

**TOWN OF HERNDON, VIRGINIA
ARCHITECTURAL REVIEW BOARD
WORK SESSION AGENDA
APRIL 3, 2019
HERNDON COUNCIL CHAMBERS BUILDING
765 LYNN STREET
7:30 P.M.**

CALL TO ORDER

1. Determination of Quorum

PUBLIC HEARINGS

2. **APPLICATION FOR ALTERATION TO AN EXISTING STRUCTURE, ARB #19-13**, to consider an application to replace and install new rooftop telecommunication antennas and associated equipment with three (3) screened enclosures on the commercial office building located at 505 Huntmar Park Drive, Herndon, Virginia, and further identified as Fairfax County Tax Map 0162-02-0156D. Owner: Brit–Herndon Square LLC, c/o Jeffrey Lee Conen. Applicant: Shannon West, Agent. *Continued from March 20, 2019 public hearing.*
3. **APPLICATION FOR A WALL OR WINDOW SIGN, ARB #19-15**, to consider an application to install three (3) new illuminated business signs on exterior walls of the commercial building located at 330 Elden Street, Herndon, Virginia, and further identified as Fairfax County Tax Map #0171-03-0001A. Owner/Applicant: Herndon Center Phase V LP., c/o Sean Bordwell, A. J. Dwoskin & Associates.
4. **APPLICATION FOR ALTERATION TO A FREE-STANDING SIGN, ARB #19-16**, to consider an application to construct a new canopy with new free-standing monument sign near an existing vehicle entrance to the office building site located at 12901 Worldgate Drive, Herndon, Virginia, and further identified as Fairfax County Tax Map 0164-02-0028B. Owner: Worldgate Dulles, LLC. Applicant: Bob Biroonak.
5. **APPLICATION FOR ALTERATION TO A FREE-STANDING SIGN, ARB #19-17**, to consider an application to construct a new canopy with new free-standing monument sign near an existing vehicle entrance to the office building site located at 12825 Worldgate Drive, Herndon, Virginia, and further identified as Fairfax County Tax Map 0164-02-0024A. Owner: Worldgate Dulles, LLC. Applicant: Bob Biroonak.
6. **APPLICATION FOR A WALL OR WINDOW SIGN, ARB #19-18**, to consider an application to install one (1) new non-illuminated business sign on an exterior wall of the commercial building located at 365 Herndon Parkway, Suite #18, Herndon, Virginia, and further identified as Fairfax County Tax Map #0171-06-E1. Owner: 365 Partners, LLC. Applicant: Kathy Bucher.

7. **APPLICATION FOR NEW CONSTRUCTION, ARB #19-19**, to consider an application to construct new architectural metal perimeter fence on the commercial property located at 900 - 902 Alabama Drive, Herndon, Virginia, and further identified as Fairfax County Tax Map 0162-13010001B. Owner: Elden Corner Center, LLC c/o Sanjay Bajaj. Applicant: Yung Kim.

COMMENTS

8. Comments from the Staff Members
9. Comments from the Board Members

ADJOURNMENT



MEMORANDUM

To: Chairman Walker and Members of the Architectural Review Board

From: Christopher J. Garcia, AICP, Community Design Planner/Deputy Zoning Administrator 

