

**TOWN OF HERNDON, VIRGINIA
ARCHITECTURAL REVIEW BOARD
PUBLIC HEARING AGENDA
JUNE 19, 2019
HERNDON COUNCIL CHAMBERS BUILDING
765 LYNN STREET
7:30 P.M.**

CALL TO ORDER

1. Roll Call
2. Determination of Quorum

ADOPTION OF MINUTES

3. May 1, 2019 Work Session Draft Minutes
4. May 15, 2019 Public Hearing Draft Minutes

COMMENTS

5. Comments from the Board Members
6. Comments from the Staff Members
7. Comments from the Audience

PUBLIC HEARINGS

8. **APPLICATION FOR NEW CONSTRUCTION, ARB #19-12**, to consider an application to construct a new equipment shelter to screen a proposed emergency backup power generator at a Town-owned water tank site located at 624 Alabama Drive, Herndon, Virginia, located southeast of the intersection of Alabama Drive and Missouri Avenue and northwest of the intersection of Alabama Drive and Van Buren Street, and further identified as Fairfax County Tax Map 0162-02-0148. The property is zoned Residential, R-10 and consists of 42,079 square feet of land. Owner: Town of Herndon, Virginia. Applicant: T-Mobile Northeast, LLC. Applicant's Representative: James Relihan, Agent. ***(Continued from May 15, 2019 ARB public hearing.)***
9. **APPLICATION FOR A WALL OR WINDOW SIGN, ARB #19-22**, to consider an application to replace two existing wall signs with two new wall signs on the multi-tenant commercial building building and new tenant signage on the commercial center's monument sign located at 905 Herndon Parkway, Herndon, Virginia, located south of the intersection of Elden Street and Herndon Parkway, and further identified

as Fairfax County Tax Map 0161-02-0016D2. The property is zoned CS, Commercial Services, and consists of 71,939 square feet of land. Owner/Applicant: CH Retail Fund IIDC Metro Herndon Parkway, LLC c/o Lindsey, Pfisterer, Rosenthal Properties. Applicant’s Representative: Frank Cavanaugh, ARK Signs.

ADJOURNMENT

Future ARB Meetings

July 3, 2019	ARB Work Session	7:30 p.m.
July 17, 2019	ARB Public Hearing	7:30 p.m.



MEMORANDUM

To: Chairman Walker and Members of the Architectural Review Board

From: Christopher J. Garcia, AICP, Community Design Planner/Deputy Zoning Administrator 

Date: June 14, 2019

Subject: ARB #19-12, 624 Alabama Drive Generator Enclosure – Updates

The applicant for the above referenced case, which was continued by the Architectural Review Board (ARB) on March 20, 2019 and May 15, 2019 at the respective ARB Public Hearings, has successfully completed the administrative site plan review process in accordance with the Town's Zoning Ordinance Section 78-155.6.–“Site plans, Subdivision Plans, Single Lot Development Plans and Building Location Surveys”.

As of the date of this memo, the Board may take action on this case, as specified in Section 58-96 of the Town Code of Ordinances. To recap the previous staff analysis and recommendation, the original staff report, dated March 6, 2019, with attachments is accompanying this memo (Attachment #1).

Staff is recommending approval of ARB #19-12 with the following condition:

- 1) The proposed enclosure shall be constructed / installed in substantial conformance with the application and supporting materials as submitted February 11, 2019 and the approved site plan revision, TP #R-19-04.

Thank you.

Attachment:

- 1) ARB #19-12 Staff Report & Attachments



STAFF REPORT

Architectural Review Board

March 6, 2019

Title:

APPLICATION FOR NEW CONSTRUCTION, ARB #19-12.

Staff Contact:

Christopher J. Garcia, AICP, Community Design Planner/Deputy Zoning Administrator
(703) 787-7380
christopher.garcia@herndon-va.gov

Summary:

An application to consider construction of a new equipment shelter to screen a proposed emergency backup power generator at a Town-owned water tank site located at 624 Alabama Drive, Herndon (Attachment #1).

Location Factors:

Applicant:	James Relihan, Agent
Owner:	Town of Herndon, Virginia
Use:	Municipal Water Tank
Location:	624 Alabama Drive
Tax Map Reference:	0162-02-0148
Zoning of Site:	R-10, Residential Single Family - 10
Adjacent Zoning:	North: R-10, Residential Single Family - 10 South: R-10, Residential Single Family - 10 East: R-10, Residential Single Family - 10 West: R-10, Residential Single Family - 10

Description:

This application proposes construction of a new 10' wide by 15' long by 8' high walled enclosure with a brick veneer cladding around a 3'-6" x 8' concrete slab. The proposed enclosure is designed to house a new 25 kW diesel emergency backup power generator to serve as backup power to telecommunications equipment (owned by T-Mobile Northeast, LLC) on the subject site. The new enclosure will not have a roof structure to allow for ventilation of the backup generator. The

exterior walls will be sheathed in a “Brick It” Real Thin Brick Veneer system to match an existing enclosure on site that was previously approved through ARB #12-21. The new enclosure will be placed approximately 7’-3” to the south of the existing enclosure. The north elevation, facing the existing bricked enclosure, will have a steel framed gate with dog-eared wood slats/pickets to complete the screening of this mechanical equipment and provide access to it. The enclosure will not have any opening, or penetrations to the walls as proposed (Attachments #3, #4, and #5).

No other alterations are being proposed under this application.

Recommendation:

Staff recommends a continuance to a date certain or withdrawal of the application due to requirement for a site plan revision for this structure based on determination by Town Staff.

Staff Analysis:

1. In accordance with the Town’s Zoning Ordinance Section 78-155.6. – “Site plans, Subdivision Plans, Single Lot Development Plans and Building Location Surveys”, the proposed improvement will require a site plan revision. This property was the subject of an approved site plan, TP #R-13-04, which approved an existing enclosure currently on site, however, this approved site plan did not include the proposed enclosure. A revised site plan must be submitted and administratively approved by the Town.

Thus, this ARB case may not be considered by the Board until an approved site plan is submitted with the ARB application as required by Section 58-76 of the Town’s Code of Ordinances. Staff has no design issues with this proposed enclosure, however, the site plan revision requirement must be completed prior to ARB consideration of the application.

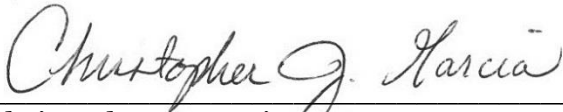
2. The proposed design of the enclosure complies with the Town’s Zoning Ordinance Section 78-114.2. - Screening standards.
3. The proposed enclosure complies with the applicable design criteria within the Town’s Architectural Control District as specified in Section 58-96 of the Town Code of Ordinances (Attachment #6).
4. Staff concludes that the proposed project will not detract from the site and will maintain the limited visual appeal of this quasi-industrial site by screening the proposed mechanical equipment from view of adjacent residential uses.

Attachments:

1. Location Map

2. Aerial Image
3. Applicant Letter
4. Site Photos of Existing Conditions
5. Enclosure Elevation, Details and Product Information
6. Town's Code of Ordinances Division 4 - Standards, Sec. 58-96. (ARB) Design Criteria

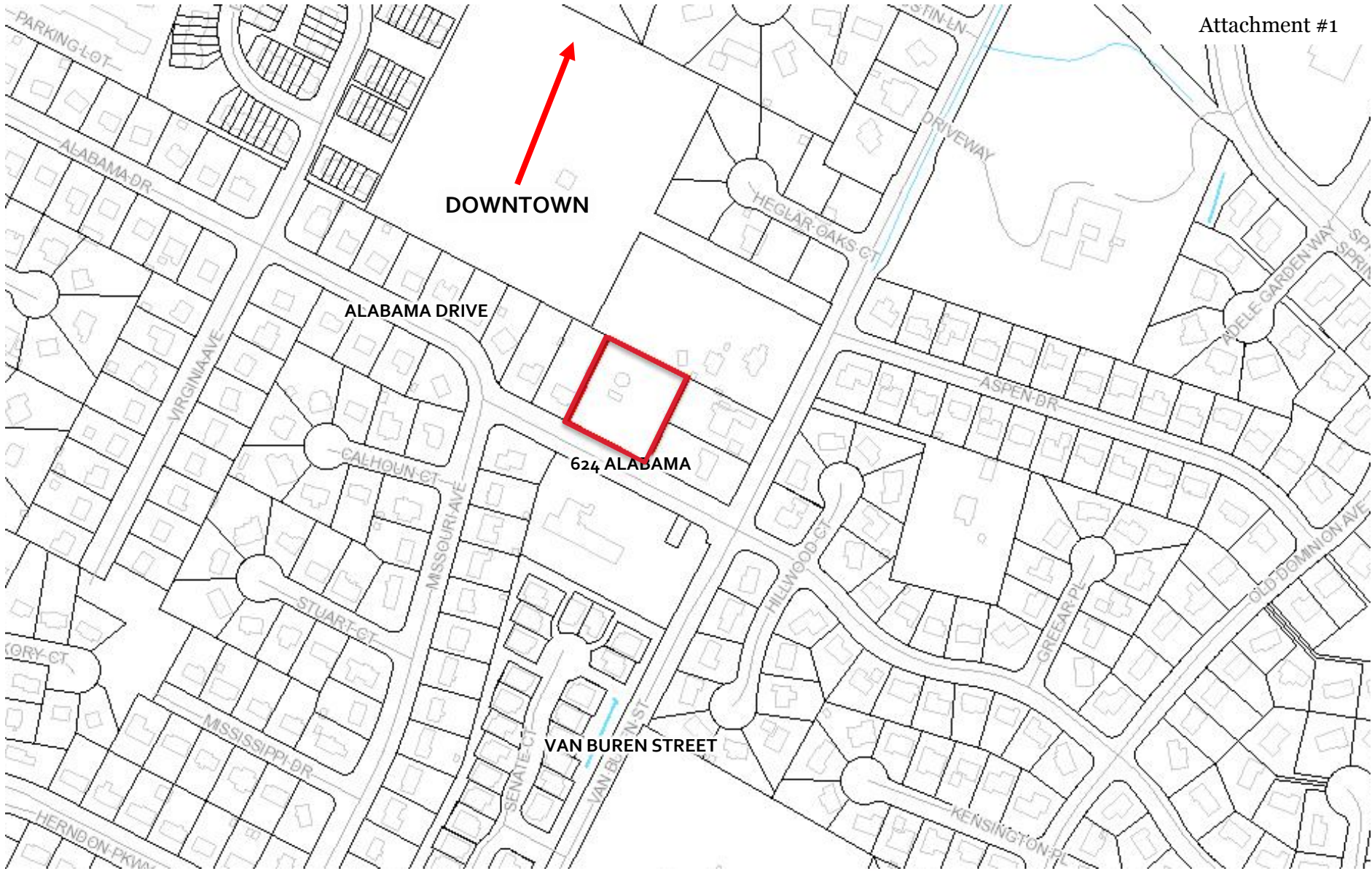
Staff:



Christopher J. Garcia, AICP
Community Design Planner/Deputy Zoning Administrator



Bryce A. Perry
Deputy Director of Community Development



SITE LOCATION - VICINITY MAP



Map prepared by Town of Herndon Department of
Community Development
Image source: Fairfax County Property Tax Map
Viewer



SITE LOCATION – AERIAL PHOTO



Imagery prepared by Town of Herndon
Department of Community Development
Image source: Google Earth © 2018



12050 Baltimore Avenue
Beltsville, Maryland 20705

Date: 2/8/2019

Town of Herndon
Department of Community Development
777 Lynn street
Herndon, Virginia 20170-4602

Attn: Architectural Review Board

Re: Description of construction
Site#: 624 Alabama Drive

To whom it may be concerned:

T-Mobile Northeast LLC currently leases space on the Herndon water tank grounds located at 624 Alabama Drive. T-Mobile has an existing enclosed brick equipment shelter and wishes to add another separate enclosure where a proposed 25KW CD Diesel emergency backup powered generator will be located.

The Proposed 10'x15'x8' enclosure will be constructed to match the existing exterior of the existing shelter utilizing "Brick It" Real Thin Brick Veneer or approved equal on three of the four walls. A wood slat gate will be placed at the end of the structure for access to the generator. The purpose of the enclosure is for aesthetic purposes only. There is no roof being proposed on this structure due to the exhaust system of the generator. The generator will be situated on a proposed 3'6"x8' concrete pad within the proposed stealth enclosure.

Below you will find a list of all documents being submitted along with this application:

- Completed application signed by the property owner.
- Check for application fee
- Six (6) sets of labeled color photographs of all sides of the existing structure, site and other structures located within the fenced compound
- One (1) full-size set 24"x36" of color elevation drawings of the proposed structure.
- Six (6) 11"x17" copies of the elevation drawings.
- Six (6) 11"x17" copies of the approved site Plan.
- One (1) electronic copy of the above information, to be submitted to the ARB separate from this packet.

Sincerely,

James Relihan
Smartlink LLC on behalf of T-Mobile





7WAC315N – HERNDON WATER



T-Mobile Equipment Shelter and Proposed Generator location



7WAC315N – HERNDON WATER



T-Mobile Equipment Shelter



7WAC315N – HERNDON WATER



T-Mobile Equipment Shelter



7WAC315N – HERNDON WATER



T-Mobile Equipment Shelter

T-Mobile

7WAC315N – HERNDON WATER



AT&T Equipment Shelter

T-Mobile

7WAC315N – HERNDON WATER



AT&T Equipment Shelter

T-Mobile

7WAC315N – HERNDON WATER



AT&T Equipment Shelter



7WAC315N – HERNDON WATER



AT&T Equipment Shelter



7WAC315N – HERNDON WATER



Verizon Generator Stealth Enclosure



7WAC315N – HERNDON WATER



Verizon Generator Stealth Enclosure



7WAC315N – HERNDON WATER



Verizon Generator Stealth Enclosure



7WAC315N – HERNDON WATER



Verizon Generator Stealth Enclosure



7WAC315N – HERNDON WATER



Verizon Generator Stealth Enclosure

T-Mobile

7WAC315N – HERNDON WATER



Verizon Equipment Shelter



7WAC315N – HERNDON WATER



Verizon Equipment Shelter

T-Mobile

7WAC315N – HERNDON WATER



Verizon Equipment Shelter



7WAC315N – HERNDON WATER



Verizon Equipment Shelter

T-Mobile

7WAC315N – HERNDON WATER



T-Mobile

7WAC315N – HERNDON WATER



T-Mobile

7WAC315N – HERNDON WATER



T-Mobile

7WAC315N – HERNDON WATER



T-Mobile

7WAC315N – HERNDON WATER



T-Mobile

7WAC315N – HERNDON WATER



T-Mobile

7WAC315N – HERNDON WATER



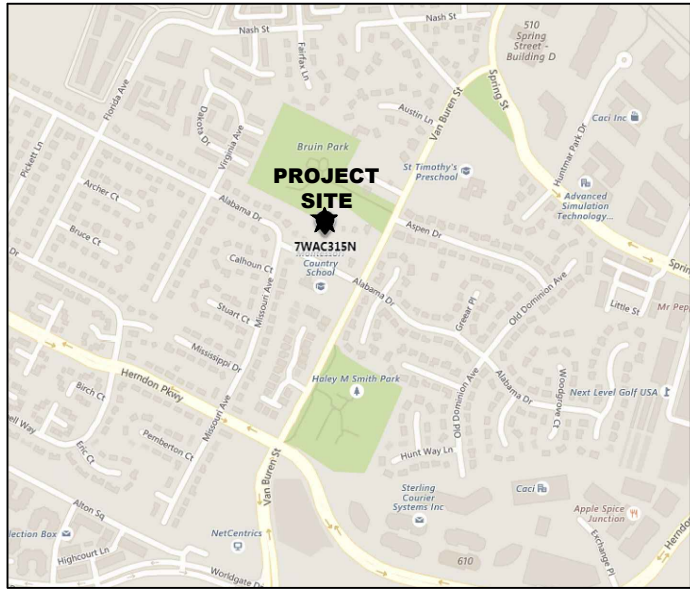
SHEET INDEX	
NO.	DESCRIPTION
T1	TITLE PAGE
C1	PLAN VIEWS
C2	GENERATOR DETAIL
C3	ELEVATION VIEW
C4	EAST ELEVATION
C5	SOUTH ELEVATION
C6	GENERATOR ENCLOSURE DETAIL
C7	GATE DETAIL
C8	GENERATOR DIAGRAM
C9	PLUMBING & GROUNDING DETAILS
N1	NOTES

DRIVING DIRECTIONS

FROM BENSLEM PA:

DEPART BYBERRY RD TOWARD KNIGHTS RD., TURN LEFT ONTO KNIGHTS RD., TURN LEFT ONTO PA-132 / STREET RD., KEEP STRAIGHT ONTO STREET RD., TAKE RAMP RIGHT AND FOLLOW SIGNS FOR I-95 SOUTH, CONSTRUCTION: BETWEEN STREET RD/EXIT 37 AND ACADEMY RD/EXIT 32 – CONSTRUCTION WORK. TAKE RAMP RIGHT FOR I-495 SOUTH TOWARD BALTIMORE / PORT OF WILMINGTON, ENTERING DELAWARE, TAKE RAMP RIGHT FOR I-95 S / US-202 S TOWARD AIRPORT / NEW CASTLE / NEWPORT, PASS SUNOCO ON THE LEFT IN 7.0 MI, ENTERING MARYLAND, KEEP LEFT TO STAY ON I-95 S / I-95 EXPRESS TOLL LANES, PASS CHEVROLET ON THE LEFT IN 8.8 MI, TAKE RAMP RIGHT FOR I-495 WEST TOWARD SILVER SPRING, ROAD NAME CHANGES TO I-495 S / CAPITAL BELTWAY, ENTERING VIRGINIA, TAKE RAMP RIGHT FOR VA-267 W TOWARD DULLES AIRPORT / HERNDON / RESTON, TAKE RAMP RIGHT AND FOLLOW SIGNS FOR VA-286 NORTH, TAKE RAMP LEFT, TURN RIGHT ONTO SPRING ST., TURN LEFT ONTO HERNDON PKWY., TURN RIGHT ONTO VAN BUREN ST., TURN LEFT ONTO ALABAMA DR., ARRIVE AT 624 ALABAMA DRIVE, HERNDON, VA 20170.

