

DEVELOPMENT PLAN
555 HERNDON PARKWAY
TOWN OF HERNDON, VIRGINIA

PROJECT NO: 15022.002.00
SCALE: AS NOTED
DATE: 05-16-2022
DESIGN: JA
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SHEET No: **20.0** of **24.0**

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Feature Area - Pedestrian inaccessible area that can be used as an area for public art, large architectural planter, or vertical focal or themed element can be located here.

Retail Streetscape - Adequate width for circulation and dedicated areas for active space where street furniture will be located. Design of which will be based on final architectural design and door placement.



Lawn Panel - Large non-hardscaped open areas that can be programmed or non-programmed space, usually lacking desired amenity area. Turf can be natural or artificial depending on the final engineering of the structure beneath.

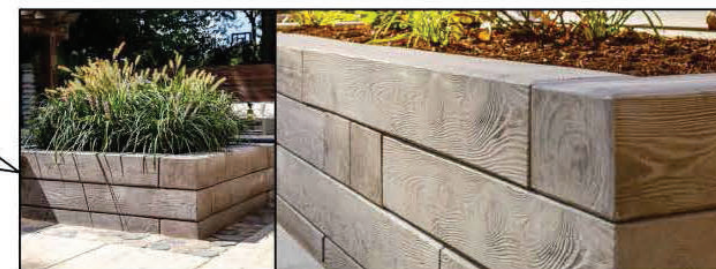
Plaza Overall Concept - Formal Design/Informal Materials:
A modern design language is juxtaposed with traditional materials to create an organized, functional, and accessible plaza with a more comfortable and softer human feel.



Softscape - Softer, and a more 'residential' plant palette in a less formal planting arrangement contrasts nicely with the more geometric and regimented hardscape and architecture. Helps to bring a human scale to the plaza.



Planters - Wood grain concrete will match the seat/planter walls in the main section of the plaza. Texture matched wood used on architectural concepts and provides a "softer" and "casual" feel. Composite planters can accent entrances and bring color to facades around the remainder of the development in lieu of in-grade planters.



Seat/Planter Wall - Wood grain concrete product to hold bermed soil of planting beds and provide casual seating in addition to benches. Texture matched wood used on architectural concepts and provides a "softer" and "casual" feel. Could also be a board-form concrete or simulated stone.



Paver Inlays - Accent paving in texture and colors to match or contrast with the architecture. Options include wood-grained plank pavers, outdoor porcelain tile, or pavers slabs such as the above pictured flamed bluestone.



DATE	REVISION

 PENZANCE

 christopher consultants

 dcs DESIGN

 GOROVE / SLADE
Landscape Planners and Engineers

 WIRE GILL



ILLUSTRATIVE
LANDSCAPE - PLAZA

DEVELOPMENT PLAN
555 HERNDON PARKWAY
TOWN OF HERNDON, VIRGINIA

PROJECT NO: 15002.002.00
SCALE: AS NOTED
DATE: 05-16-2022
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DATE	REVISION

 PENZANCE

 christopher consultants

 dcs DESIGN

 GOROVE / SLADE

 WIRE GILL



ON-PODIUM
PRIVATE AMENITIES

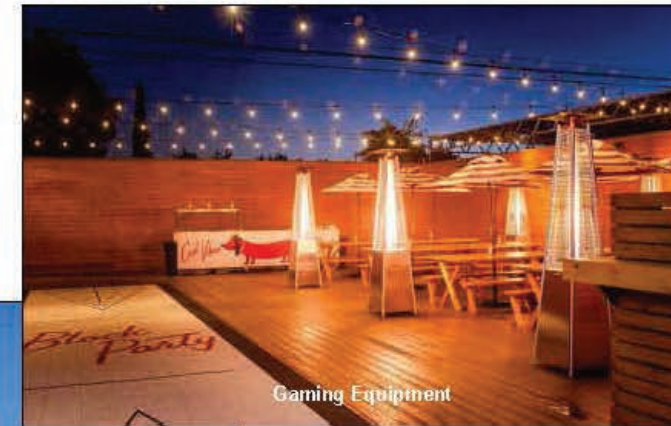
DEVELOPMENT PLAN
555 HERNDON PARKWAY
TOWN OF HERNDON, VIRGINIA

PROJECT NO. 18002.002.00
SCALE: AS NOTED
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DESIGN: JA
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22.0 of 24.0
11/24/22



Swimming Pool

Private Amenities on Podium - Some suggested and planned amenities that may be made available to residents of the development include many features illustrated with the images on this sheet. Design is subject to the final architecture of the building.



Gaming Equipment



Outdoor Fire Pit and Lounge Area



Programmed Activities - Rooftop Yoga



Lounge Seating and Fire Pits

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Bioretention



Intensive green roof



Extensive green roof



Green roof with amenities



Green roof with amenities



Bioretention



Bioretention

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DESIGNS AND FEATURES
ARE SUBJECT ARB REVIEW.

Sustainable Practices - The images on this sheet are for illustrative purposes only. Should any of the examples on this sheet be in conflict with site construction or architectural building design, equivalent solutions will be considered at the time of site plan.

DATE	REVISION








SUSTAINABLE PRACTICES

DEVELOPMENT PLAN
555 HERNDON PARKWAY
TOWN OF HERNDON, VIRGINIA

PROJECT NO. 18022.002.00
SCALE: AS NOTED
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SHEET No. 23.0 of 24.0