Date: March 29, 2019

Subject: ARB #19-13, 505 Huntmar Park Drive Updates

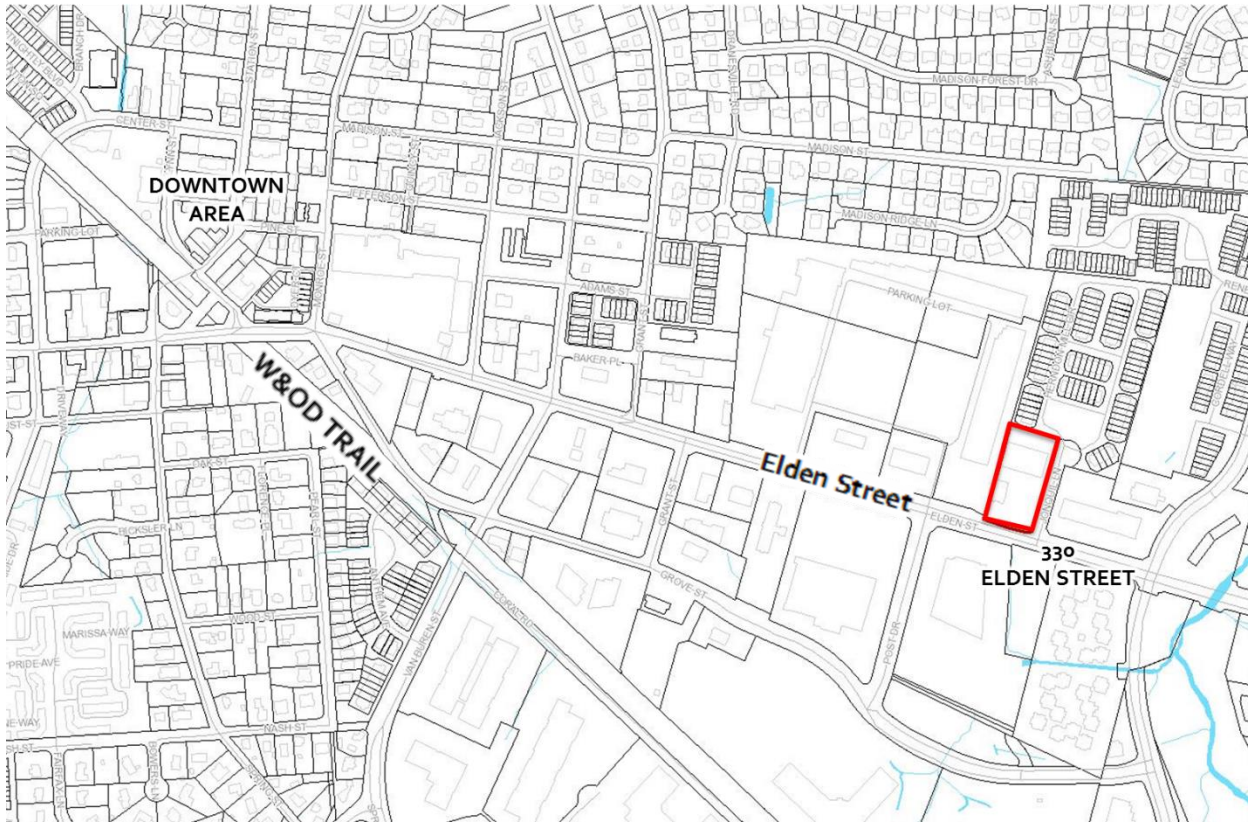
The applicant for the above referenced case, which was continued by the Architectural Review Board on March 20, 2019 at its public hearing, has not provided any updates to the Town's staff in response to the Board's comments and requests for information. The applicant was made aware of the Board's concerns and was provided weblinks to the ARB Public Hearing webcast recording in order review all of the Board's comments and concerns more thoroughly.

Staff will continue working with the applicant to seek updates and/or resolution of this case between now and the April 17, 2019 Public Hearing and does not have any updated information or comments for the Board in advance of the April 3, 2019 ARB Work Session.

Thank you.

Case Number & Type: ARB #19-15; Wall Signs
Case Summary: Install new wall signs on existing commercial building
Case Location: 330 Elden Street, Herndon Centre

Location Map



Property Information

Owner / Applicant:	Herndon Centre Phase V, LP / A.J. Dwoskin Associates c/o Sean Bordwell		
Representative:	N/A		
Business/Organization:	Café Rio		
Property Use:	Freestanding commercial restaurant		
Zoning District:	PD-B, Planned Development - Business		
Adjacent Zoning:	North: RTC, Residential Townhouse Cluster South: CS, Commercial Services/CO, Commercial Office East: CS, Commercial Services West: PD-B, Planned Development - Business		
Associated Cases:	ARB #18-27; Café Rio Alterations to an Existing Structure		
Building Type(s):	One-story commercial	Date of Construction:	2001

Architectural Style(s):	Post-modern, typical suburban commercial expression
Exterior Material(s):	Composite – Brick, glass storefront and windows, cementitious fiber board, steel trellises, tile details
Neighborhood Design Profile:	Existing commercial corridor

Case Details

Case Description:

Of the three signs, one would be centered over these storefront windows on the south elevation, one over the entrance doors on the east elevation, and one over the entrance doors on the west elevation.

Each sign is comprised of two lines, “Café Rio” and “Mexican Grill”.

The ‘*Café Rio*’ lettering would be a maximum of 26” high and constructed of aluminum channel letters with black 3/4” trim caps, black 5” returns and white translucent faces. The channel letters will be internally illuminated with white LED light strips that will face outwards and backwards for a halo effect. Each channel letter will have a 1” spacer between the channel letter backing and a 2” thick flush-mounted aluminum backer panel painted red to match the business’ corporate colors.

The “Mexican Grill” lettering will be 4 1/2” in height and constructed of an aluminum 4” deep channel with black returns, red aluminum face with routed block letters, clear acrylic push-through letters painted white on the interior faces and internal LED light trips for illumination. The entire sign channel will be mounted directly to the 2” red aluminum backer panel.

Each sign will cover 33.6 square feet of surface area on each of the three facades (Attachments# 1, 2, and 3).

Case Background:

This ARB case is a follow-on case related to ARB #18-27 which proposed alterations of the existing commercial structure to remove the existing roof, a recently updated mansard roof and soffit; as well as, redesign/rebuild the exterior walls to the same vertical plane as the existing brick veneer. The existing porticos with gabled roof forms over entrances will be removed and redesigned to a square form. The locations of the proposed signs will require these alterations to be completed prior to signage installation.