LOCATION MAP



GENERAL NOTES

- HANDICAP ACCESS REQUIREMENTS ARE NOT REQUIRED.
- FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
- FACILITY HAS NO PLUMBING OR REFRIGERANTS.
- THIS FACILITY SHALL MEET OR EXCEED ALL FAA AND FCC REGULATORY REQUIREMENTS.
- ALL NEW MATERIAL SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE. EQUIPMENT, ANTENNAS/RRH AND CABLES FURNISHED BY OWNER AND INSTALLED BY CONTRACTOR.
- THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON STORMWATER DRAINAGE.
- NO SANITARY SEWER, POTABLE WATER, OR TRASH DISPOSAL SERVICE IS REQUIRED
- NO COMMERCIAL SIGNAGE IS PROPOSED

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED WITH ANY LOCAL AMENDMENTS BY THE LOCAL GOVERNING AUTHORITIES:

- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2014 NATIONAL ELECTRICAL CODE
- 2012 NATIONAL FIRE PROTECTION ASSOCIATION 101
- 2012 NATIONAL FIRE PROTECTION ASSOCIATION 1
- LOCAL BUILDING CODES
- CITY/COUNTY ORDINANCES
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS (AISC)
- UNDERWRITERS LABORATORIES APPROVED ELECTRICAL PRODUCTS.
- ANSI EIA/TIA 222 REV. G
- TIA 607
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS 81
- IEEE C2 (LATEST EDITION)
- TELCORDIA GR-1275
- ANSI T1.311

PROJECT SITE INFORMATION

SITE ID:	7WAC315N
SITE NAME:	HERNDON WATER
SITE ADDRESS:	624 ALABAMA DRIVE HERNDON, VA 20170
JURISDICTION:	FAIRFAX COUNTY
SITE COORDINATES:	
LATITUDE:	N 38° 57' 40.9"
LONGITUDE:	W 77° 23' 13.1"
APPLICANT:	T-MOBILE 12920 SE 38TH ST BELLEVUE, WA 98006

PROJECT TEAM INFORMATION

CLIENT REPRESENTATIVE:	SMARTLINK, LLC 4860 COX ROAD SUITE 269 GLEN ALLEN, VA 23060
CLIENT REP. CONTACT:	SHAWN SUTTON (443) 676-9462
ENGINEER:	INFINIGY 1033 WATERVLJET SHAKER ROAD ALBANY, NY 12205
ENGINEER CONTACT:	RYAN FINNERIN (443) 799-5314

SCOPE OF WORK

- INSTALL 25KW DIESEL DC GENERATOR W/ 220 GALLON BELLY TANK
- INSTALL 10'x15' ENCLOSURE FOR GENERATOR



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN VIRGINIA, CALL VIRGINIA 811

TOLL FREE: 1-800-552-7001 OR

www.va811.com

VIRGINIA STATUTE REQUIRES MIN OF 2 WORKING DAYS NOTICE BEFORE YOU EXCAVATE

Know what's below.
Call before you dig.

INFINIGY

1033 WATERVLJET SHAKER RD
ALBANY, NY 12205
TEL (518) 690-0790
FAX (518) 690-0793

T-Mobile

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No.	Submittal / Revision	App'd	Date

Drawn: RCD
Designed: MRL
Checked: AJP

Project Number:
499-033

Project Title:
7WAC315N
HERNDON WATER

624 ALABAMA DRIVE
HERNDON, VA 20170

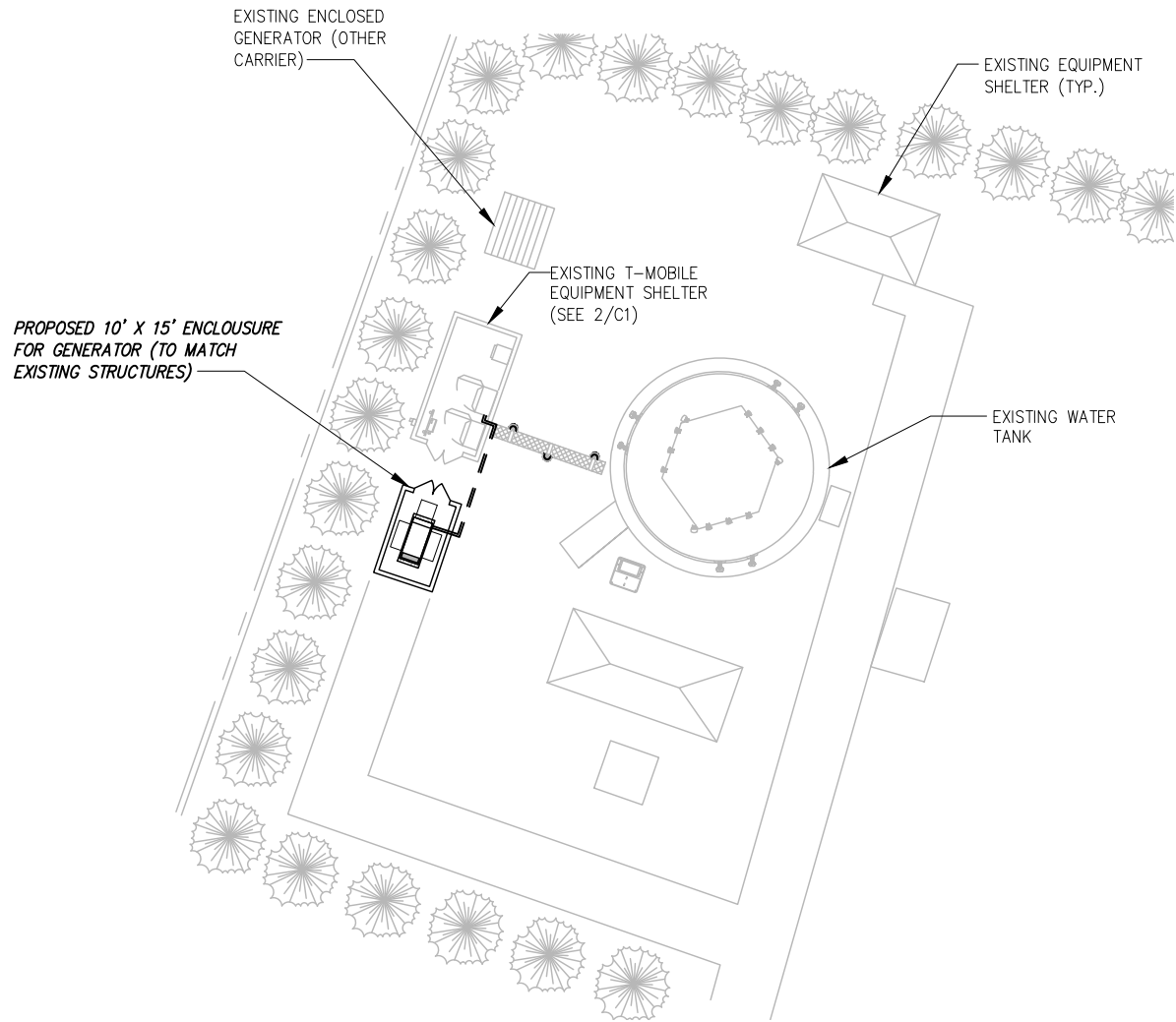
Prepared For:



Drawing Title

TITLE PAGE

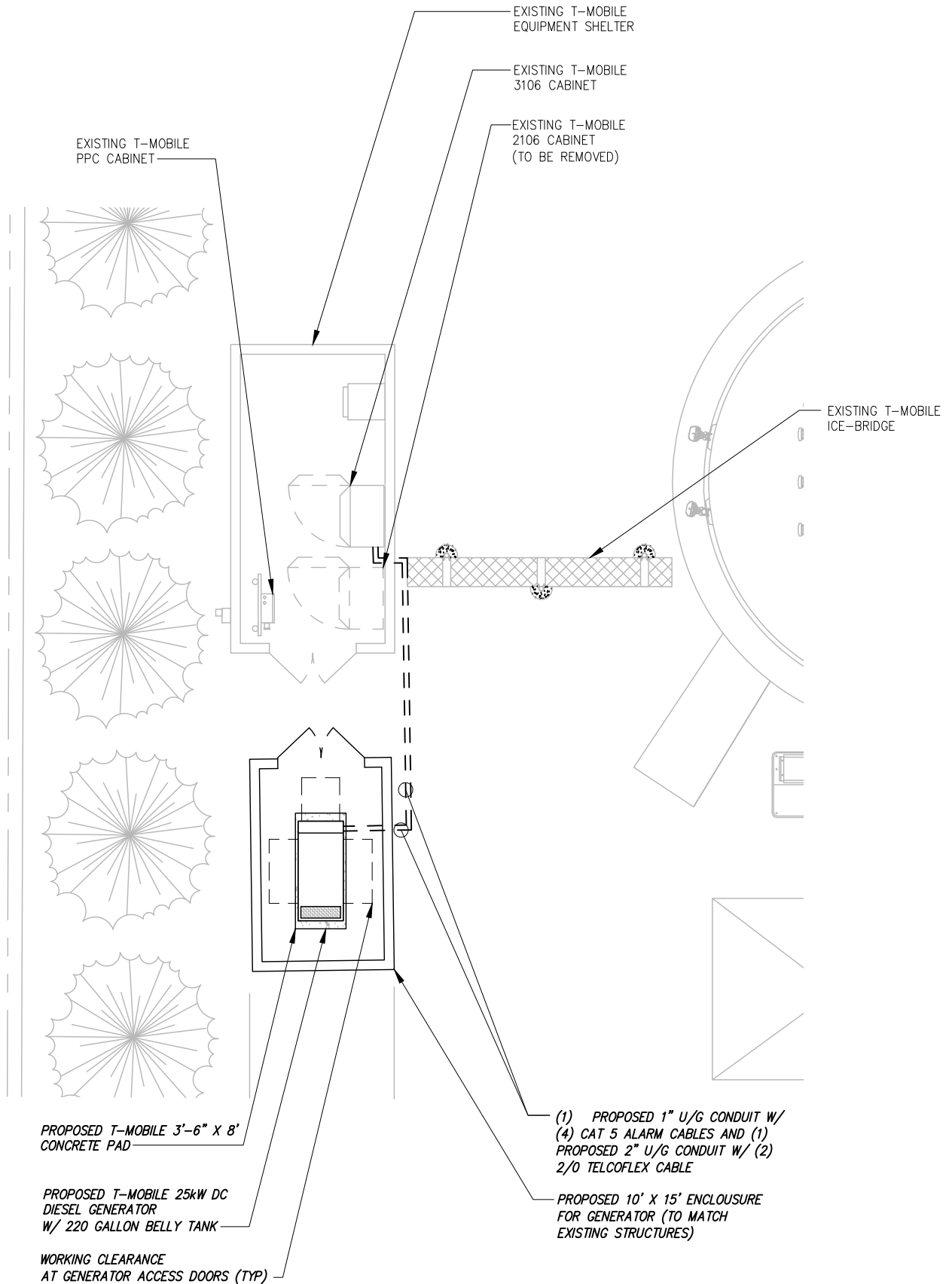
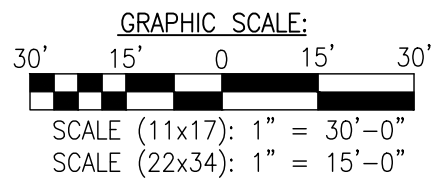
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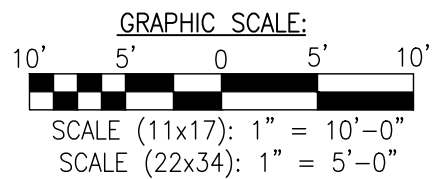
- GENERAL SITE NOTES:**
1. A COMPLETE BOUNDARY SURVEY OF THE HOST PARCEL HAS NOT BEEN PERFORMED BY INFINIGY. BOUNDARY INFORMATION IF SHOWN WAS OBTAINED FROM INFORMATION PROVIDED BY OTHERS. PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.
 2. BASEMAPPING INFORMATION BASED ON PROVIDED INFORMATION.
 3. CONTRACTOR TO FIELD VERIFY DIMENSIONS AS NECESSARY BEFORE CONSTRUCTION.
 4. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE SIGNS OF ADVERTISING.
 5. THE PROPOSED DEVELOPMENT IS UNMANNED AND THEREFORE DOES NOT REQUIRE A MEANS OF WATER SUPPLY OR SEWAGE DISPOSAL.
 6. NO LANDSCAPING WORK IS PROPOSED IN CONJUNCTION WITH THIS DEVELOPMENT OTHER THAN THAT WHICH IS SHOWN.
 7. THE PROPOSED DEVELOPMENT DOES NOT INCLUDE OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES.
 8. UTILITIES SHOWN ON PLAN ARE TAKEN FROM OWNERS RECORDS AND FIELD LOCATION OF VISIBLE SURFACE FEATURES. THE EXISTENCE, EXTENT AND EXACT HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES HAS NOT BEEN VERIFIED. ANY CONTRACTOR PERFORMING WORK ON THIS SITE MUST CONTACT MISS UTILITY AT LEAST 48 HOURS PRIOR TO COMMENCING WORK.



1 SITE PLAN
C1 SCALE: AS NOTED



2 ENLARGED SITE PLAN
C1 SCALE: AS NOTED



INFINIGY

1033 WATERLIET SHAKER RD
ALBANY, NY 12205
TEL (518) 690-0790
FAX (518) 690-0793

T-Mobile

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Designed: MRL
Checked: AJD

Project Number:
499-033

Project Title:
7WAC315N
HERNDON WATER

624 ALABAMA DRIVE
HERNDON, VA 20170

Prepared For:



Drawing Title

**PLAN
VIEWS**

Drawing Number

C1

TOP OF EXISTING ANTENNAS
EL. 92'-0"± A.G.L.

TOP OF EXISTING WATER TANK
EL. 82'-0"± A.G.L.

EXISTING T-MOBILE
EQUIPMENT SHELTER
(TYP.)

PROPOSED 10' X 15' X 8'
ENCLOSURE FOR GENERATOR (TO
MATCH EXISTING STRUCTURES)

TOP OF EXISTING T-MOBILE EQPT SHELTER
12'-0"± A.G.L.

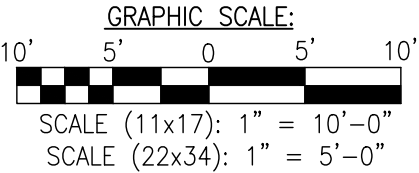
TOP PROPOSED GENERATOR ENCLOSURE
EL. 8'-0"± A.G.L.

EXISTING T-MOBILE
ICE BRIDGE

EXISTING WATER
TANK

GRADE

1 SOUTH ELEVATION VIEW
C2 SCALE: AS NOTED



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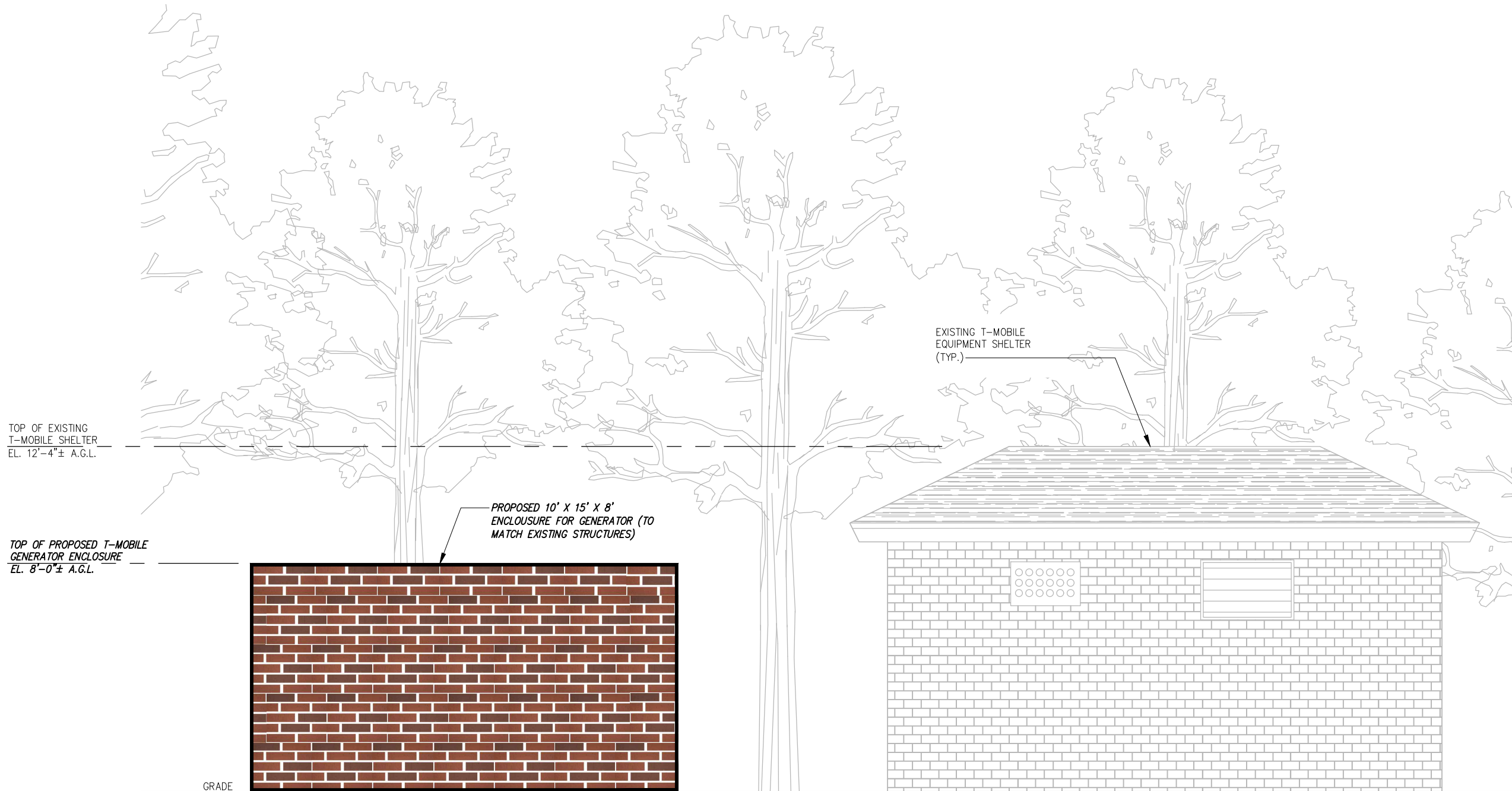


Drawing Title

ELEVATION
VIEW

Drawing Number

C2



TOP OF EXISTING
T-MOBILE SHELTER
EL. 12'-4"± A.G.L.

TOP OF PROPOSED T-MOBILE
GENERATOR ENCLOSURE
EL. 8'-0"± A.G.L.

PROPOSED 10' X 15' X 8'
ENCLOSURE FOR GENERATOR (TO
MATCH EXISTING STRUCTURES)

EXISTING T-MOBILE
EQUIPMENT SHELTER
(TYP.)