Applicable Design Guidelines & Standards:

- Town Zoning Ordinance, Section, 78-140.6. - General standards for all signs
- Town Zoning Ordinance Section 78-141.4. - Sign standards for commercial districts
- Town Code of Ordinances, Section 58-96 Design criteria (Attachment 4)

Staff Analysis

1. The application proposes 33.6 square feet of signage on two side elevations and on the primary street elevation along Elden Street. Section 78-141.4. - Sign standards for commercial districts specifies that one (1) square foot of sign area for each linear foot of frontage is authorized in the PD-B zoning district. The primary street facing façade, the south elevations is authorized approximately

43.8 square feet of signage, the side elevations, the east and west elevations, are authorized approximately 79.5 square feet of signage, respectively. Thus, the proposed signage meets the location, size, and number standards of the referenced zoning ordinance section.

2. The proposed signs meet the Town Zoning Ordinance, Section, 78-140.6. - General standards for all signs regarding, the sign types, design, placement, and illumination.
3. The proposed signs comply with the applicable design criteria within the Town's Architectural Control District as specified in Section 58-96 of the Town Code of Ordinances (Attachment# 4).

Staff Recommendation:

Motion Alternatives:	1. Motion to deny the application; 2. Motion to approve the application as submitted; 3. Motion to approve with condition(s); or 4. Motion to continue the public hearing to a date certain or the next ARB Public Hearing for action to address a specified design issue or concern of the Board.
Recommended Motion:	Motion for approval of ARB #19-02, in accordance with Alternative #3, with the following condition: 1. The proposed signage shall be installed in substantial conformance with the application and supporting materials as submitted March 8, 2019.

Report Attachments

1.	Aerial Image
2.	Applicant Letter
3.	Sign Elevation, Details and Product Information
4.	Town's Code of Ordinances Division 4 - Standards, Sec. 58-96. (ARB) Design Criteria

Staff Contact

Name/Title:	Christopher J. Garcia, Community Design Planner
Phone/Email:	(703)787.7380; christopher.garcia@herndon-va.gov



Christopher J. Garcia
Community Design Planner



Bryce A. Perry
Deputy Director

HERNDON CENTER

330 Elden St

330 ELDEN STREET

ELDEN STREET

SITE LOCATION – AERIAL PHOTO



Imagery prepared by Town of Herndon
Department of Community Development
Image source: Google Earth © 2018

Town of Herndon,

There are three identical LED illuminated signs to be installed per the provided drawings and application that are 3'2"h x 10'1"w. They are constructed from aluminum and acrylic per the provided material samples and the supplied drawings.

Thank you.

Frank Cavanagh, Applicant.

status | CONCEPTUALdrawing

300 Elden Street

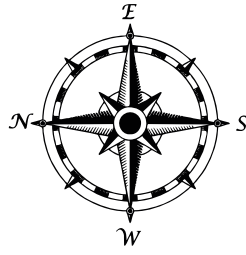
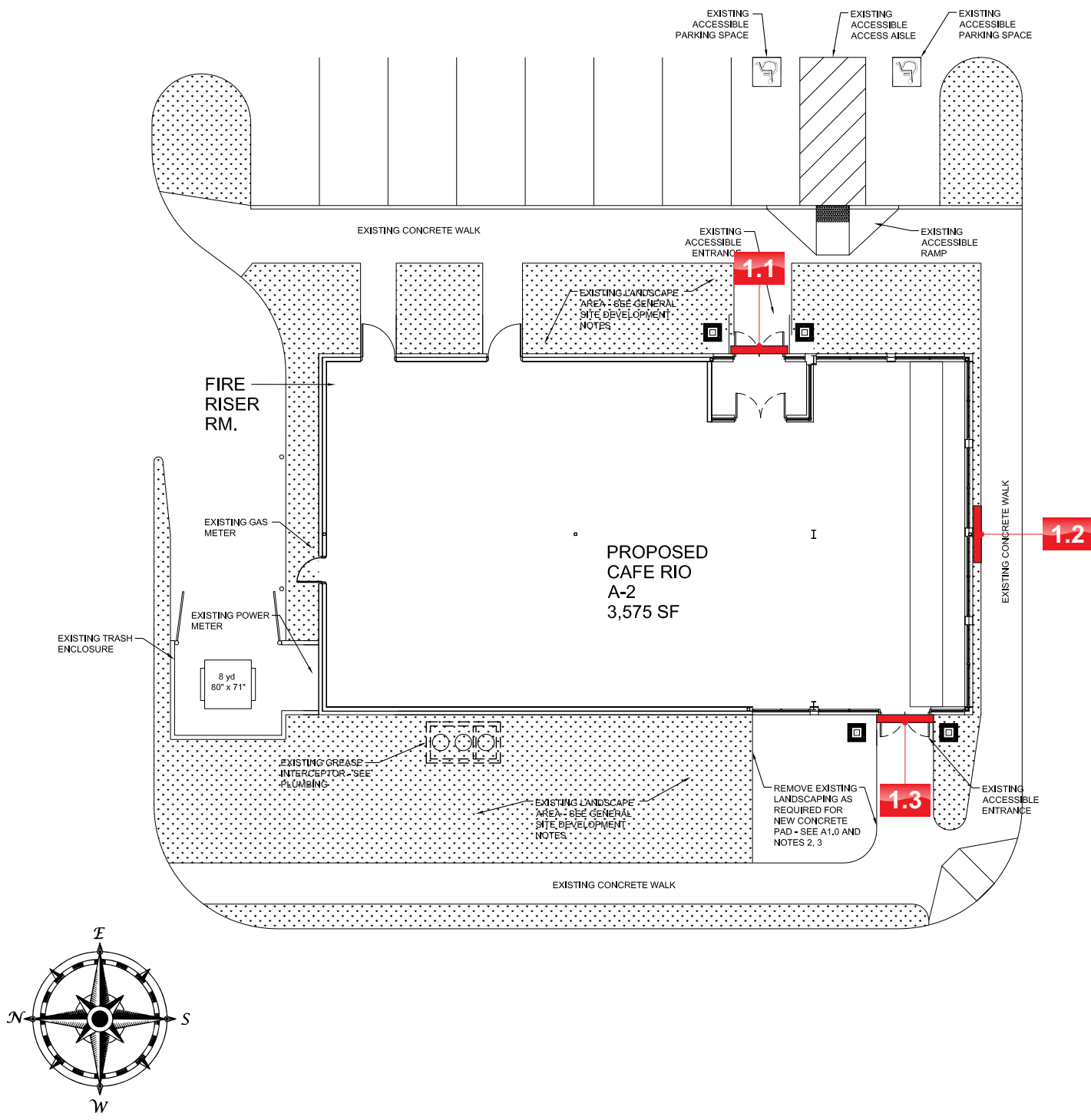
Herndon, VA 20170

J O B # 1 9 0 0 3 8 - 0 3



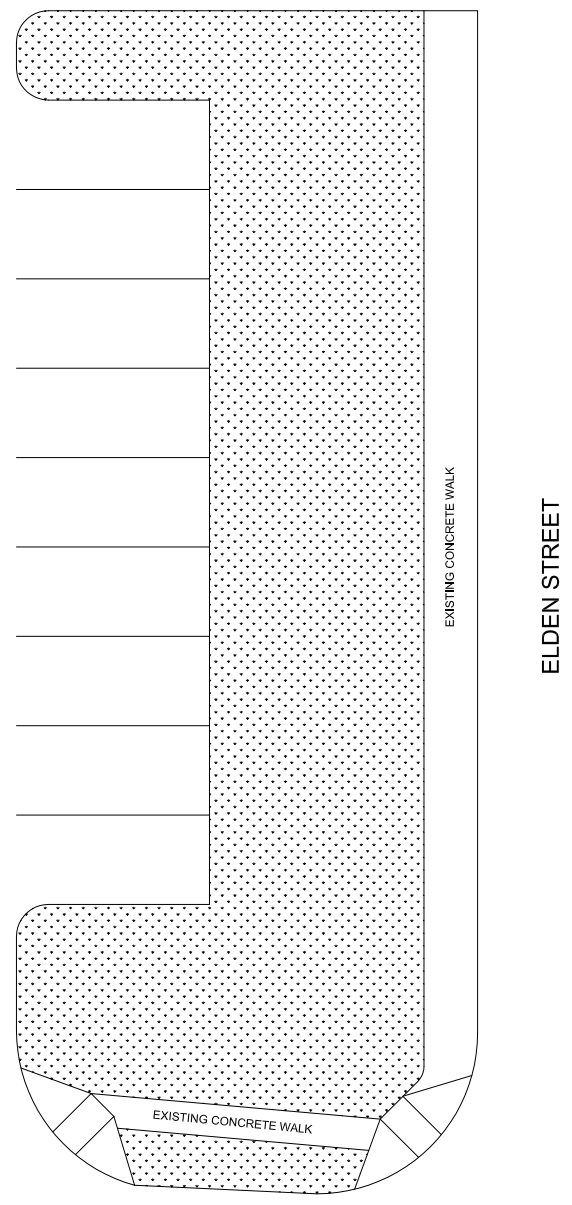
WEST COAST HQ.
2231 S. Dupont Drive
Anaheim, CA 92806
800-655-9972