GRADE

1 EAST ELEVATION
C3 SCALE: AS NOTED

GRAPHIC SCALE:
4' 2' 0 2' 4'
SCALE (11x17): 1" = 4'-0"
SCALE (22x34): 1" = 2'-0"

INFINIGY8
1033 WATERLIET SHAKER RD
ALBANY, NY 12205
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FAX (518) 690-0793



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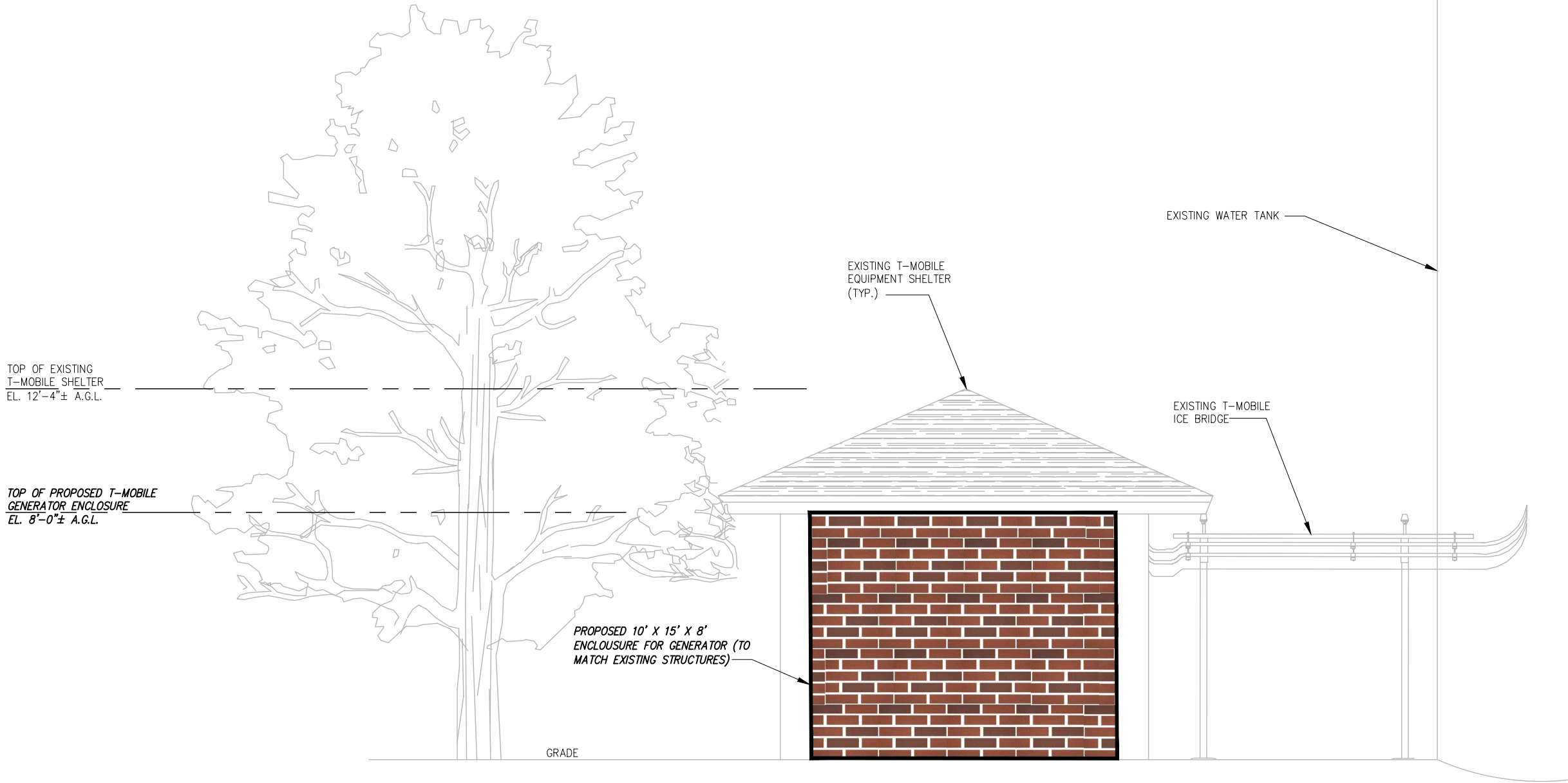
624 ALABAMA DRIVE
HERNDON, VA 20170

Prepared For:

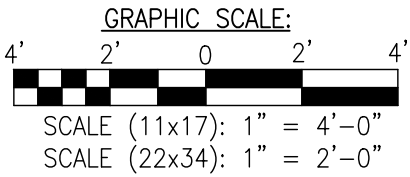


Drawing Title
**EAST
ELEVATION**

Drawing Number
C3



1 SOUTH ELEVATION
C4 SCALE: AS NOTED



INFINIGY8

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ALBANY, NY 12205
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FAX (518) 690-0793



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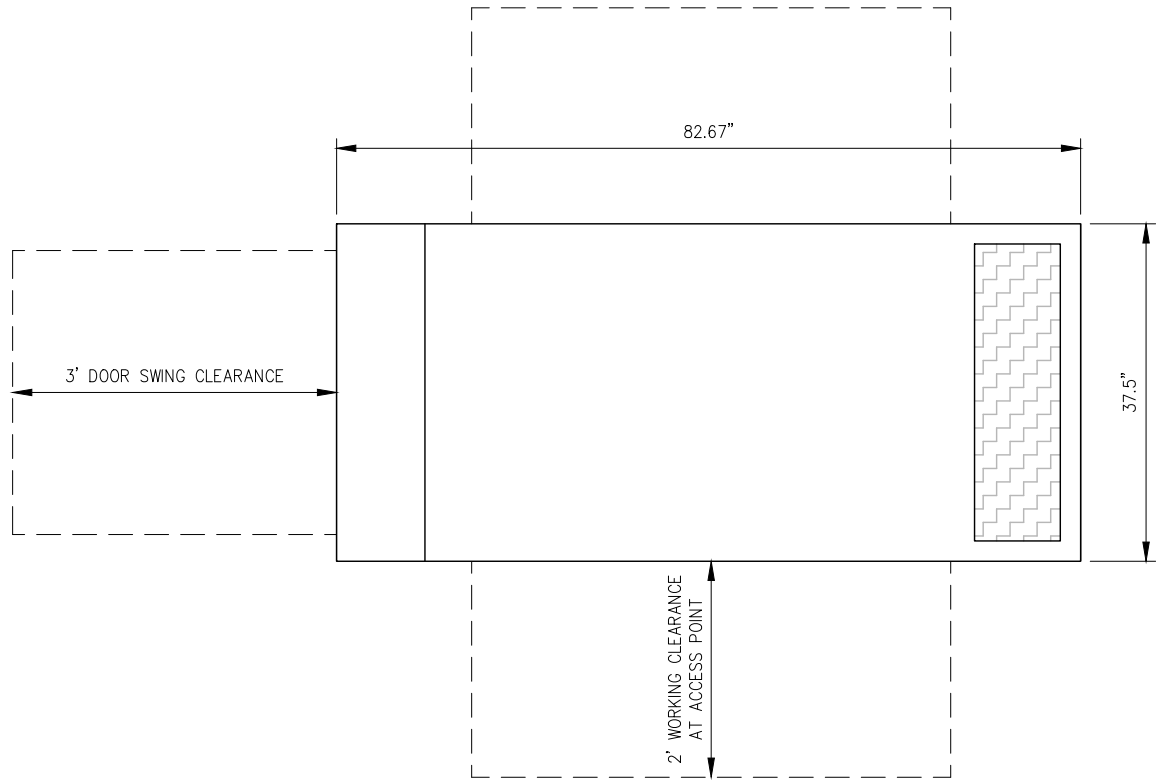
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HERNDON, VA 20170

Prepared For:

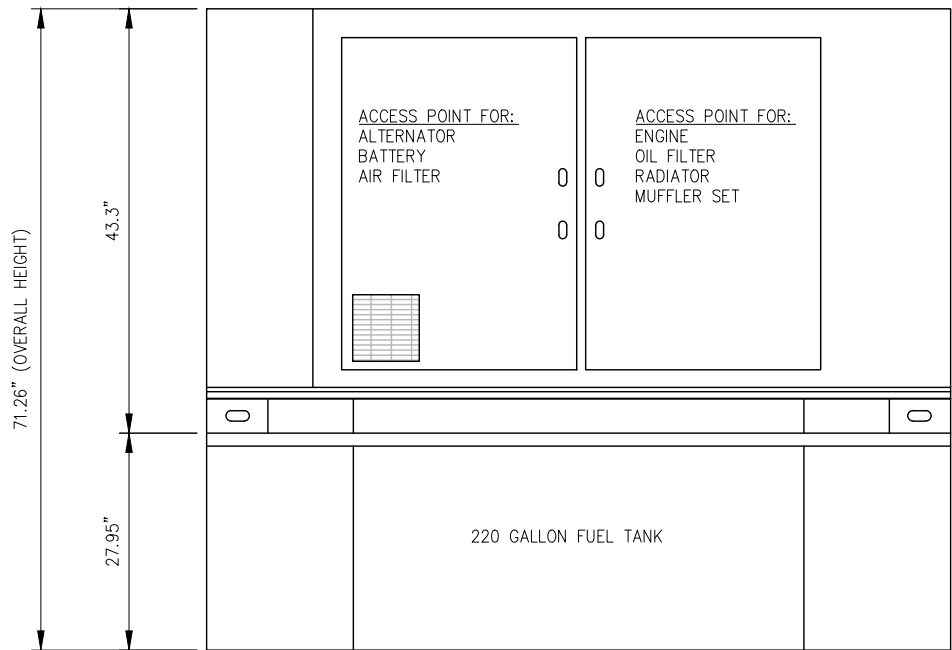


Drawing Title
**SOUTH
ELEVATION**

Drawing Number
C4

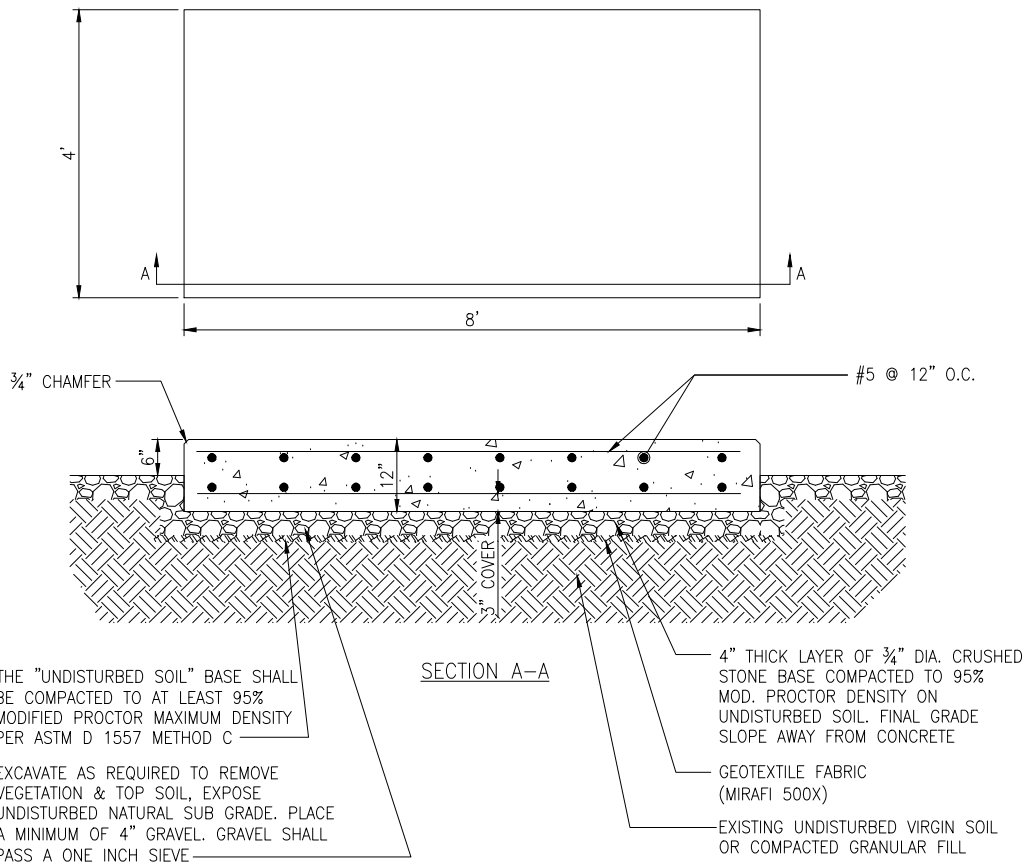
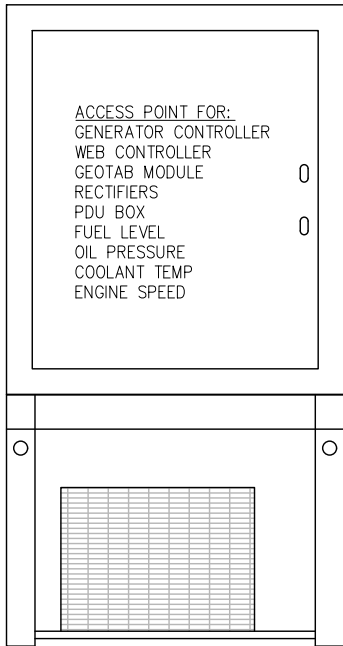


- HAZARD INFORMATION SIGNAGE NOTES:
1. GC TO AFFIX NFPA DIESEL FUEL 1-2-0 SIGN ON GENERATOR SIDE FACING MAIN COMPOUND ENTRY OR WHERE VISIBLE BY APPROACHING FIRE SAFETY SERVICE PERSONNEL.
 2. SIGN TO BE MIN. 10"x14" AND ADHESIVE BACKED VINYL LABEL.
 3. WHEN SIGN IS EXPOSED TO THE ELEMENTS, IT SHALL BE CHECKED ANNUALLY FOR LEGIBILITY.
 4. SIGN TO BE SAFETYSIGN.COM ITEM #M3348 OR EQUIVALENT.



DELTA 25kW DC DIESEL GENSET
W/ 220 GALLON TANK AND INTEGRAL RECTIFIERS
25kW @ 75% LOAD: 120HRS
DC OUTPUT: 52VDC @ 100% LOAD
WEIGHT: 2910LBs (W/O FUEL)
UL RATING: UL2200/UL142
ACOUSTIC RATING: <75dBA @ 23'

1 GENERATOR DETAIL
C5 NOT TO SCALE



THE "UNDISTURBED SOIL" BASE SHALL BE COMPACTED TO AT LEAST 95% MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM D 1557 METHOD C

EXCAVATE AS REQUIRED TO REMOVE VEGETATION & TOP SOIL, EXPOSE UNDISTURBED NATURAL SUB GRADE. PLACE A MINIMUM OF 4" GRAVEL. GRAVEL SHALL PASS A ONE INCH SIEVE

2 GENERATOR PAD DETAIL
C5 SCALE: NOT TO SCALE

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C	DESIGN REVISIONS	RWF	01/21/19
B	DESIGN REVISIONS	RWF	11/26/18
A	ISSUED FOR REVIEW	SL	10/04/18

No.	Submittal / Revision	App'd	Date

Drawn: RCD
Designed: MRL
Checked: AJP

Project Number: 499-033

Project Title: 7WAC315N
HERNDON WATER

624 ALABAMA DRIVE
HERNDON, VA 20170

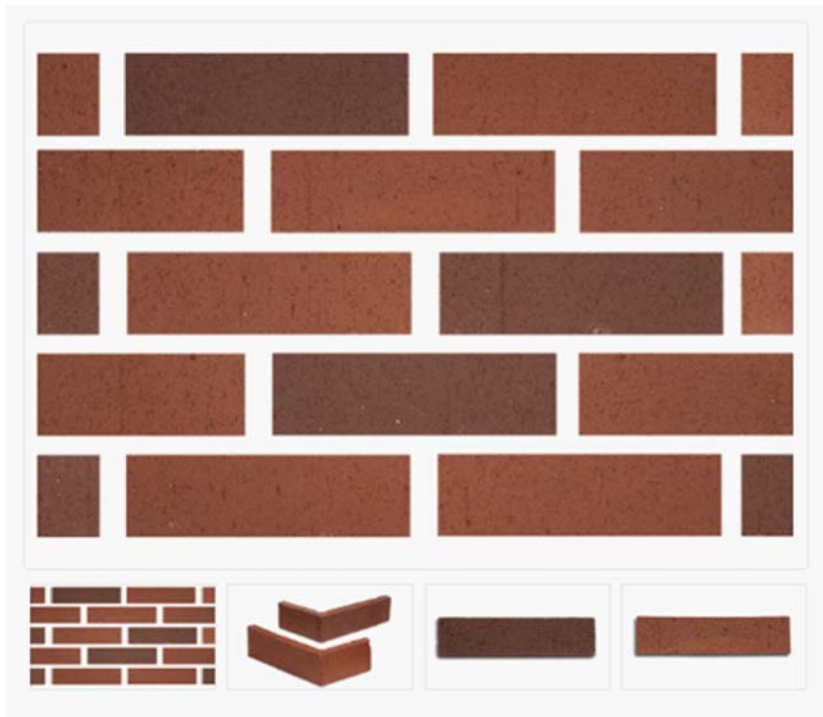
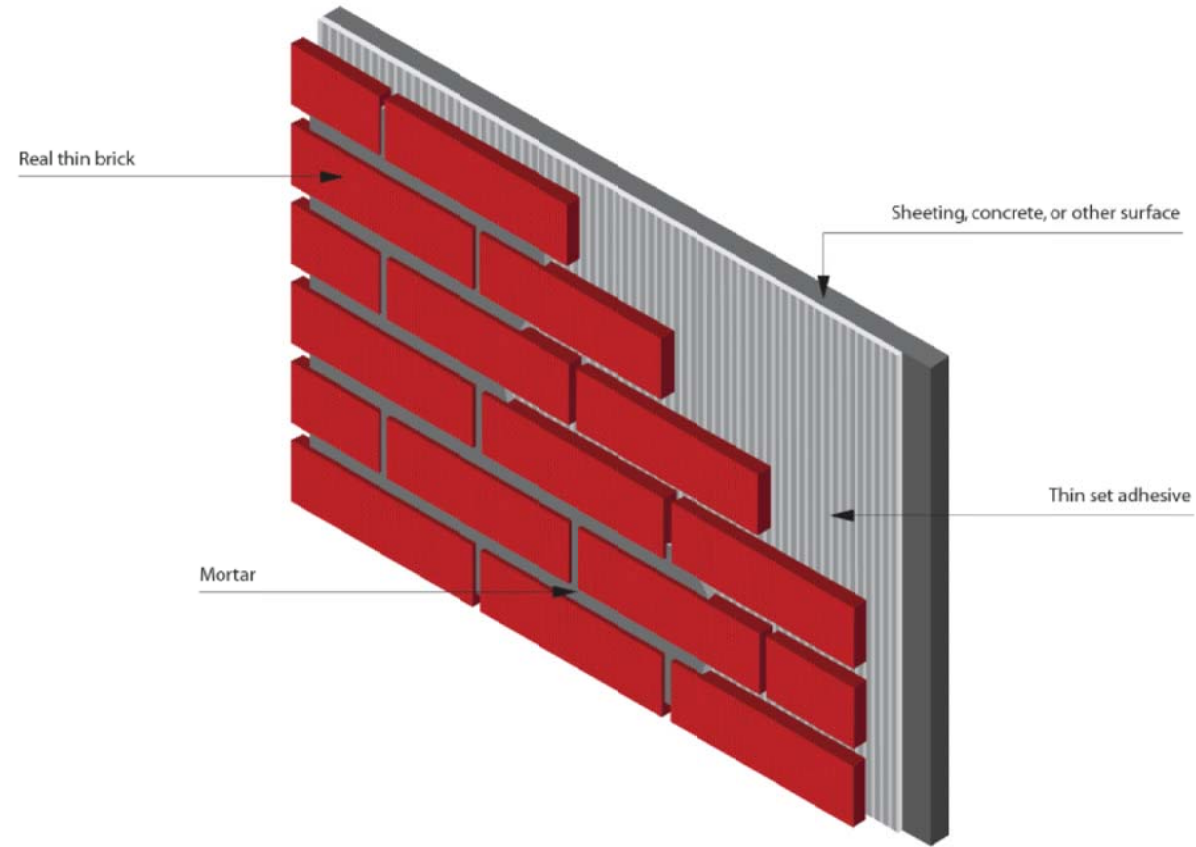
Prepared For:

smartlink

Drawing Title: GENERATOR DETAIL

Drawing Number: C5

ENCLOSURE MANUFACTURER:
• "BRICK IT" REAL THIN BRICK VENEER OR APPROVED EQUAL



SAMPLE SHOWN:
• OLD RED BLEND WIRECUT

1 GENERATOR ENCLOSURE EXTERIOR DETAIL
C6 NOT TO SCALE

PROPOSED 8" CMU BLOCK WALL WITH
ARCHITECTURAL FACE TO MATCH EXISTING
BUILDING FACADE (WALL TO BE FILLED WITH
CONCRETE TO BEARING HEIGHT)

W.7 WALL TIES EVERY OTHER COURSE

PROPOSED ARCHITECTURAL FACE
(TYP.) (TO MATCH EXISTING
BUILDING FACADE)

PROPOSED #5 REBAR @ 32" MIN.
GROUT CORES WITH REBAR

DAMP PROOFING BELOW GRADE (TYP.)

THE "UNDISTURBED SOIL" BASE
SHALL BE COMPACTED TO PASS
AT LEAST 95% MODIFIED PROCTOR
MAXIMUM DENSITY PER ASTM D
1557 METHOD C

EXCAVATE AS REQUIRED TO
REMOVE VEGETATION & TOP SOIL
EXPOSE UNDISTURBED NATURAL
SUB GRADE
MINIMUM OF 4" GRAVEL SHALL
PASS A 1" SIEVE

PROPOSED 3'-0"x1'-0" CONCRETE
FOOTING WITH (3) #5 BARS
CONTINUOUS ON CHAIRS

STONE BASE ON UNDISTURBED SOIL
(FINAL GRADE SLOPE AWAY FROM
CONCRETE)

GEOTEXTILE FABRIC
(MIRAFI 500X OR
APPROVED EQUAL)

2 CMU SCREENWALL DETAIL
C6 NOT TO SCALE

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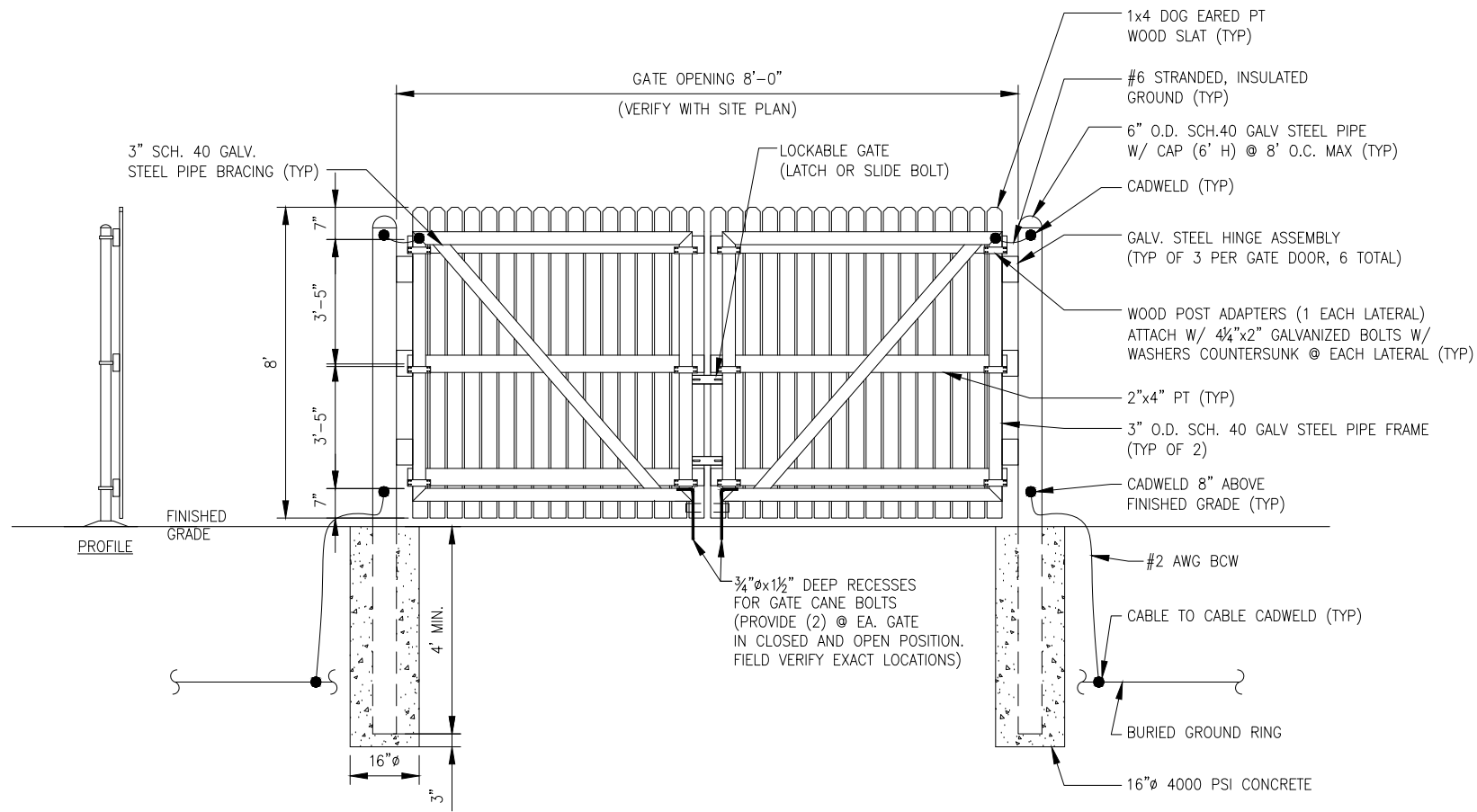
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Drawing Title
**GENERATOR
ENCLOSURE
DETAIL**

Drawing Number

C6



1 ENCLOSURE STEEL FRAME GATE DETAIL
C7 SCALE: NTS

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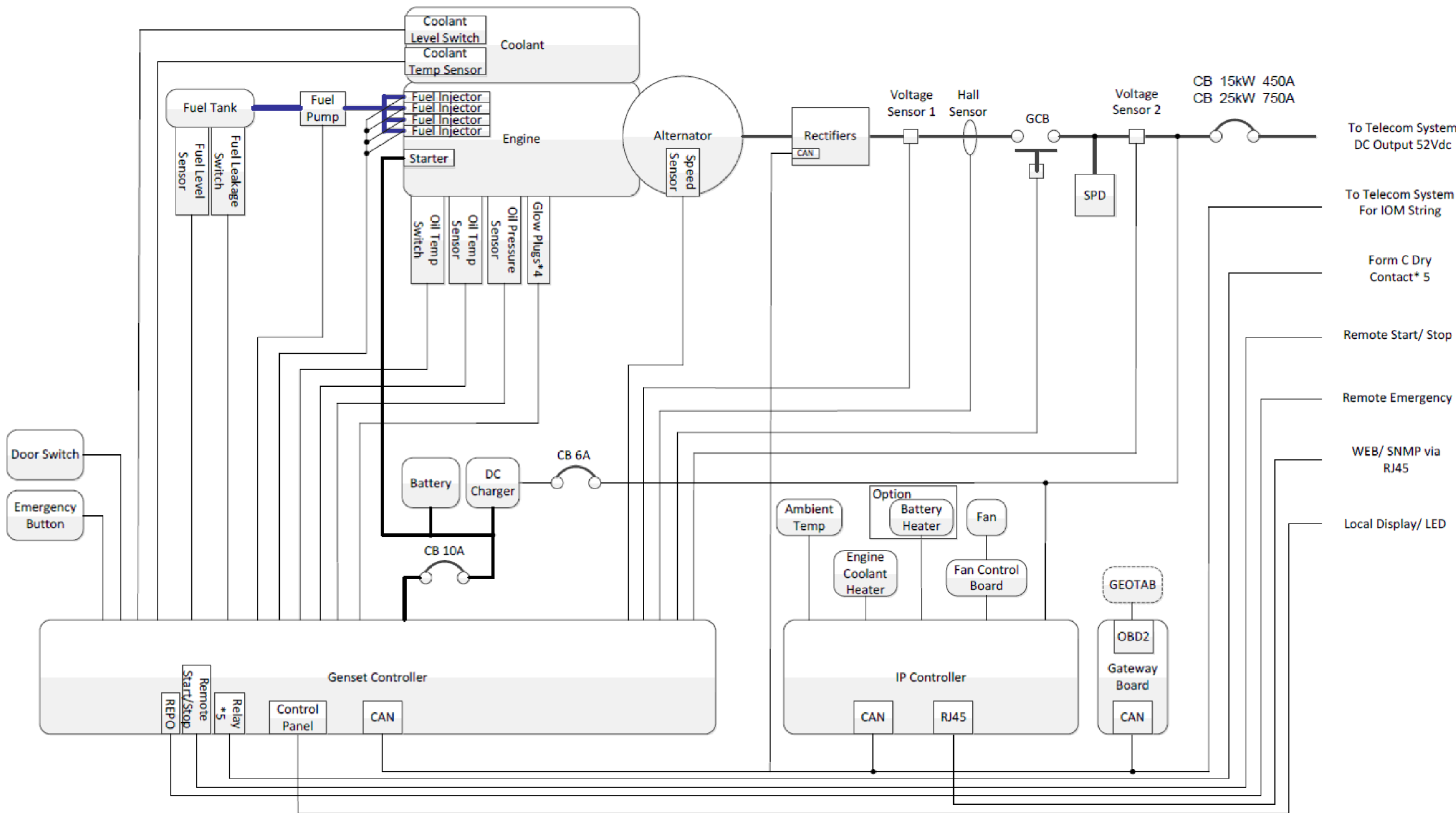


Drawing Title

GATE DETAIL

Drawing Number

C7



1 GENERATOR BLOCK DIAGRAM
C8 NOT TO SCALE

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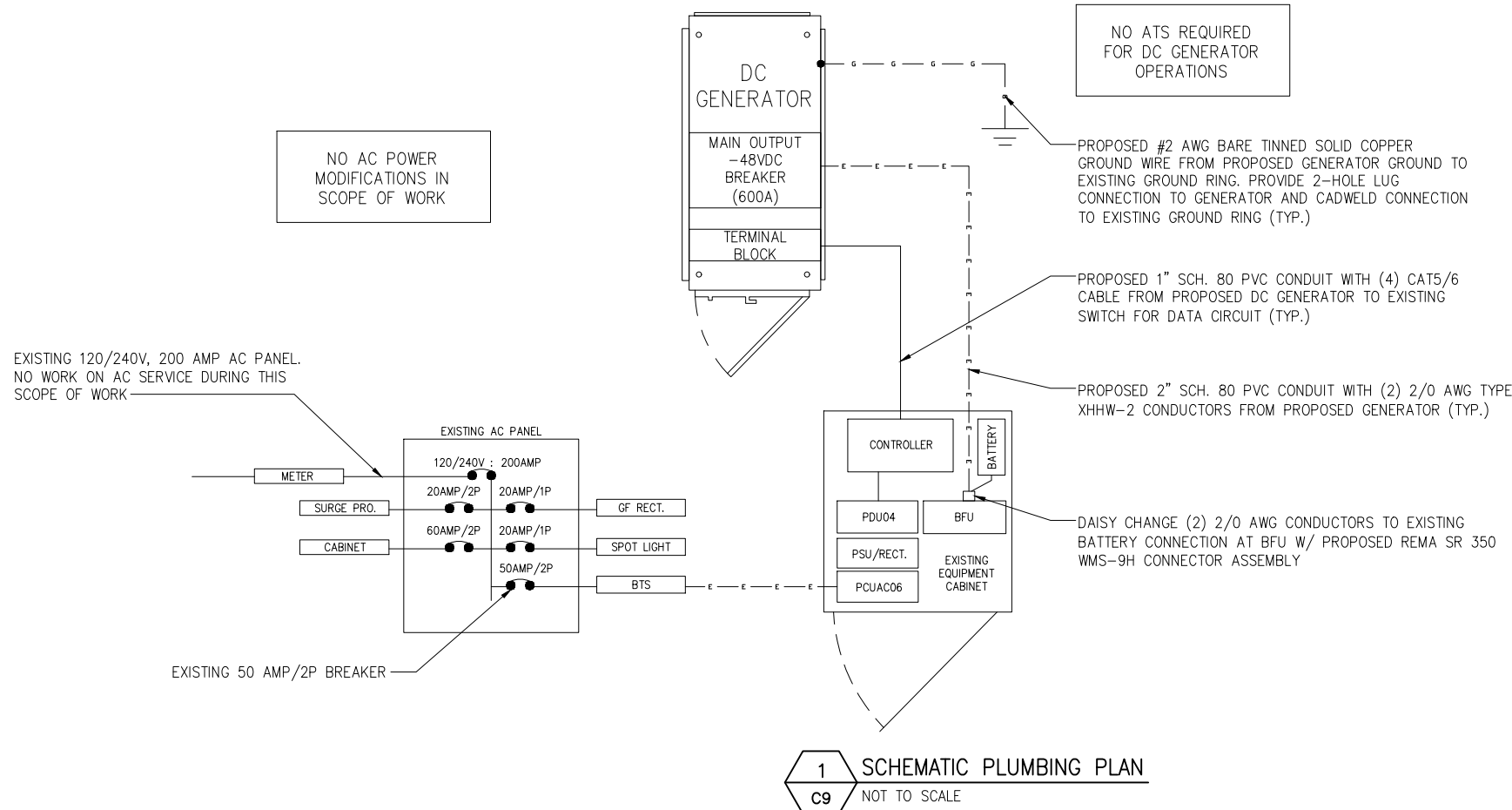
Project Title:
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HERNDON WATER

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Drawing Title
**GENERATOR
DIAGRAM**

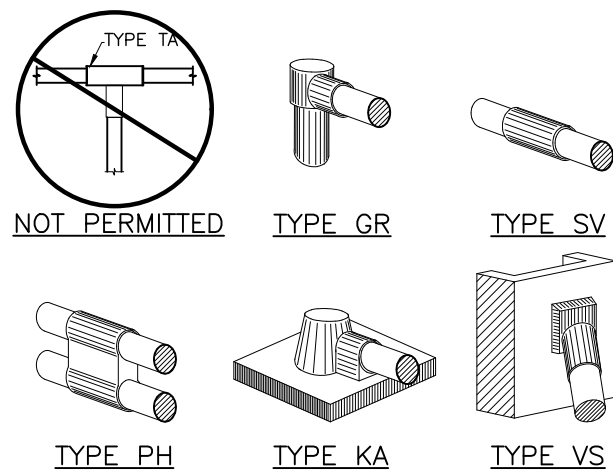
Drawing Number
C8



NOTE:
NO EXOTHERMIC WELD ON ROOFTOPS

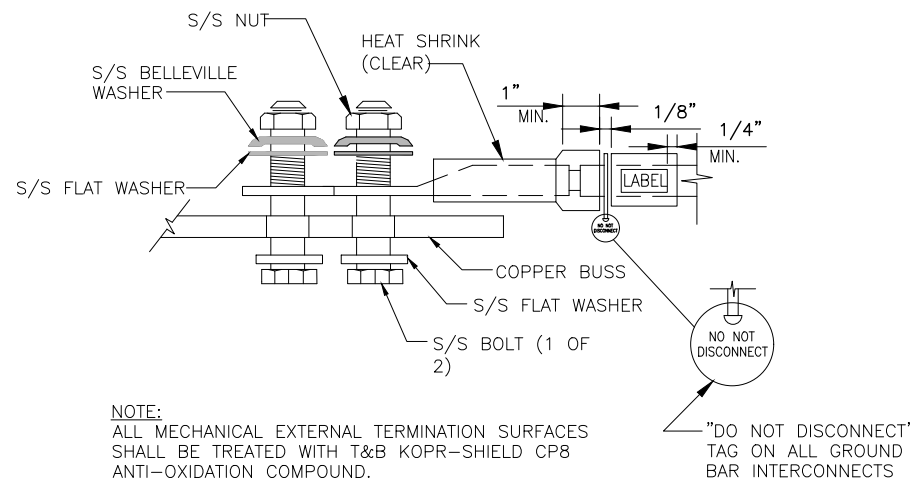
GROUNDING SYMBOLS

- COMPRESSION TYPE CONNECTION
- EXOTHERMIC WELD TYPE CONNECTION



2 CADWELDS (TYPICAL)

C9 NOT TO SCALE



3 EQUIPMENT GROUND CONNECTION

C9 NOT TO SCALE

GENERAL GROUNDING NOTES:

- BOND PPC AND EQUIPMENT ENCLOSURES TO BURIED GROUNDING CONDUCTOR. USE A NEMA DRILLED, TWO-HOLE CONNECTOR FOR BONDS TO EQUIPMENT ENCLOSURES; USE AN APPROVED CONDUIT CLAMP FOR CONNECTIONS TO SERVICE CONDUITS. EXOTHERMICALLY WELD CONNECTIONS TO GROUNDING CONDUCTOR.
- BOND ALL EXTERIOR CONDUITS, PIPES AND CYLINDRICAL METALLIC OBJECTS WITH A PENN-UNION GT SERIES CLAMP, BLACKBURN GUV SERIES CLAMP OR A BURNDY GAR 3900BU SERIES CLAMP ONLY. NO SUBSTITUTES ACCEPTED.
- AFTER INSTALLATION IS COMPLETED IN CONFORMANCE WITH THESE DRAWINGS AND THE STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL CONFIRM THE IMPEDANCE (GROUND RESISTANCE) TO EARTH AND BETWEEN GROUNDING CIRCUITS. THE GROUNDING SYSTEM IS EXPECTED TO PROVIDE FOR A MAXIMUM EARTH RESISTANCE OF 5 OHMS. THE CONTRACTOR SHALL NOTIFY T-MOBILE PRIOR TO ALL TESTING AND SHALL FURTHER NOTIFY T-MOBILE IN THE EVENT THE EARTH RESISTANCE IS GREATER THAN 5 OHMS.
- ALL GROUNDING INSTALLATION IS TO BE IN ACCORDANCE WITH THE T-MOBILE WIRELESS STANDARDS AND SUPPLEMENTS PROVIDED BY THE PROJECT MANAGER.
- ALL BENDS ON THE GROUND CONDUCTOR TO BE MADE WITH A MINIMUM 24" RADIUS.
- ALL GROUND LEADS MUST TERMINATE AT MGB, NOT HALO.
- MUST USE INSPECTION HOLE LUGS FOR GROUNDING.
- NO OVERLAPPING GROUND HARDWARE.
- WHERE MECHANICAL CONNECTIONS ARE USED (TWO HOLE OR CRIMP), APPLY A LIBERAL PROTECTIVE COATING OF A CONDUCTIVE ANTI-OXIDE COMPOUND ON ALL CONNECTORS SUCH AS NO-OX OR APPROVED EQUAL.