SITE PLAN

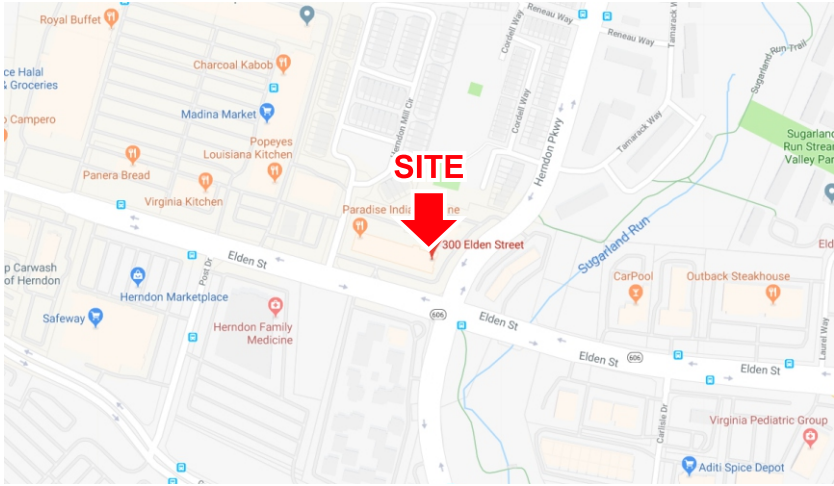


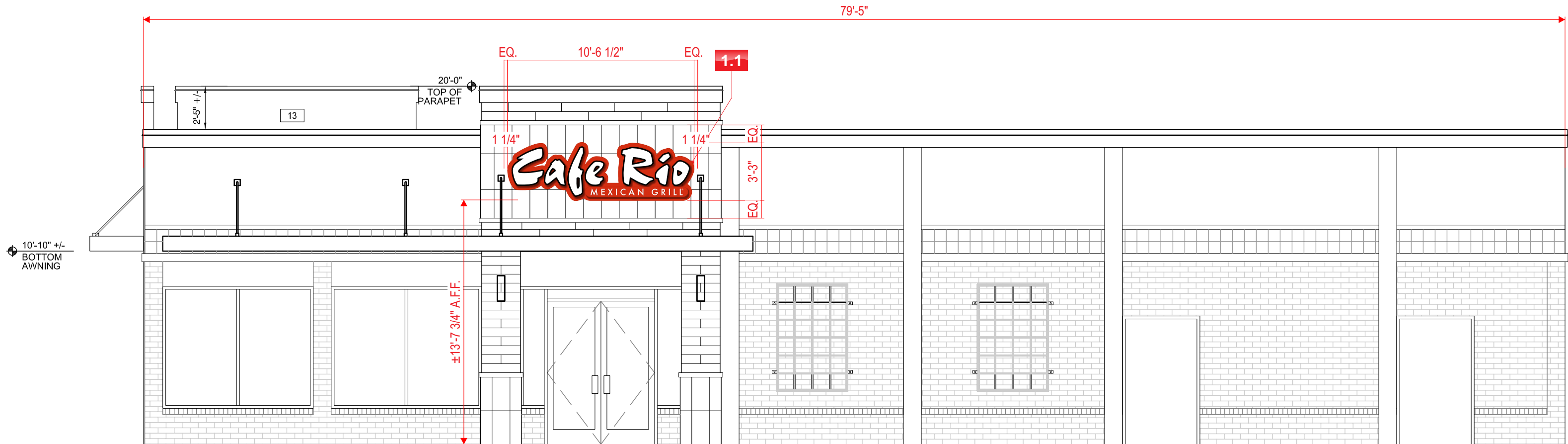
SIGNAGE SPECIFICATIONS

- 1.1 FACE & HALO ILLUMINATED CHANNEL LETTERS ON ALUM. CONTOURED BACKER PANEL
- 1.2 W/ PUSH THRU SUB COPY:
- 1.3 Manufacture and Install (3) Three Set of Channel Letters.

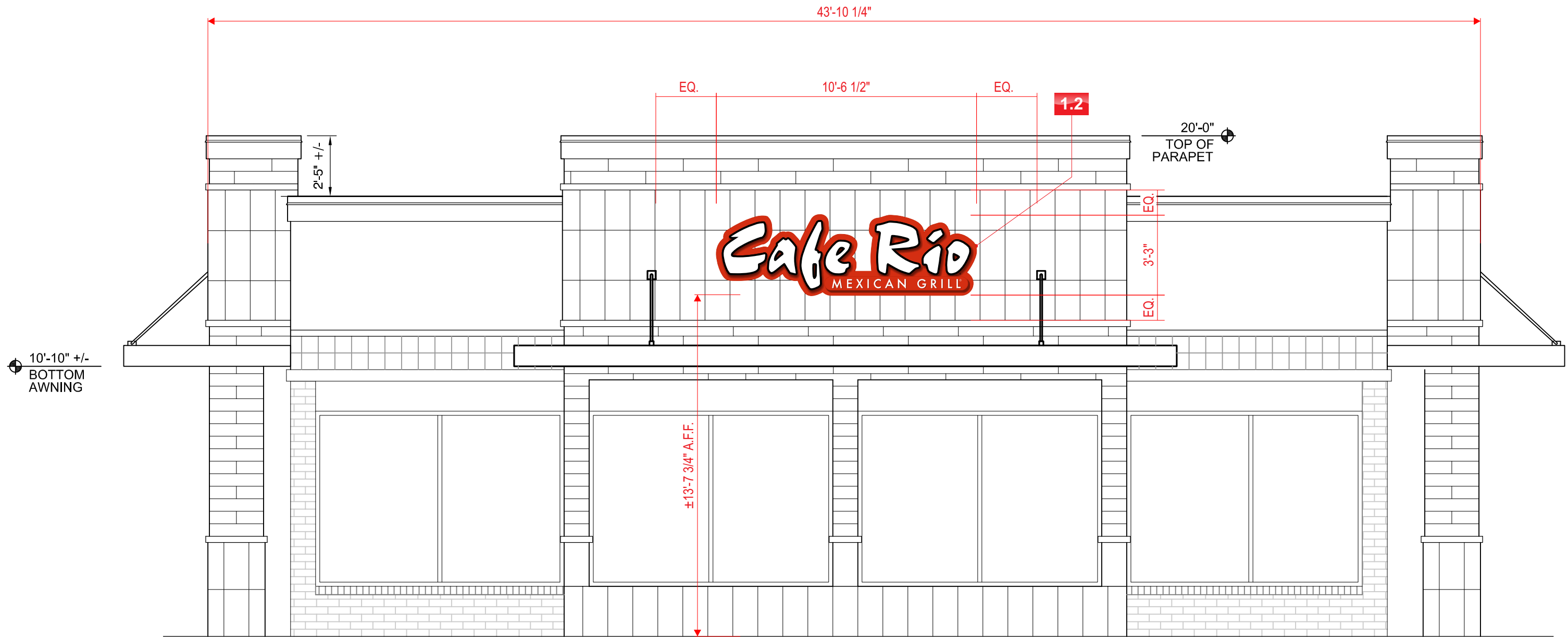


VICINITY MAP

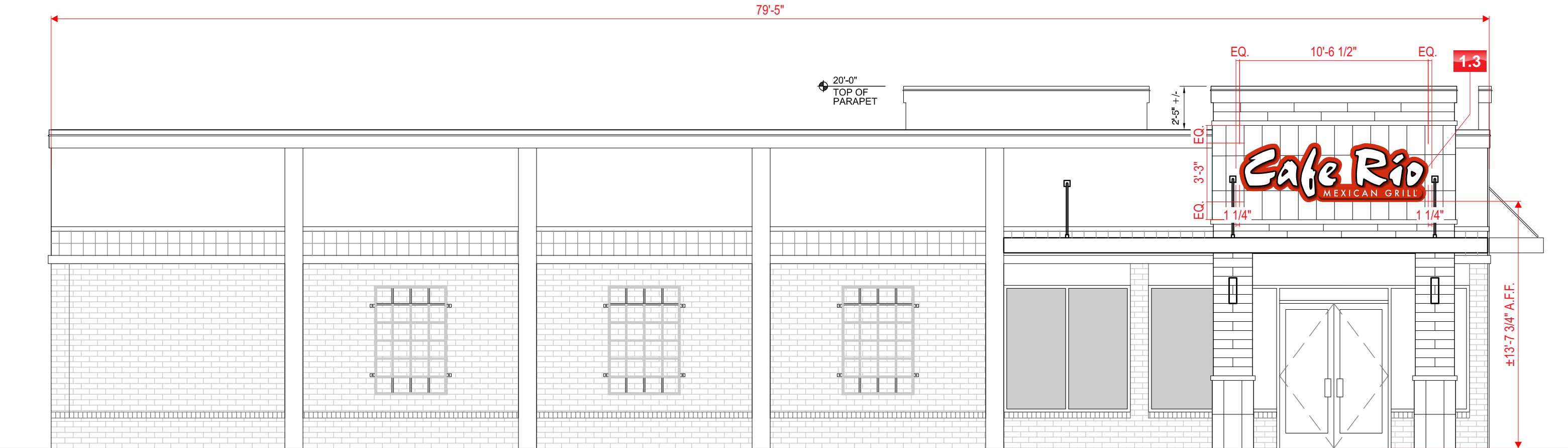




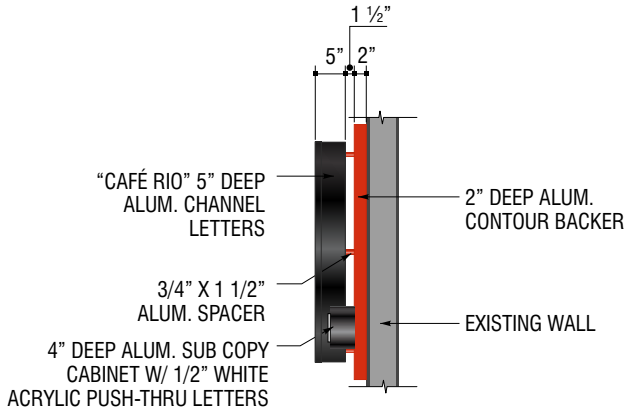
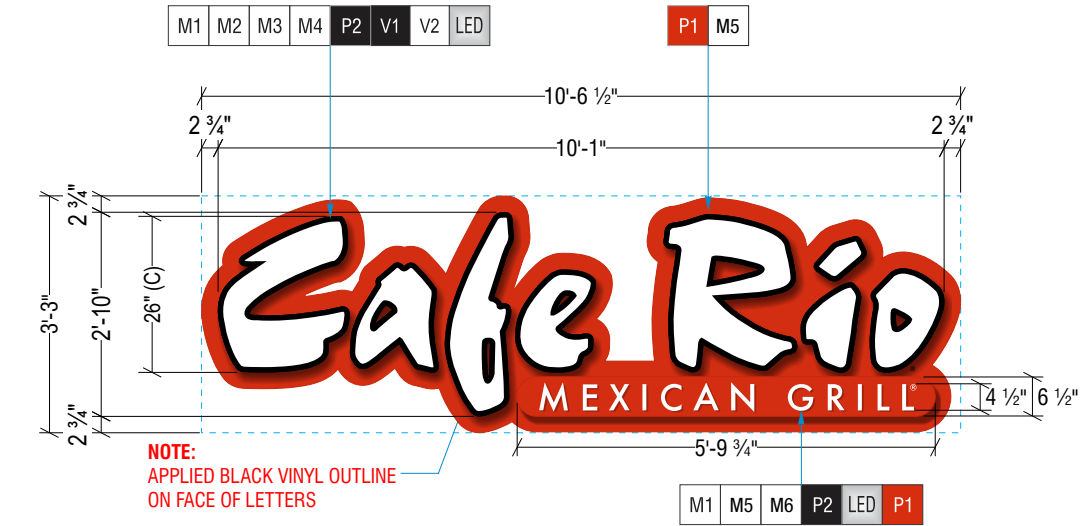
EAST ELEVATION
Scale: 3/16" = 1'-0"



SOUTH ELEVATION
Scale: 1/4" = 1'-0"



WEST ELEVATION
Scale: 3/16" = 1'-0"



ILLUMINATED NIGHT RENDERING

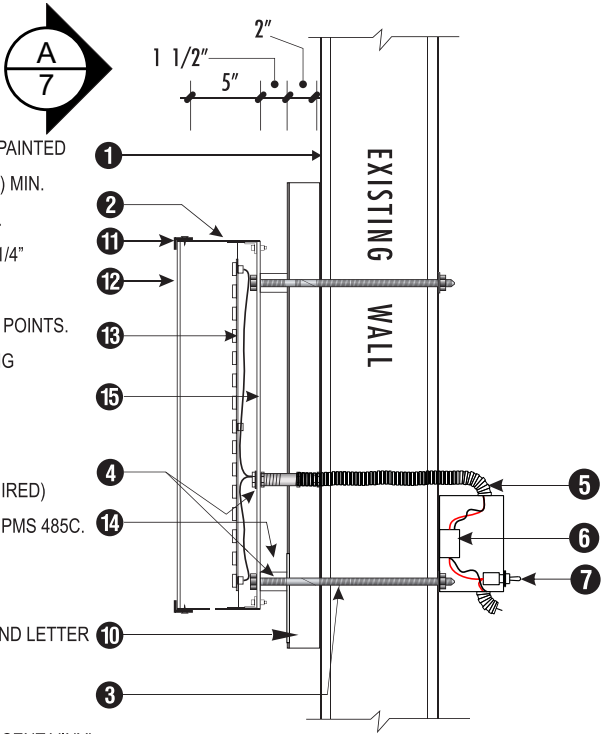
SQUARE FOOTAGE	
34.64 SQ. FT.	
M1	.040" ALUM RETURNS
M2	3/16" CLEAR LEXAN BACKS
M3	3/16" WHITE ACRYLIC FACES
M4	3/4" BLACK TRIM CAP
M5	.080" ALUM FACE / BACKS
M6	1/2" WHITE ACRYLIC PUSH THRU
PAINT FINISH	
P1	PMS 485 C
P2	GLOSS BLACK
VINYL	
V1	3M BLACK
V2	3M WHITE DIFFUSER
ILLUMINATION	
LED	WHITE L.E.D.
ELECTRICAL REQUIREMENTS	
Approx. A load (amps) (1) 120V 20A circuit req'd UL labels required away from public view.	
IMPORTANT NOTE	
UL COMPLIANT NEC AND MANUFACTURING RECOMMENDATIONS, ALL ELECTRICAL PRIMARY CIRCUITS MUST BE DEDICATED ISOLATED CIRCUITS PROVIDED BY CLIENT/ OWNER. GC TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALL AND SERVICE. FINAL ELECTRICAL HOOK UP BY OTHERS. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AS PER NEC 2008 ART: 600.6 FBC ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF SIGN.	