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Drawing Title
PLUMBING & GROUNDING DETAILS

Drawing Number

C9

ELECTRICAL NOTES:

WORK INCLUDED	CLEANING
1. INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, PLANT SERVICES AND ADMINISTRATIVE TASKS REQUIRED TO COMPLETE AND MAKE OPERABLE THE ELECTRICAL WORK SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: A. PREPARE AND SUBMIT SHOP DRAWINGS, DIAGRAMS AND ILLUSTRATIONS. B. PROCURE ALL NECESSARY PERMITS AND APPROVALS AND PAY ALL REQUIRED FEES AND CHARGES IN CONNECTION WITH THE WORK OF THIS CONTRACT. C. SUBMIT AS-BUILT DRAWINGS, OPERATING AND MAINTENANCE INSTRUCTIONS AND MANUALS. D. EXECUTE ALL CUTTING, DRILLING, ROUGH AND FINISH PATCHING OF (E) OR NEWLY INSTALLED CONSTRUCTION REQUIRED FOR THE WORK OF THIS CONTRACT. FOR SLAB PENETRATIONS THROUGH POST TENSION SLABS, X-RAY EXACT AREA OF PENETRATION PRIOR TO PERFORMING WORK. E. COORDINATE ALL X-RAY WORK WITH BUILDING ENGINEER. F. PROVIDE HANGERS, SUPPORTS, FOUNDATIONS, STRUCTURAL FRAMING SUPPORTS, AND BASES FOR CONDUIT AND EQUIPMENT PROVIDED OR INSTALLED UNDER THE WORK OF HIS CONTRACT. PROVIDE COUNTER FLASHING, SLEEVES AND SEALS FOR FLOOR AND WALL PENETRATIONS. G. MAINTAIN ALL (E) ELECTRICAL SERVICES IN THE BUILDING AREAS NOT AFFECTED BY THE ALTERATION DURING THE PROGRESS OF THE WORK INCLUDING PROVIDING ALL TEMPORARY JUMPERS, CONDUITS, CAPS, PROTECTIVE DEVICES, CONNECTIONS AND EQUIPMENT REQUIRED. PROVIDE TEMPORARY LIGHT AND POWER FOR CONSTRUCTION PURPOSES. H. IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO CALL FOR AN INSTALLATION THAT IS COMPLETE IN EVERY RESPECT. IT IS NOT THE INTENT TO GIVE EVERY DETAIL ON THE DRAWINGS AND IN THE SPECIFICATIONS. IF AN ITEM OF WORK IS INDICATED IN THE DRAWINGS, IT IS CONSIDERED SUFFICIENT FOR INCLUSION IN THE CONTRACT. FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT USUALLY FURNISHED OR NEEDED TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY MENTIONED IN THE CONTRACT DOCUMENTS.	COORDINATION AND SUPERVISION
	1. CAREFULLY LAY OUT ALL WORK IN ADVANCE TO AVOID UNNECESSARY CUTTING, CHANNELING, CHASING OR DRILLING OF FLOORS, WALLS, PARTITIONS, CEILINGS OR OTHER SURFACES. WHERE SUCH WORK IS NECESSARY, HOWEVER, PATCH AND REPAIR THE WORK IN AN APPROVED MANNER BY SKILLED MECHANICS AT NO ADDITIONAL COST TO THE OWNER. RENDER FULL COOPERATION TO OTHER TRADES WHERE WORK WILL BE INSTALLED IN CLOSE PROXIMITY TO WORK OF OTHER TRADES. ASSIST IN WORKING OUT SPACE CONDITIONS. IF WORK IS INSTALLED BEFORE COORDINATION WITH OTHER TRADES, OR CAUSES INTERFERENCE, MAKE CHANGES NECESSARY TO CORRECT CONDITIONS WITHOUT EXTRA CHARGE.
GENERAL REQUIREMENTS	SUBMITTALS
1. PROVIDE ALL WORK IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND LOCAL AND STATE ELECTRICAL CODES. 2. THE ELECTRICAL PLANS ARE DIAGRAMMATIC ONLY. REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT DIMENSIONS OF THE BUILDING. 3. LOAD CALCULATIONS ARE BASED ON (E) BUILDING INFORMATION/DRAWINGS PROVIDED TO ENGINEERING. CONTRACTOR IS TO VERIFY ALL (E) RATINGS AND LOADS PRIOR TO PURCHASING OF SPECIFIED EQUIPMENT FOR COMPLIANCE TO NEC. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES AND REQUEST FURTHER DIRECTION BY ENGINEER. 4. (E) BUILDING EQUIPMENT IS NOTED ON THE DRAWINGS. NEW OR RELOCATED EQUIPMENT IS SHOWN WITH SOLID LINES. FUTURE EQUIPMENT (NOT IN THIS CONTRACT) IS DEPICTED WITH SHADED LINES. REQUEST CLARIFICATION OF DRAWINGS OR OF SPECIFICATIONS PRIOR TO PRICING OR INSTALLATION. 5. GENERAL A. AFTER CAREFULLY STUDYING THE DRAWINGS AND SPECIFICATIONS, AND BEFORE SUBMITTING THE PROPOSAL, MAKE A MANDATORY SITE VISIT TO ASCERTAIN CONDITIONS OF THE SITE, AND THE NATURE AND EXACT QUANTITY OF WORK TO BE PERFORMED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR FAILURE TO NOTIFY THE OWNER, IN WRITING, OF ANY DISCREPANCIES THAT MAY HAVE BEEN NOTED BETWEEN THE (E) CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS. B. VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR CORRECTNESS OF SAME. 6. QUALITY, WORKMANSHIP, MATERIALS AND SAFETY A. PROVIDE NEW MATERIALS AND EQUIPMENT OF A DOMESTIC MANUFACTURER BY THOSE REGULARLY ENGAGED IN THE PRODUCTION AND MANUFACTURE OF SPECIFIED MATERIALS AND EQUIPMENT. WHERE UL, OR OTHER AGENCY, HAS ESTABLISHED STANDARDS FOR MATERIALS, PROVIDE MATERIALS WHICH ARE LISTED AND LABELED ACCORDINGLY. THE COMMERCIALY STANDARD ITEMS OF EQUIPMENT AND THE SPECIFIC NAMES MENTIONED HEREIN ARE INTENDED FOR THE PROPER FUNCTIONING OF THE WORK. B. WORK SHALL BE PERFORMED BY WORKMEN SKILLED IN THE TRADE REQUIRED FOR THE WORK. INSTALL MATERIALS AND EQUIPMENT TO PRESENT A NEAT APPEARANCE WHEN COMPLETED AND IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS OF THE MANUFACTURER AND IN ACCORDANCE WITH CONTRACT DOCUMENTS. C. PROVIDE LABOR, MATERIALS, APPARATUS AND APPLIANCES ESSENTIAL TO THE FUNCTIONING OF THE SYSTEMS DESCRIBED OR INDICATED HEREIN, OR WHICH MAY BE REASONABLY IMPLIED AS ESSENTIAL WHENEVER MENTIONED IN THE CONTRACT DOCUMENT OR NOT. D. MAKE WRITTEN REQUESTS FOR SUPPLEMENTARY INSTRUCTIONS TO ARCHITECT/ENGINEER IN CASE OF DOUBT AS TO WORK INTENDED OR IN EVENT OF NEED FOR EXPLANATION THEREOF. E. PERFORMANCE AND MATERIAL REQUIREMENTS SCHEDULED OR SPECIFIED ARE MINIMUM STANDARD ACCEPTABLE. THE RIGHT TO JUDGE THE QUALITY OF EQUIPMENT THAT DEVIATES FROM THE CONTRACT DOCUMENT REMAINS SOLELY WITH ARCHITECT/ENGINEER. CONTRACT DOCUMENT OR NOT.	TESTS, INSPECTION AND APPROVAL
	1. BEFORE ENERGIZING ANY ELECTRICAL INSTALLATION, INSPECT EACH UNIT IN DETAIL. TIGHTEN ALL BOLTS AND CONNECTIONS (TORQUE-TIGHTEN WHERE REQUIRED) AND DETERMINE THAT ALL COMPONENTS ARE ALIGNED, AND THE EQUIPMENT IS IN SAFE, OPERATIONAL CONDITION. 2. PROVIDE THE COMPLETE ELECTRICAL SYSTEM FREE OF GROUND FAULTS AND SHORT CIRCUITS SUCH THAT THE SYSTEM WILL OPERATE SATISFACTORILY UNDER FULL LOAD CONDITIONS, WITHOUT EXCESSIVE HEATING AT ANY POINT IN THE SYSTEM.
GUARANTEE	SPECIAL REQUIREMENTS
1. GUARANTEE MATERIALS, PARTS AND LABOR FOR WORK FOR ONE YEAR FROM THE DATE OF ISSUANCE OF OCCUPANCY PERMIT. DURING THAT PERIOD, MAKE GOOD FAULTS OR IMPERFECTIONS THAT MAY ARISE DUE TO DEFECTS OR OMISSIONS IN MATERIALS OR WORKMANSHIP WITH NO ADDITIONAL COMPENSATION AND AS DIRECTED BY ARCHITECT.	1. DO NOT LEAVE ANY WORK INCOMPLETE NOR ANY HAZARDOUS SITUATIONS CREATED WHICH WILL AFFECT THE LIFE OR SAFETY OF THE PUBLIC AND/OR BUILDING OCCUPANTS. DO NOT INTERFERE WITH OR CUTOFF ANY OF THE (E) SERVICES WITHOUT THE OWNER'S WRITTEN PERMISSION. 2. WHEN NECESSARY TO TEMPORARILY DISCONNECT ANY (E) BUILDING UTILITIES AND SERVICE SYSTEMS, INCLUDING FEEDER OR BRANCH CIRCUITING SUPPLYING (E) FACILITIES, CONFER WITH THE OWNER AND ARRANGE THE PERIOD OF INTERRUPTION FOR A TIME MUTUALLY AGREED UPON. SHUTDOWN NOTE: SCHEDULE AND NOTIFY OWNER 48 HOURS PRIOR TO SHUTDOWN. ALL SHUTDOWN WORK TO BE SCHEDULED AT A TIME CONVENIENT TO OWNER.
	GROUNDING
	1. ROUTE ALL GROUNDING CONDUCTORS AS SHOWN ON CONDUIT/GROUNDING RISER. 2. ROUTE 500 KCMIL CU. THHN CONDUCTOR FROM THE MGB LOCATION TO BUILDING STEEL. VERIFY BUILDING STEEL IS EFFECTIVELY GROUNDED PER NEC TO THE MAIN SERVICE GROUNDING ELECTRODE CONDUCTOR (GEC). 3. MAKE ALL GROUND CONNECTIONS FROM MGB TO ELECTRICAL EQUIPMENT WITH 2 HOLE, CRIMP TYPE, BURNDY COMPRESSION TERMINATIONS, SIZED AS REQUIRED. 4. USE 1 HOLE, CRIMP TYPE, BURNDY COMPRESSIONS TERMINATIONS, SIZED AS REQUIRED, AT EQUIPMENT GROUND CONNECTIONS. 5. HIRE AN INDEPENDENT LAB TO PERFORM THE SPECIFIED OHMS TESTING. PROVIDE 4 SETS OF THE CERTIFIED DOCUMENTS TO THE OWNER FOR VERIFICATION PRIOR TO THE PROJECT COMPLETION.
	RACEWAYS
	1. ALL WIRING TO BE INSTALLED IN CONDUIT SYSTEMS IN ACCORDANCE WITH THE FOLLOWING: A. EXTERIOR FEEDERS AND CONTROL, WHERE UNDERGROUND, TO BE IN SCH 40 PVC. B. EXTERIOR, ABOVE GROUND POWER CONDUITS TO BE GALVANIZED RIGID STEEL (RGS). C. ALL TELECOMMUNICATION CONDUITS, INTERIOR/EXTERIOR, TO BE EMT. D. INSTALL PULL ROPES IN ALL NEW EMPTY CONDUITS INSTALLED ON THIS PROJECT. E. ALL TELECOM CONDUITS AND PULL BOXES INSTALLED ON THIS PROJECT TO BE LABELED "T-MOBILE". OWNER WILL PROVIDE LABELS FOR CONTRACTOR TO INSTALL. F. INTERIOR FEEDERS TO BE INSTALLED IN E.M.T. WITH STEEL COMPRESSION FITTINGS. G. MINIMUM SIZE CONDUIT TO BE 3/4" TRADE SIZE, UNLESS OTHERWISE INDICATED ON THE DRAWINGS. H. FINAL CONNECTIONS TO MOTORS AND VIBRATING EQUIPMENT TO BE INSTALLED IN LIQUID-TIGHT FLEXIBLE METAL CONDUIT. I. CONDUIT TO BE RUN CONCEALED IN CEILINGS, FINISHED AREAS OR DRYWALL PARTITIONS, UNLESS OTHERWISE NOTED. J. THE ROUTING OF CONDUITS INDICATED ON THE DRAWINGS IS DIAGRAMMATIC. BEFORE INSTALLING ANY WORK, EXAMINE THE WORKING LAYOUTS AND SHOP DRAWINGS OF THE OTHER TRADES TO DETERMINE THE EXACT LOCATIONS AND CLEARANCES. K. ALL EXTERIOR MOUNTING HARDWARE TO BE GALVANIZED STEEL. COORDINATE WITH BUILDING ENGINEER PRIOR TO ATTACHING TO BUILDING STRUCTURE.

RACEWAYS CONT'D
L. PENETRATIONS OF WALLS, FLOORS AND ROOFS, FOR THE PASSAGE OF ELECTRICAL RACEWAYS, TO BE PROPERLY SEALED AFTER INSTALLATION OF RACEWAYS SO AS TO MAINTAIN THE STRUCTURAL OR WATERPROOF INTEGRITY OF THE WALL, FLOOR OR ROOF SYSTEM TO BE PENETRATED. SEAL ALL CONDUIT PENETRATIONS THROUGH FIRE OR SMOKE RATED WALLS, CEILINGS OR SMOKE TIGHT CORRIDOR PARTITIONS TO MAINTAIN PROPER RATING OF WALL OR CEILING. M. PROVIDE ALL CONDUIT ENDS WITH INSULATED METALLIC GROUNDING BUSHINGS. N. CONDUIT TO BE SUPPORTED AT MAXIMUM DISTANCE OF 8'-0", OR AS REQUIRED BY NEC, IN HORIZONTAL AND VERTICAL DIRECTIONS. O. PROVIDE STAINLESS STEEL BLANK COVER PLATES FOR ALL JUNCTION BOXES AND/OR OUTLET BOXES NOT USED IN EXPOSED AREAS. PROVIDE ALL OTHER UNUSED BOXES WITH STANDARD STEEL COVER PLATES. P. WHERE APPLICABLE, PROVIDE ROOFTOP CONDUIT SUPPORT SYSTEM, CONFORMING TO ROOFTOP WARRANTY REQUIREMENTS, PER BUILDING.

WIRES AND CABLES

1. CONTRACTOR TO COORDINATE WITH EQUIPMENT SUPPLIER AND VENDOR FOR EXACT EQUIPMENT OVER-CURRENT PROTECTION VOLTAGE, WIRE SIZE AND PLUG CONFIGURATION, IF APPLICABLE, PRIOR TO BID.
2. ALL EQUIPMENT/DEVICES TO BE PROVIDED WITH INSULATED GROUND CONDUCTOR.
3. ALL WIRE AND CABLE TO BE 600VOLT, COPPER, WITH THWN/ THHN INSULATION, EXCEPT AS NOTED.
4. WIRE FOR POWER AND LIGHTING WILL NOT BE LESS THAN NO. 12AWG. ALL WIRE NO. 8 AND LARGER TO BE STRANDED.
5. CONTROL WIRING IS NOT TO BE LESS THAN NO. 14AWG, FLEXIBLE IN SINGLE CONDUCTORS OR MULTI-CONDUCTOR CABLES. CONTROL WIRING WILL CONSIST OF MULTI-CONDUCTOR CABLES WHEREVER POSSIBLE. CABLES TO BE PROVIDED WITH AN OVERALL FLAME-RETARDANT, EXTRUDED JACKET AND RATED FOR PLENUM USE. ALL CONTROL WIRE TO BE 600VOLT RATED.
6. WIRE PREVIOUSLY PULLED INTO CONDUIT IS CONSIDERED USED AND IS NOT TO BE RE-PULLED.
7. HOME RUNS AND BRANCH CIRCUIT WIRING FOR 20A, 120V CIRCUITS:

WIRING DEVICES
1. ALL RECEPTACLES INSTALLED IN THIS PROJECT TO BE GROUNDING TYPE, WITH GROUNDING PIN SLOT CONNECTED TO DEVICE GROUND SCREW FOR GROUND WIRE CONNECTION. DISCONNECT SWITCHES AND FUSES
1. DISCONNECT SWITCHES TO BE VOLTAGE-RATED TO SUIT THE CHARACTERISTICS OF THE SYSTEM FROM WHICH THEY ARE SUPPLIED. 2. PROVIDE HEAVY-DUTY, METAL-ENCLOSED, EXTERNALLY-OPERATED DISCONNECT SWITCHES, FUSED OR UNFUSED, OF SUCH TYPE AND SIZE AS REQUIRED TO PROPERLY PROTECT OR DISCONNECT THE LOAD FOR WHICH THEY ARE INTENDED. 3. PROVIDE NEMA 1 DISCONNECT SWITCHES FOR INTERIOR INSTALLATION, NEMA 3R FOR EXTERIOR INSTALLATION. 4. DISCONNECT SWITCHES TO BE MANUFACTURED BY: A. GENERAL ELECTRIC COMPANY B. SQUARE-D 5. PROVIDE RK-1 TYPE FUSES, UNLESS NOTED OTHERWISE.

DISCONNECT SWITCHES AND FUSES
1. DISCONNECT SWITCHES TO BE VOLTAGE-RATED TO SUIT THE CHARACTERISTICS OF THE SYSTEM FROM WHICH THEY ARE SUPPLIED. 2. PROVIDE HEAVY-DUTY, METAL-ENCLOSED, EXTERNALLY-OPERATED DISCONNECT SWITCHES, FUSED OR UNFUSED, OF SUCH TYPE AND SIZE AS REQUIRED TO PROPERLY PROTECT OR DISCONNECT THE LOAD FOR WHICH THEY ARE INTENDED. 3. PROVIDE NEMA 1 DISCONNECT SWITCHES FOR INTERIOR INSTALLATION, NEMA 3R FOR EXTERIOR INSTALLATION. 4. DISCONNECT SWITCHES TO BE MANUFACTURED BY: A. GENERAL ELECTRIC COMPANY B. SQUARE-D 5. PROVIDE RK-1 TYPE FUSES, UNLESS NOTED OTHERWISE.
SHOP DRAWINGS
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS TO THE OWNER FOR APPROVAL. 2. ALL SHOP DRAWINGS SHALL BE REVIEWED, CHECKED AND CORRECTED BY CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER.
PRODUCTS AND SUBSTITUTIONS
1. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBSTITUTION. IN EACH REQUEST, IDENTIFY THE PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED SPECIFICATION SECTION AND DRAWING NUMBERS AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS. 2. SUBMIT ALL NECESSARY PRODUCT DATA AND CUT SHEETS WHICH PROPERLY INDICATE AND DESCRIBE THE ITEMS, PRODUCTS AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE OWNER, SUBMIT ACTUAL SAMPLES TO THE OWNER FOR APPROVAL IN LIEU OF CUT SHEETS.

GENERAL NOTES:

INTENT
1. THESE SPECIFICATIONS AND CONSTRUCTION DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE DONE AND THE MATERIALS TO BE FURNISHED FOR CONSTRUCTION. 2. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED, OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH 3. THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT. 4. THE PURPOSE OF THE SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESIGNATE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK. 5. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. NO CHANGES THAT ALTER THE CHARACTER OF THE WORK WILL BE MADE OR PERMITTED BY THE OWNER WITHOUT ISSUING A CHANGE ORDER.

CONFLICTS
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATIONS OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSION WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE OWNER FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREAS. 2. THE BIDDER, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING CONCERNING SUCH BIDDER MIGHT HAVE FULLY INFORMED THEMSELVES PRIOR TO THE BIDDING. 3. NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES OR CONDITIONS THAT MAY BE ENCOUNTERED, OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED IN THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONTRACT DOCUMENTS GOVERNING THE WORK.

CONTRACTS AND WARRANTIES
1. CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND PAYMENT OF CONTRACTOR LICENSES AND BONDS. 2. SEE MASTER CONTRACTION SERVICES AGREEMENT FOR ADDITIONAL DETAILS.

STORAGE
1. ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY FASHION AND IN A MANNER THAT DOES NOT NECESSARILY OBSTRUCT THE FLOW OF OTHER WORK. ANY STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE ASSOCIATED MANUFACTURER.

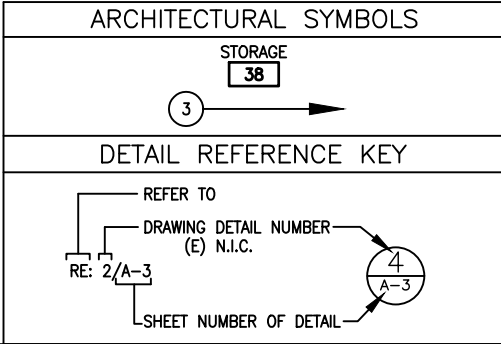
CLEANUP
1. THE CONTRACTORS SHALL, AT ALL TIMES, KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK AND AT THE COMPLETION OF THE WORK. THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING AREA, INCLUDING ALL THEIR TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND SHALL LEAVE THEIR WORK CLEAN AND READY TO USE. 2. EXTERIOR A. VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER FOREIGN MATTER. B. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES. C. IF NECESSARY, TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE. 3. INTERIOR A. VISUALLY INSPECT INTERIOR SURFACE AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER FOREIGN MATTER FROM WALLS, FLOOR, AND CEILING. B. REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES. C. REMOVE PAINT DROPPINGS, SPOTS, STAINS, AND DIRT FROM FINISHED SURFACES.

CHANGE ORDER PROCEDURE:
1. REFER TO SECTION 17 OF SIGNED MCSA: SEE PROFESSIONAL SERVICE AGREEMENT FOR MCSA.

RELATED DOCUMENTS AND COORDINATION
1. GENERAL CARPENTRY, ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK, THE CONTRACTOR MUST REFER TO ALL DRAWINGS. ALL COORDINATION TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

SHOP DRAWINGS
1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS TO THE OWNER FOR APPROVAL. 2. ALL SHOP DRAWINGS SHALL BE REVIEWED, CHECKED AND CORRECTED BY CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER.

PRODUCTS AND SUBSTITUTIONS
1. SUBMIT 3 COPIES OF EACH REQUEST FOR SUBSTITUTION. IN EACH REQUEST, IDENTIFY THE PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED SPECIFICATION SECTION AND DRAWING NUMBERS AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS. 2. SUBMIT ALL NECESSARY PRODUCT DATA AND CUT SHEETS WHICH PROPERLY INDICATE AND DESCRIBE THE ITEMS, PRODUCTS AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE OWNER, SUBMIT ACTUAL SAMPLES TO THE OWNER FOR APPROVAL IN LIEU OF CUT SHEETS.



QUALITY ASSURANCE
1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THESE SHALL INCLUDE, BUT NOT BE LIMITED TO THE APPLICABLE CODES SET FORTH BY THE LOCAL GOVERNING BODY. SEE "CODE COMPLIANCE" T-1.
ADMINISTRATION
1. BEFORE THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR WILL ASSIGN A PROJECT MANAGER WHO WILL ACT AS A SINGLE POINT OF CONTACT FOR ALL PERSONNEL INVOLVED IN THIS PROJECT. THIS PROJECT MANAGER WILL DEVELOP A MASTER SCHEDULE FOR THE PROJECT WHICH WILL BE SUBMITTED TO THE OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK. 2. SUBMIT A BAR TYPE PROGRESS CHART, NOT MORE THAN 3 DAYS AFTER THE DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK ON THE SCHEDULE, INDICATING A TIME BAR FOR EACH MAJOR CATEGORY OR UNIT OF WORK TO BE PERFORMED AT THE SITE, PROPERLY SEQUENCED AND COORDINATED WITH OTHER ELEMENTS OF WORK AND SHOWING COMPLETION OF THE WORK SUFFICIENTLY IN ADVANCE OF THE DATE ESTABLISHED FOR SUBSTANTIAL COMPLETION OF THE WORK. 3. PRIOR TO COMMENCING CONSTRUCTION, THE OWNER SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES. THIS WOULD INCLUDE, BUT NOT LIMITED TO, THE OWNER, PROJECT MANAGER, CONTRACTOR, LAND OWNER REPRESENTATIVE, LOCAL TELEPHONE COMPANY, TOWER ERECTION FOREMAN (IF SUBCONTRACTED). 4. CONTRACTOR SHALL BE EQUIPPED WITH SOME MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A MOBILE PHONE OR A BEEPER. THIS EQUIPMENT WILL NOT BE SUPPLIED BY THE OWNER, NOR WILL WIRELESS SERVICE BE ARRANGED. 5. DURING CONSTRUCTION, CONTRACTOR MUST ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES. CONTRACTOR WILL COMPLY WITH ALL WPCS SAFETY REQUIREMENTS IN THEIR AGREEMENT. 6. PROVIDE WRITTEN DAILY UPDATES ON SITE PROGRESS TO THE OWNER. 7. COMPLETE INVENTORY OF CONSTRUCTION MATERIALS AND EQUIPMENT IS REQUIRED PRIOR TO START OF CONSTRUCTION. 8. NOTIFY THE OWNER/PROJECT MANAGER IN WRITING NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, TOWER ERECTIONS, AND EQUIPMENT CABINET PLACEMENTS.

INSURANCE AND BONDS
1. CONTRACTOR, AT THEIR OWN EXPENSE, SHALL CARRY AND MAINTAIN, FOR THE DURATION OF THE PROJECT, ALL INSURANCE, AS REQUIRED AND LISTED, AND SHALL NOT COMMENCE WITH THEIR WORK UNTIL THEY HAVE PRESENTED AN ORIGINAL CERTIFICATE OF INSURANCE STATING ALL COVERAGES TO THE OWNER. REFER TO THE MASTER AGREEMENT FOR REQUIRED INSURANCE LIMITS. 2. THE OWNER SHALL BE NAMED AS AN ADDITIONAL INSURED ON ALL POLICIES. 3. CONTRACTOR MUST PROVIDE PROOF OF INSURANCE.

ABBREVIATIONS	
ADJ	ADJUSTABLE
AGL	ABOVE GROUND LINE
&	AND
APPROX	APPROXIMATE
⊙	AT
BTS	BASE TRANSMISSION STATION
CAB	CABINET
CLG	CEILING
CONC	CONCRETE
CONT	CONTINUOUS
DIA OR Ø	DIAMETER
DWG	DRAWING
EA	EACH
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EGB	EQUIPMENT GROUND BAR
EXT	EXTERIOR
FF	FINISHED FLOOR
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GRND	GROUND
LG	LONG
MAX	MAXIMUM
MECH	MECHANICAL
MW	MICROWAVE DISH
MFR	MANUFACTURER
MGB	MASTER GROUND BAR
MIN	MINIMUM
MTL	METAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OPP	OPPOSITE
PCS	PERSONAL COMMUNICATION SYSTEM
PPC	POWER PROTECTION CABINET
SF	SQUARE FOOT
SHT	SHEET
SIM	SIMILAR
SS	STAINLESS STEEL
STL	STEEL
TOC	TOP OF CONCRETE
TOM	TOP OF MASONRY
TYP	TYPICAL
VIF	VERIFY IN FIELD
UON	UNLESS OTHERWISE NOTED
WWF	WELDED WIRE FABRIC
W/	WITH

INFINIGY 8

1033 WATERVLIET SHAKER RD
ALBANY, NY 12205
TEL (518) 680-0790
FAX (518) 680-0793

TF - Mobile-

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF APPLICABLE STATE AND/OR LOCAL LAWS

C	DESIGN REVISIONS	RWF	01/21/19
B	DESIGN REVISIONS	RWF	11/26/18
A	ISSUED FOR REVIEW	SL	10/04/18
No.	Submittal / Revision	App'd	Date
Drawn: RCD			
Designed: MRL			
Checked: AJP			

Project Number:
499-033

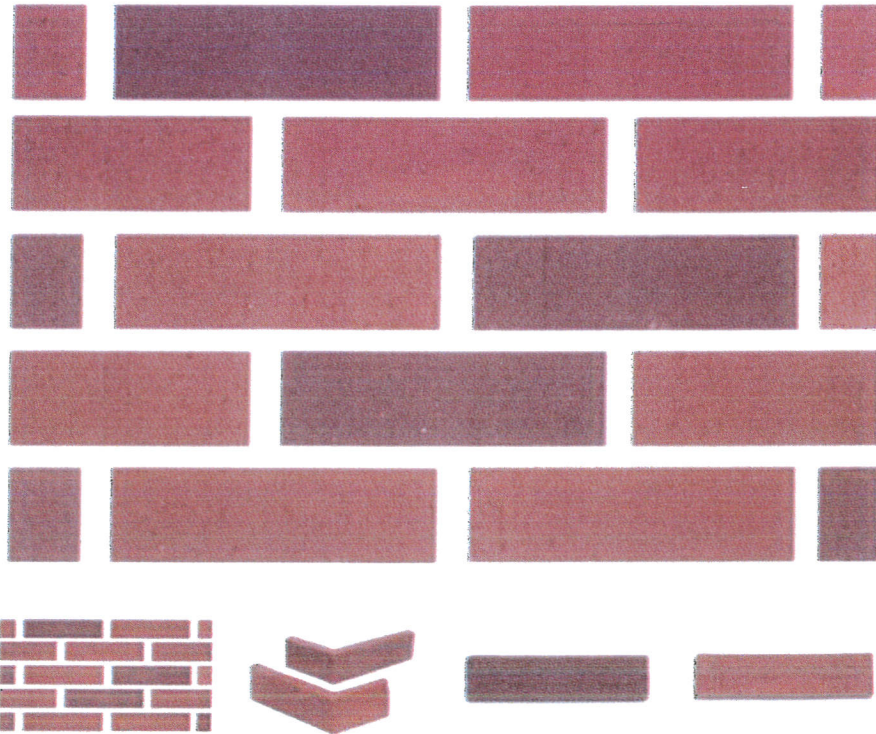
Project Title:
7WAC315N
HERNDON WATER

624 ALABAMA DRIVE
HERNDON, VA 20170

Prepared For:
smartlink

Drawing Title
GENERAL
NOTES

Drawing Number
N1



OLD RED BLEND WIRECUT

ARCHITECTURAL REVIEW BOARD STANDARDS FOR DESIGN REVIEW

Taken from ARB Charter – Chapter 58 (Planning) of Herndon Town Code (2000)

DIVISION 4. STANDARDS* _____

***Charter references:** Standards and purpose, § 7.4:1(c). _____

Sec. 58-96. Design criteria.

The board of architectural review and, on appeal, the town council shall use the following standards and criteria in considering applications filed under this article:

- (1) Whether or not the proposed architectural design is suitable for a good suburban community in terms of external architectural features, including signs subject to public view, general design and arrangement, texture, color, line, mass, dimension, material and lighting.
- (2) Whether or not the proposed structure, building or improvement is compatible with existing well-designed structures, acceptable to the board, in the vicinity and in the town as a whole.
- (3) Whether or not, and to what extent, the proposed structure, building or improvement would promote the general welfare and protect the public health, safety and morals by tending to maintain or augment the town's tax base as a whole, generating business activity, maintaining and creating employment opportunity, preserving historical sites and structures and making the town a more attractive and desirable place in which to live.
- (4) Whether or not proposed freestanding buildings use the same or architecturally harmonious materials, color, texture and treatment for all exterior walls; and in the case of partially freestanding buildings, whether or not the same or architecturally harmonious materials, color, texture and treatment are used on all portions of all exterior walls exposed to public view.
- (5) Whether or not the combination of architectural elements proposed for a structure, building or improvement, in terms of design, line, mass, dimension, color, material, texture, lighting, landscaping and roofline and height conform to accepted architectural principles for permanent buildings as contrasted with engineering standards designed to satisfy safety requirements only; and exhibit external characteristics of demonstrated architecture and aesthetic durability.
- (6) Whether or not, in terms of design, material, texture, color, lighting, landscaping, dimension, line, mass or roof line and height, the proposed structure, building or improvement is designed to serve primarily as an advertisement or commercial display, exhibits exterior characteristics likely to deteriorate rapidly, would be of temporary or shortterm architectural or aesthetic acceptability, would be plainly offensive to human sensibilities or would otherwise constitute a reasonable foreseeable detriment to the community.

(Code 1992, § 4-16)

Case Number & Type: ARB #19-22; Wall Signs
Case Summary: Replace existing wall signs with new corporate business signs on two building elevations
Case Location: 905 Herndon Parkway

Location Map



Property Information

Owner / Applicant:	CH Retail Fund IIDC Metro Herndon Parkway, LLC c/o Lindsey, Pfisterer, Rosenthal Properties		
Representative:	Frank Cavanaugh, ARK Signs		
Business/Organization:	Potbelly Sandwich Works, LLC		
Property Use:	Multi-tenant, single story commercial		
Zoning District:	CS, Commercial Services		
Adjacent Zoning:	North: CO, Commercial Office	East: PD-R, Planned Development - Residential	West: CS – Commercial Services
Associated Cases:	ARB #07-29		
Building Type(s):	Single-story steel framed with composite exterior materials	Date of Construction:	2007
Architectural Style(s):	Post-modern, typical suburban commercial /retail expression		

Exterior Material(s):	Composite – brick and stone veneers, typical retail metal/glass storefronts, precast stone accents with a standing seam metal roof
Neighborhood Design Profile:	Existing commercial uses with planned residential uses adjacent to the subject property

Case Details

Case Description:

The proposed wall signs would display the business name for the existing restaurant tenant with a newer corporate business sign design than the existing signs on the north and west elevations. The new signs would be centered at a maximum height of 20' over the existing business entry doors on the north elevation; and positioned in the same location of the existing sign off-centered on the west elevation. The applicant has proposed a second option for the west elevation wall sign which in the wall sign can be centered over the first bay of storefront windows. The application also indicates new or different awnings over the storefront window systems which are not to be considered as a part of this case.

The overall sign dimensions for the north elevation sign would be 3'-11" tall by 7'-7" wide by 6" thick/deep. The overall sign dimensions for the west elevation sign would be 5'-3" tall by 10'-1" wide by 6" thick/deep. The sign would be constructed of a fabricated aluminum 2" deep nested pan panel in brown (PMS 15454C Brown) and yellow (PMS 1235 Yellow) color to serve as the sign trim and painted two-tone green colors (PMS 5615C Green with an 81% tint for the symbol pattern) to serve as the background for the corporate symbol and sign lettering. The corporate logo/symbol will be fabricated 2.5" deep reverse channel with the graphics routed out an applied 3M translucent film layers in 3M Sunflower Yellow, black and white to compose the graphic symbol and colors. The "Potbelly Sandwich Shop" lettering will be a fabricated 3.5" deep aluminum channel letters with Yellow Plexiglass faces retained by a Black Jewelite color trim. The signs will be internally lit and backlit for the Potbelly corporate symbol using white LED lights. The entire sign composition(s) will be mounted to the existing brick façade(s) using 3/8" wedge anchors.

In addition, the application proposes to replace an existing sign panel on the Herndon Parkway Crossing monument sign with a white Lexan® face and matte black translucent film for the sign lettering.

Using appropriate method for calculating the wall sign area(s) found in the Town's Zoning Ordinance, the signs will cover 27.4 square feet of surface area on the north elevation and 53.1 square feet of surface area on the elevation (Attachments #1, #2, #3, and #4).

Case Background:

The tenant space occupied by this business was the subject of a previous ARB case, ARB #07-29, for which the existing signage was approved. In the previous case, the tenant proposed the exact amount of sign area and location(s) as is being proposed in this current application, only with updated corporate sign designs being presented.

Applicable Design Guidelines & Standards:

- Town Zoning Ordinance, Section, 78-140.6. - General standards for all signs
- Town Zoning Ordinance Section 78-141.4. - Sign standards for commercial districts
- Town Code of Ordinances, Section 58-96 Design criteria

Staff Analysis

1. The application proposes a total of 80.5 square feet of signage between two wall signs to be placed along two elevations having frontage along Elden Street and Herndon Parkway; and places each sign no higher than 20' on the facades, in either case. Section 78-141.4. - Sign standards for commercial districts, Table 141.4(a) specifies that one (1) square foot of sign area for each linear foot of frontage is authorized in the CS zoning district with a maximum of 150 square per sign. In this case, the west elevation is considered a street facing façade and thus the sign may be placed in either location proposed by the applicant. The proposed signage meets the location, size, and number standards of the referenced zoning ordinance section.
2. The proposed signs meet the Town Zoning Ordinance, Section, 78-140.6. - General standards for all signs regarding, the sign types, design, placement, and illumination.
3. The proposed sign generally complies with the applicable design criteria within the Town's Architectural Control District as specified in Section 58-96 of the Town Code of Ordinances (Attachment #5). However, in this case, staff finds that the proposed sign location(s) on the west elevation are somewhat awkward and the Board should consider placement of the west elevation sign over the second storefront bay, which is closer to center of the elevation and over an existing entrance to the tenant space within the storefront bay while still somewhat visible from Elden Street, which was the purpose of this sign in the previous approval.

Staff Recommendation:

Motion Alternatives:	1. Motion to deny the application. 2. Motion to approve the application as submitted. 3. Motion to approve with condition(s). 4. Motion to continue public hearing to a date certain or the next ARB Public Hearing for action to address a specified design issue or concern of the Board.
Recommended Motion:	Motion for approval of ARB #19-22, in accordance with Alternative #3, with the following condition: 1. Revise the submitted application and sign location on the west elevation to be centered over the second (from the left of the building corner) storefront bay and not higher than the Zoning Ordinance maximum of 20' and to be approved by staff prior to submission of a building permit .

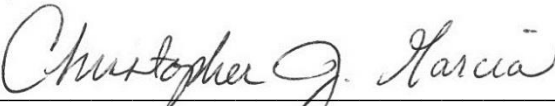
	2. The proposed signs shall be constructed /installed in substantial conformance with the application and supporting materials as submitted May 13, 2019 and any subsequent updates required by the Board to meet Condition #1, as noted.
--	---

Report Attachments

1.	Aerial Image
2.	Applicant Letter
3.	Site Photos of Existing Conditions
4.	Site Plan, Sign Elevations, Details and Product Information
5.	Town's Code of Ordinances Division 4 - Standards, Sec. 58-96. (ARB) Design Criteria

Staff Contact

Name/Title:	Christopher J. Garcia, Community Design Planner
Phone/Email:	(703)787-7380; christopher.garcia@herndon-va.gov



Christopher J. Garcia
Community Design Planner



Bryce A. Perry
Deputy Director

ELDEN
STREET

905 HERNDON
PARKWAY

HERNDON
PARKWAY

Google Earth
©2018 Google

60 ft

SITE LOCATION – AERIAL PHOTO



Imagery prepared by Town of Herndon
Department of Community Development
Image source: Google Earth © 2018



Town of Herndon:

This letter is to fulfill requirement #1 on your list. The signs are 3'11" x 7'7" and 5'3" x 10' 1 1/4".

Items submitted are 6 sets of plans , 6 sets of pictures and 1 set of samples

Thank you.

Frank Cavanagh, applicant







Building Elevation - North Scale: 1/8"=1'-0"



Building Elevation - North - Photo of Existing Storefront



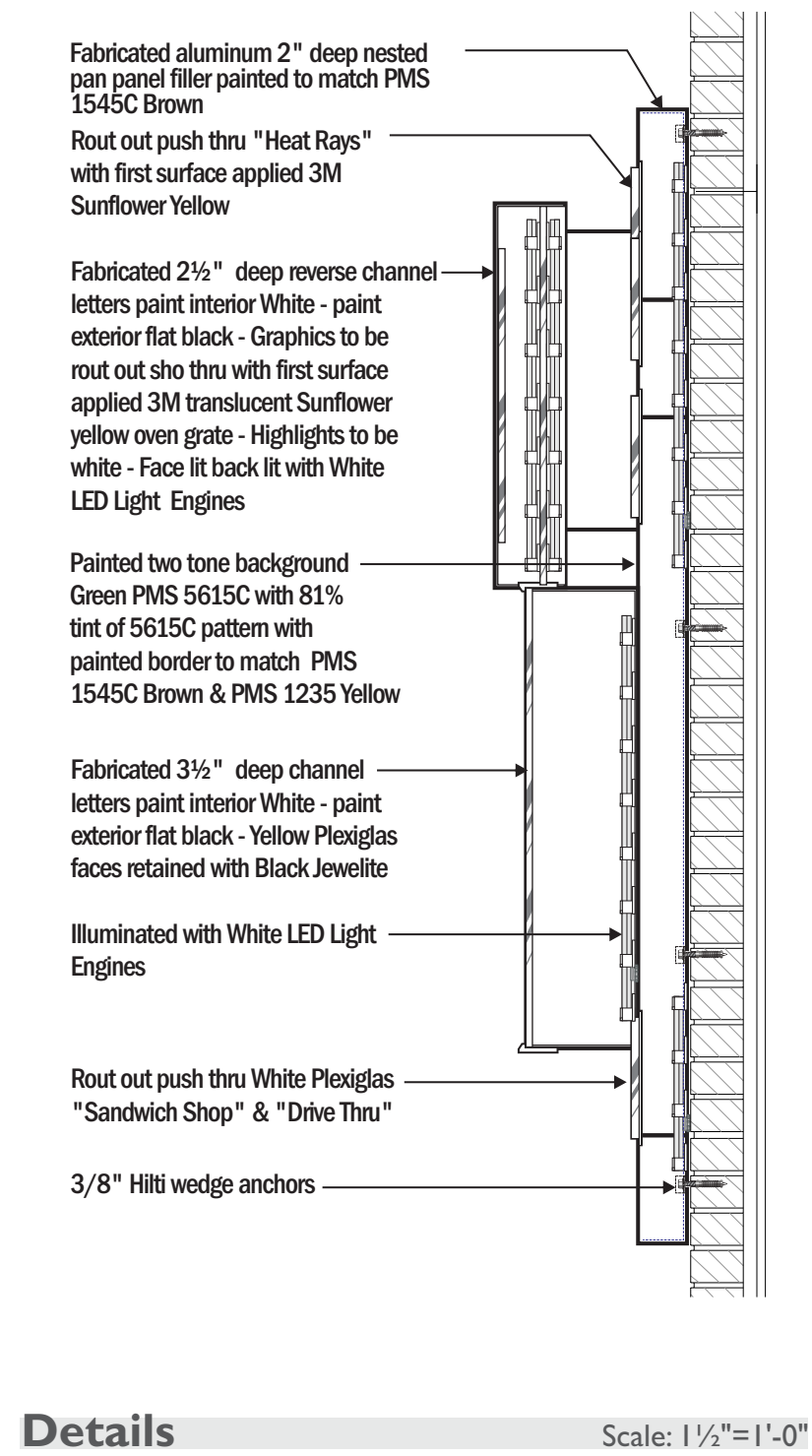
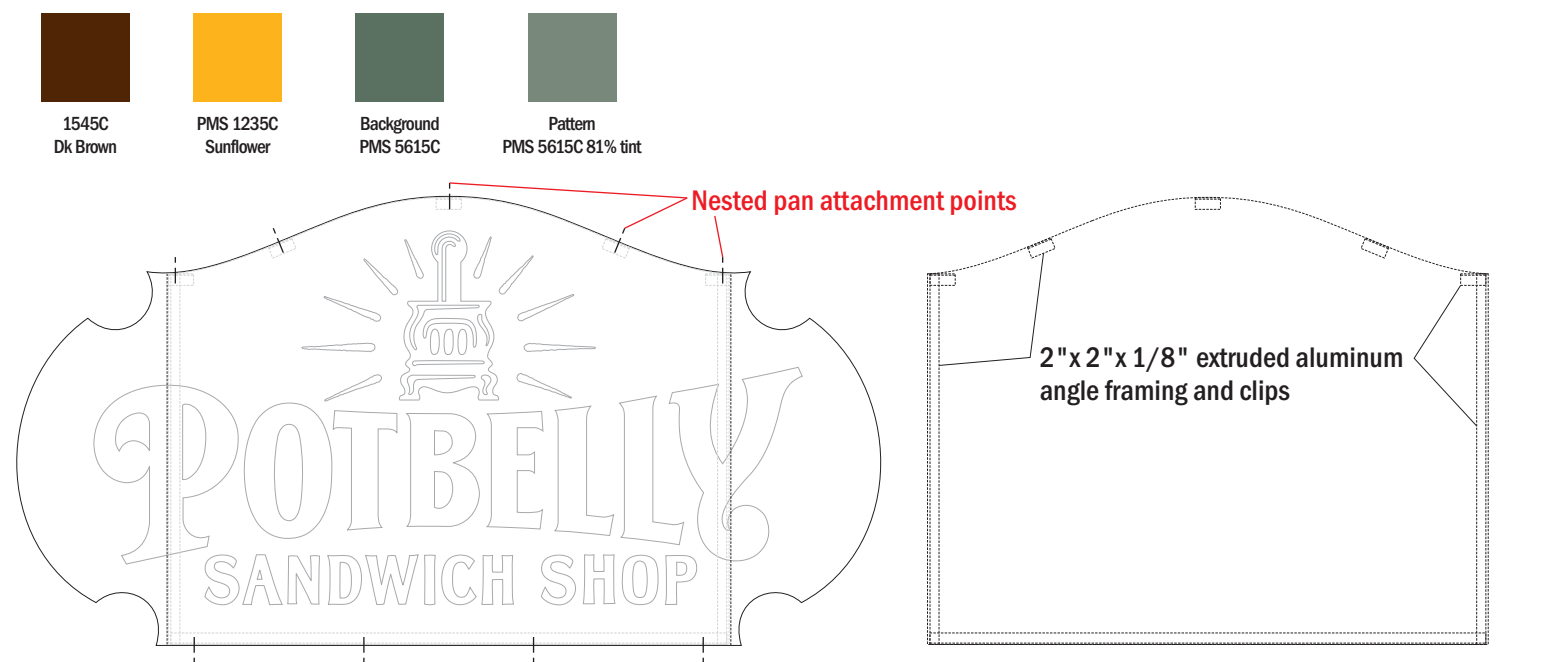
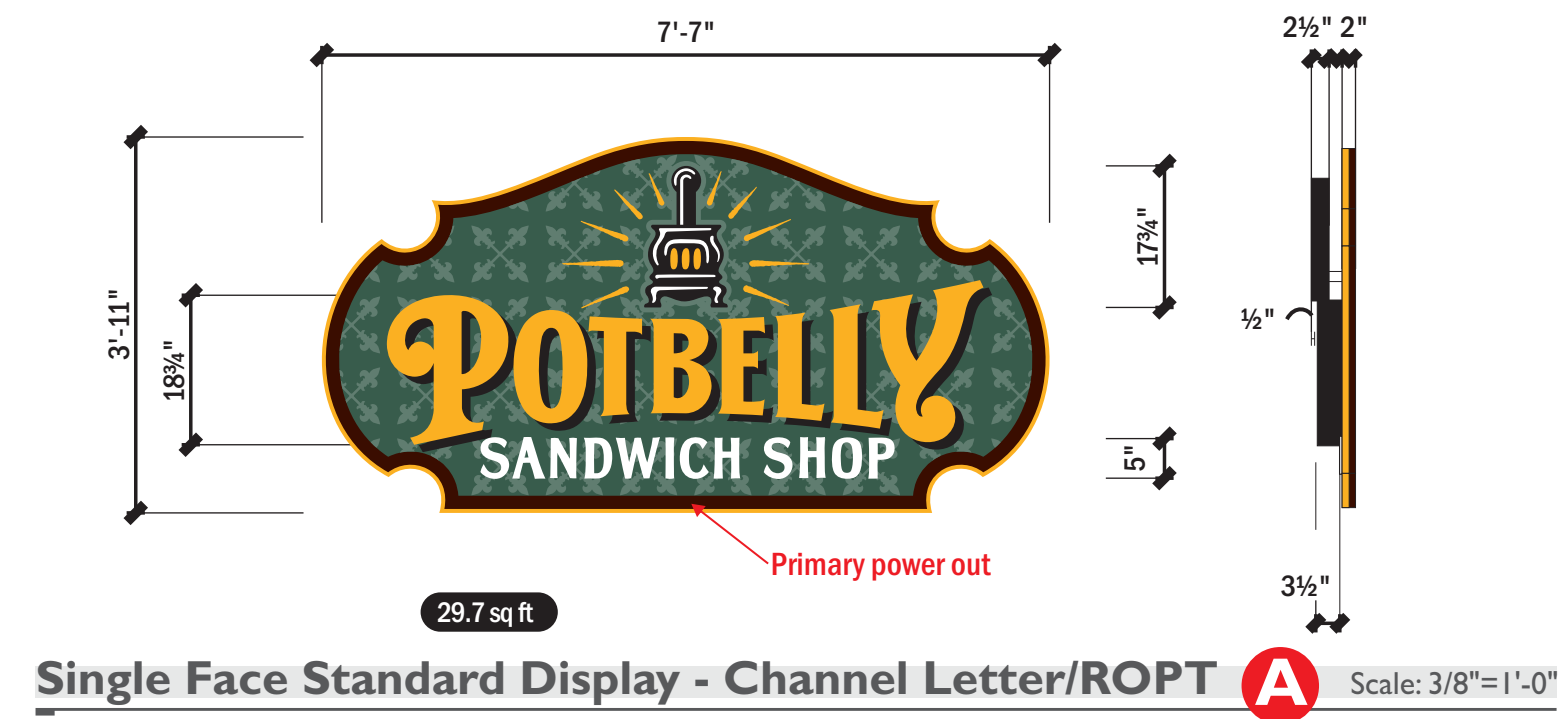
Design No.: 19-0024r6
Date: May 10, 2019
Sheet: 1 of 7
Location: 905 Herndon Pkwy
City/State: Herndon, VA 20170

Contact Information:
Salesman: Todd Hefner
Designer: Trent Schultz
P: 817.625.4323 **F:** 817.625.2123
www.awningandsign.com

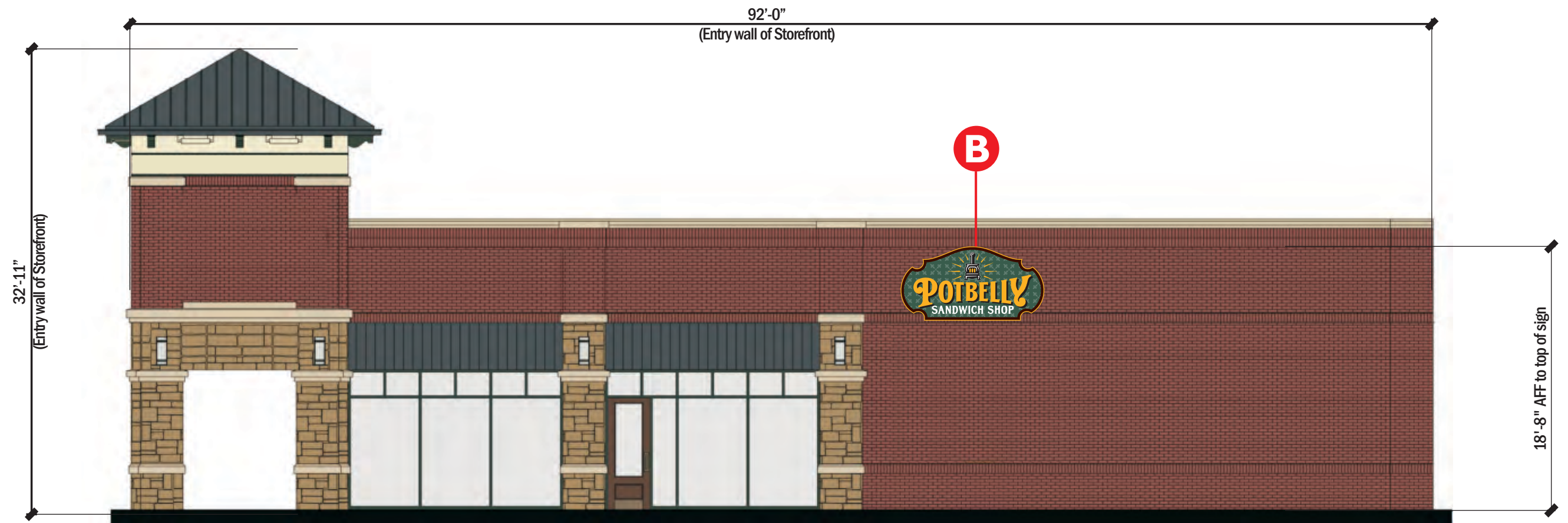
Revisions:
R2-Added Pylon faces
R3-Changed pylon colors
R4-Revised per review board

This sign is intended to be installed in accordance with the requirements of article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of sign.

National Awning & Sign, LLC. does not accept responsibility for obtaining accurate code information for sign size allowance. This document is the property of **National Awning & Sign, LLC** and may not be copied or distributed w/o expressed written consent.



Design No.: 19-0024r6	Contact Information:	Revisions:	This sign is intended to be installed in accordance with the requirements of article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of sign.	National Awning & Sign, LLC. does not accept responsibility for obtaining accurate code information for sign size allowance. This document is the property of National Awning & Sign, LLC and may not be copied or distributed w/o expressed written consent.
Date: May 10, 2019	Salesman: Todd Hefner	R		
Sheet: 1 of 7	Designer: Trent Schultz			
Location: 905 Herndon Pkwy	P817.625.4323 F817.625.2123			
City/State: Herndon, VA 20170	www.awningandsign.com			



Building Elevation - West - Option A

Scale: 1/8"=1'-0"



Building Elevation - West - Photo of Existing Storefront



Design No.: 19-0024r6
Date: May 10, 2019
Sheet: 3 of 7
Location: 905 Herndon Pkwy
City/State: Herndon, VA 20170

Contact Information:
Salesman: Todd Hefner
Designer: Trent Schultz
P:817.625.4323 F:817.625.2123
www.awningandsign.com

Revisions:
R

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Building Elevation - West - Option B

Scale: 1/8"=1'-0"



Building Elevation - West - Photo of Existing Storefront



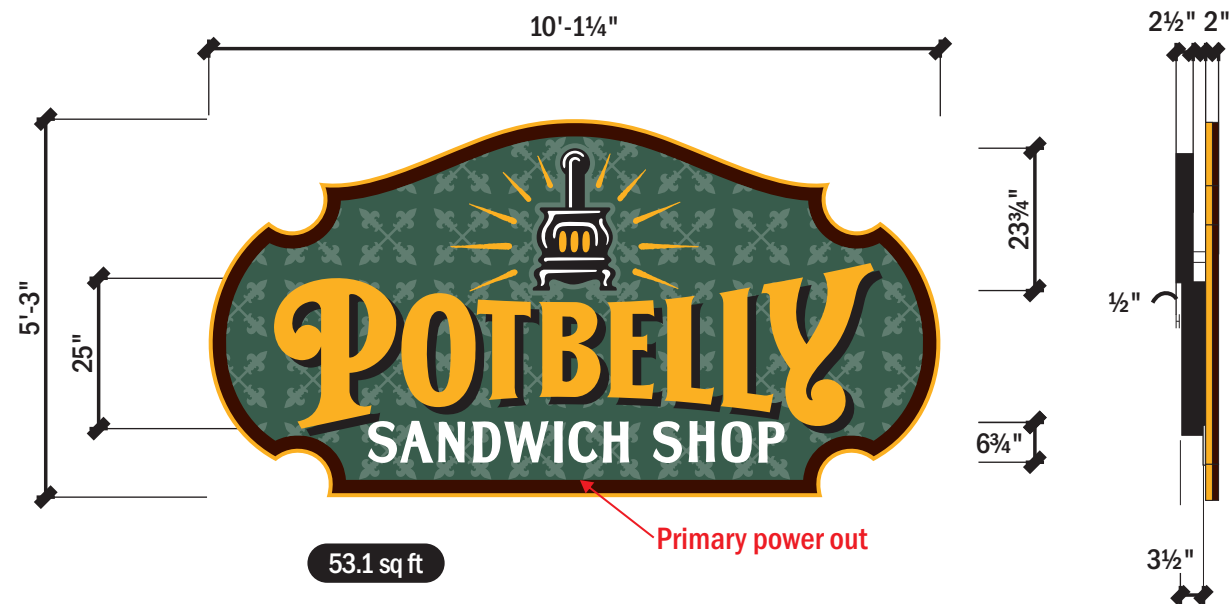
Design No.: 19-0024r6
Date: May 10, 2019
Sheet: 4 of 7
Location: 905 Herndon Pkwy
City/State: Herndon, VA 20170

Contact Information:
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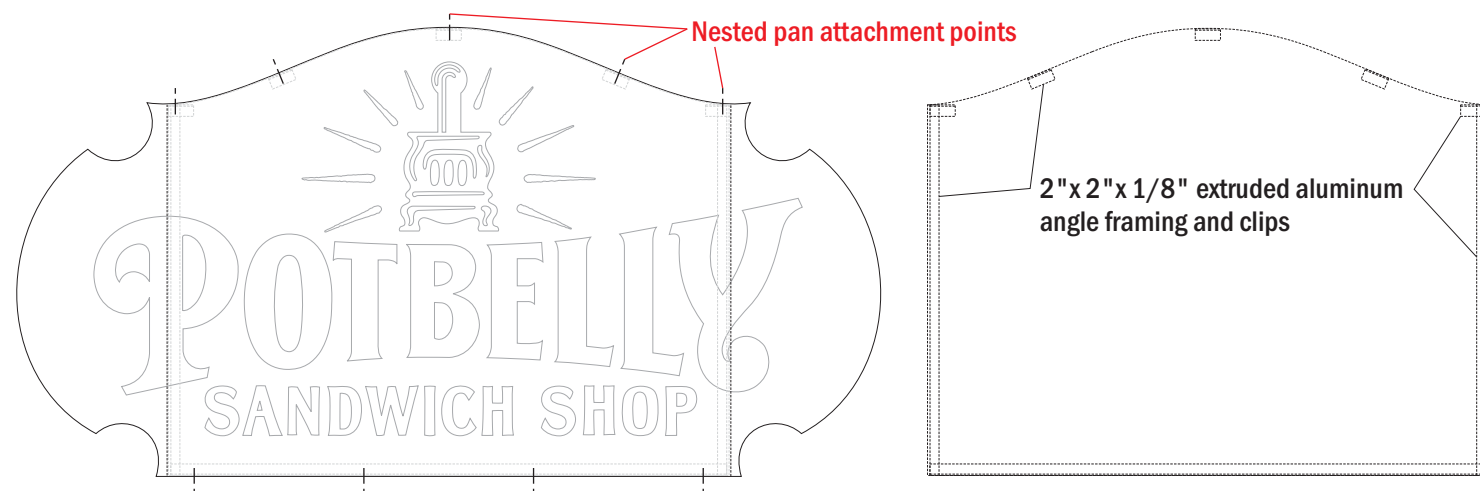
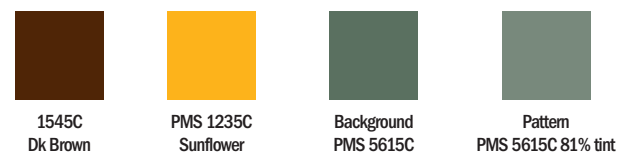
Revisions:
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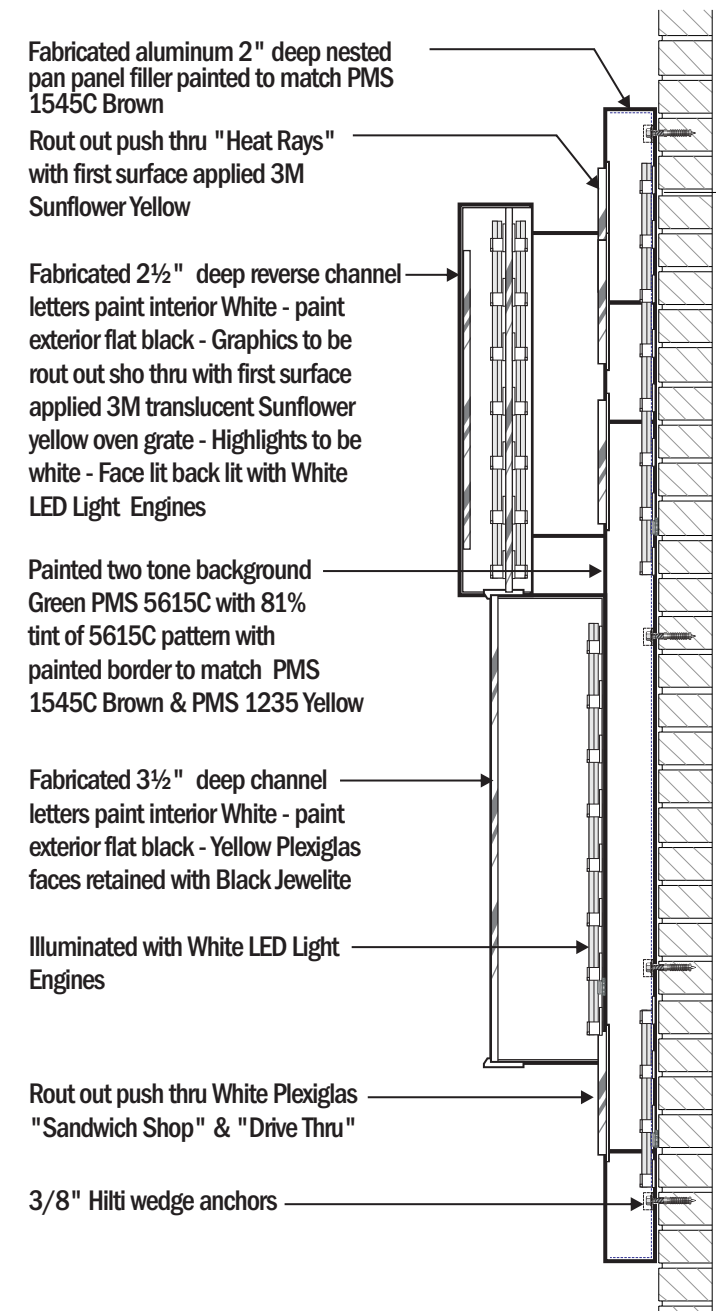
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Single Face Standard Display - Channel Letter/ROPT **B** Scale: 3/8"=1'-0"



Nested Pan Panel Frame Detail Pan Panel Frame



Details Scale: 1 1/2"=1'-0"



Design No.: 19-0024r6
Date: May 10, 2019
Sheet: 5 of 7
Location: 905 Herndon Pkwy
City/State: Herndon, VA 20170

Contact Information:
Salesman: Todd Hefner
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P817.625.4323 F817.625.2123
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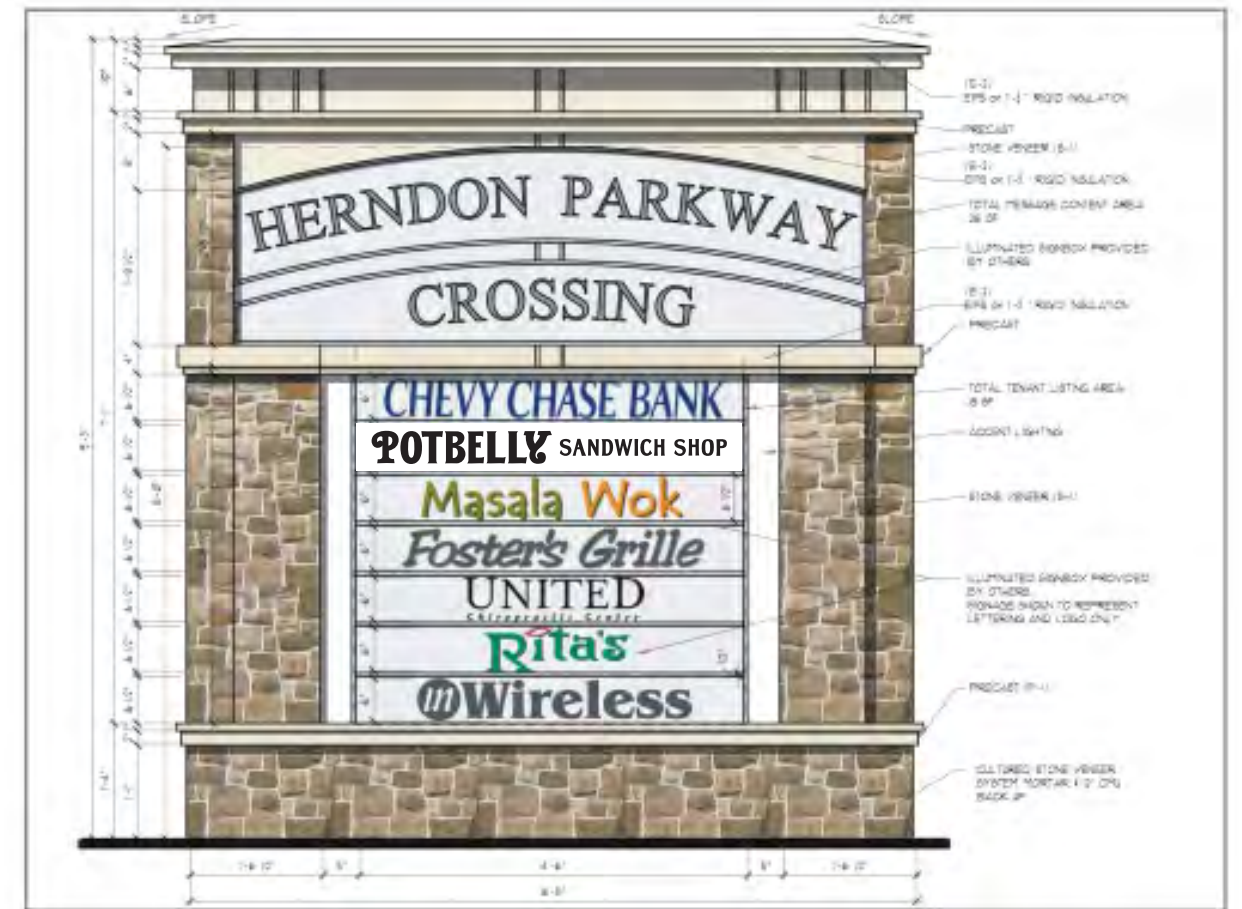
Revisions:
R

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New White Lexan faces
manufacture and install first
surface applied Translucent
Film Gerber 230-22 Matte Black



Replacement Face Elevation

Scale: 1 1/2" = 1'-0"

Placement



Monument Elevation - South



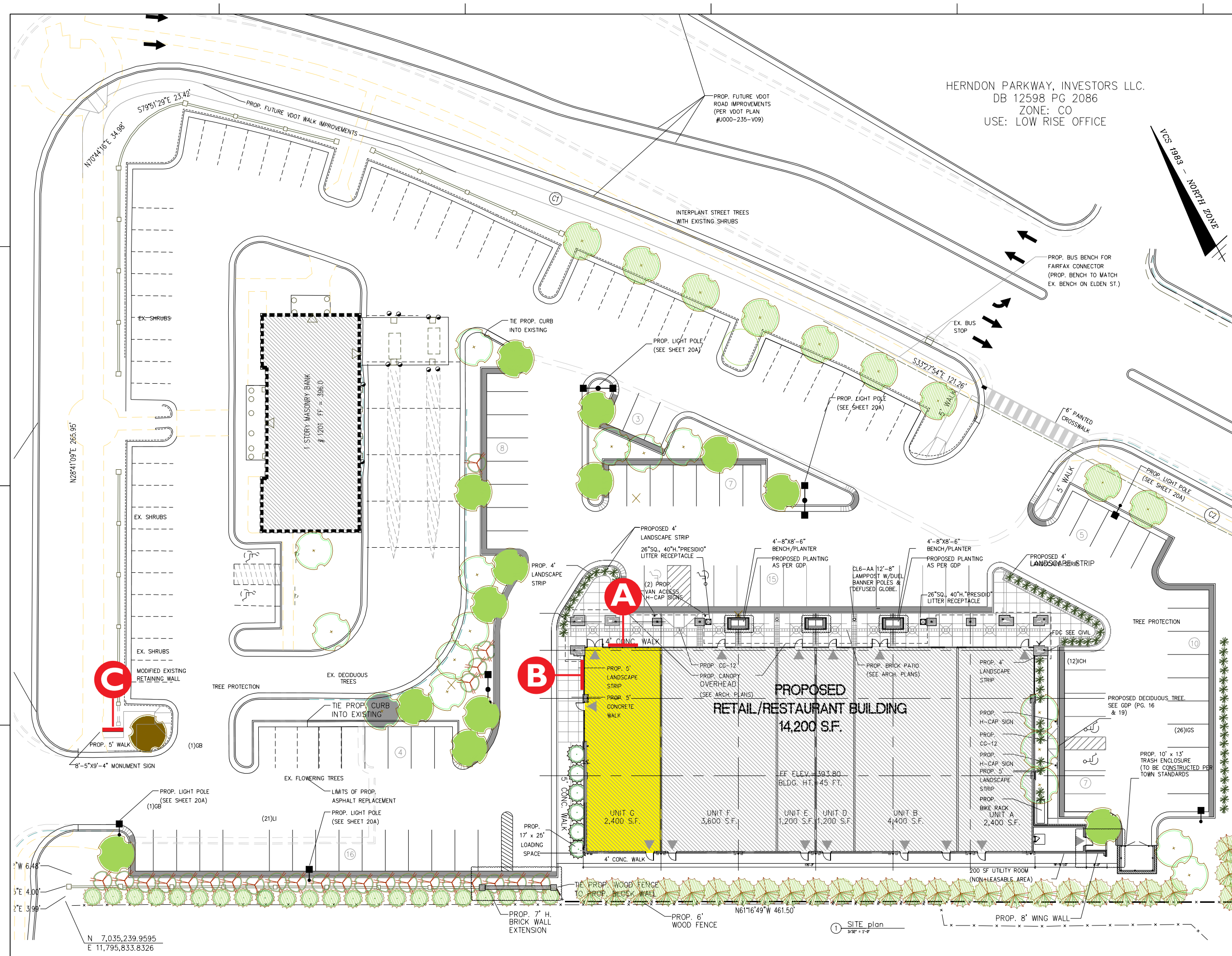
Monument Elevation - North



Design No.:	19-0024r6	Contact Information:	Revisions:
Date:	May 10, 2019	Salesman:	Todd Hefner
Sheet:	6 of 7	Designer:	Trent Schultz
Location:	905 Herndon Pkwy	P.817.625.4323	F.817.625.2123
City/State:	Herndon, VA 20170	www.awningandsign.com	

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HERNDON PARKWAY, INVESTORS LLC.
DB 12598 PG 2086
ZONE: CO
USE: LOW RISE OFFICE

Bignell

Watkins

Hasser

ARCHITECTS P.A.

Tyson's Corner, Virginia

Telephone - 703.288.3320
Fax - 703.288.4211

Annapolis, Maryland

Telephone - 410.224.2727
Fax - 410.224.4443

These drawings are the property of the Architect. Signal Watkins Hasser Architects P.A. Unauthorized reproduction for any purpose is an infringement upon copyright laws. Visitors will be subject to protection by latest edition of the law. Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variation from the dimensions and conditions shown by these drawings.

PARKING AREA LANDSCAPING REQUIREMENTS	
TOTAL PARKING SPACES PROVIDED:	136
DEC. TREES REQUIRED (1 PER 8 SPACES):	17
DECIDUOUS TREES PROVIDED:	17
EXISTING DECIDUOUS TREES:	2
PROPOSED DECIDUOUS TREES:	15

OPEN SPACE REQUIREMENT	
TOTAL SITE AREA:	110,693 SF
OPEN SPACE REQUIRED:	25%, OR 27,674 SF
OPEN SPACE PROVIDED:	25%, OR 427,775 SF (NOT INCLUDING PATIO AREA)

Revisions	
#	Date
05.13.06	SHELL PERMIT SET
06.01.06	FIRE MARSHAL REVIEW
02.14.07	WHITE BOX PERMIT SET (F.M. REVIEW)
02.26.07	WB TENANT REVISIONS-UNITED WELLNESS
07.03.07	CONSTRUCTION SET

Client:
J DONEGAN COMPANY

Location:
FAIRFAX COUNTY

Project:
THE SHOPS AT
HERNDON PARKWAY

SITE PLAN

Drawn by
C.G.

Project No.
04014.01

Date
05.13.06

A-0.1

ARCHITECTURAL REVIEW BOARD STANDARDS FOR DESIGN REVIEW

Taken from ARB Charter – Chapter 58 (Planning) of Herndon Town Code (2000)

DIVISION 4. STANDARDS* _____

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- (1) Whether or not the proposed architectural design is suitable for a good suburban community in terms of external architectural features, including signs subject to public view, general design and arrangement, texture, color, line, mass, dimension, material and lighting.
- (2) Whether or not the proposed structure, building or improvement is compatible with existing well-designed structures, acceptable to the board, in the vicinity and in the town as a whole.
- (3) Whether or not, and to what extent, the proposed structure, building or improvement would promote the general welfare and protect the public health, safety and morals by tending to maintain or augment the town's tax base as a whole, generating business activity, maintaining and creating employment opportunity, preserving historical sites and structures and making the town a more attractive and desirable place in which to live.
- (4) Whether or not proposed freestanding buildings use the same or architecturally harmonious materials, color, texture and treatment for all exterior walls; and in the case of partially freestanding buildings, whether or not the same or architecturally harmonious materials, color, texture and treatment are used on all portions of all exterior walls exposed to public view.
- (5) Whether or not the combination of architectural elements proposed for a structure, building or improvement, in terms of design, line, mass, dimension, color, material, texture, lighting, landscaping and roofline and height conform to accepted architectural principles for permanent buildings as contrasted with engineering standards designed to satisfy safety requirements only; and exhibit external characteristics of demonstrated architecture and aesthetic durability.
- (6) Whether or not, in terms of design, material, texture, color, lighting, landscaping, dimension, line, mass or roof line and height, the proposed structure, building or improvement is designed to serve primarily as an advertisement or commercial display, exhibits exterior characteristics likely to deteriorate rapidly, would be of temporary or shortterm architectural or aesthetic acceptability, would be plainly offensive to human sensibilities or would otherwise constitute a reasonable foreseeable detriment to the community.

(Code 1992, § 4-16)