1.1 1.2 1.3 26" HIGH "C" FACE & HALO ILLUMINATED CHANNEL LETTERS ON CONTOURED ALUM. BACKER PANEL W/ FACE LIT PUSH-THRU SUB COPY

Scale: 3/8"=1'-0"

"CAFÉ RIO" LETTER DETAILS

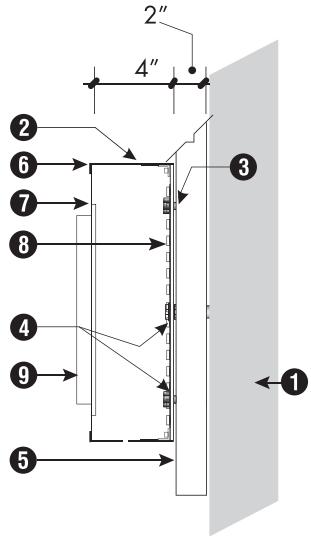
- EXISTING SIGN MOUNTING SURFACE
- ALUM. CHANNEL LETTER/LOGO RETURN WITH INTERIOR PAINTED SEMI-GLOSS EXTERIOR DECORATED AS SPECIFIED. TWO (2) MIN. 1/4" DIA. WEEP HOLES REQ'D AT BOTTOM OF LETTER/LOGO.
- ATTACH SIGN TO BACKGROUND USING A MIN. OF THREE 1/4" ALLTHREAD WITH WASHERS AND NUTS PER LETTER.
- WATERTIGHT SILICONE SEALANT AT ALL ENTRY AND EXIT POINTS.
- POWER SUPPLY OUTPUT LEAD OR EXTENDED LEAD USING APPROPRIATE UL.
- L.E.D. POWER SUPPLY
- LOCKING DISCONNECT SWITCH FOR ENTIRE SIGN.
- PRIMARY POWER (DEDICATED 20 AMPERE CIRCUIT REQUIRED)
- 2" THICK ALUMINUM BACKER PANEL PAINTED TO MATCH PMS 485C.
- 3/4" TRIM CAP RETAINER
- ACRYLIC FACE WITH APPLIED BLACK VINYL.
- L.E.D. STRIP, CUT AS REQ'D. WHITE FOR LETTER FACE AND LETTER HALO BACK ILLUMINATION.
- SPACER, PAINTED TO MATCH WALL.
- CLEAR MATTE LEXAN BACK LENS WITH WHITE TRANSLUCENT VINYL OVERLAY TO PROVIDE HALO LIGHTING.
- ALUMINUM WIREWAY ATTACHED TO INTERIOR OF BUILDING WALL WITH #10 WOOD SCREWS AS NEEDED



"MEXICAN GRILL" CHANNEL ATTACHMENT DETAIL

- EXISTING SIGN MOUNTING FASCIA WALL
- "MEXICAN GRILL" CHANNEL WITH INTERIOR PAINTED SEMI-GLOSS WHITE. EXTERIOR DECORATED AS SPECIFIED. TWO (2) MIN. 1/4" DIA. WEEP HOLES REQ'D AT BOTTOM OFC HANNEL.
- ATTACH CHANNEL TO SIGN BACKING USING A MIN. OF FOUR 1/4" ALLTHREAD WITH WASHERS AND NUTS
- WATERTIGHT SILICONE SEALANT AT ALL ENTRY AND EXIT POINTS
- 2" DEEP, .080" THICK PAINTED ALUM. BACKING ATTACHED TO WALL USING FASTENERS OF TYPE AND QUANTITY REQ'D
- R ETAINER
- PAINTED ALUMINUM FACE
- WHITE L.E.D. STRIP, CUT AS REQ'D. FOR SIGN FACE ILLUMINATION
- CLEAR ACRYLIC PUSH-THROUGH LETTERS

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



INTILLUM. CHANNEL MOUNTED TO BACKING (ALL ELECTRICAL TO BE U.L. LISTED)

PS 127:1

P R O J E C T

C L I E N T

J O B / D R A W I N G #



WEST COAST HQ.
2231 S. Dupont Drive
Anaheim, CA 92806
800-655-9972

Project Name: Café Rio

Address: 300 Elden Street

City, State, Zip: Herndon, VA 20170

Client Approval:

Landlord Approval:

Designer: Charle C.

Sales:

All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of Signage-Solutions, and were created, evolved and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose what so ever without written permission.

#	Designer:	Date:	Revision Notes:
1	Charle C.	01/17/19	Conceptual Drawing
2	Charle C.	02/01/19	Revised as per request
3	Charle C.	02/28/19	Revised as per request
4			
5			
6			
7			
8			
9			
10			



190038-03

Page 6 of 6

ARCHITECTURAL REVIEW BOARD STANDARDS FOR DESIGN REVIEW

Taken from ARB Charter – Chapter 58 (Planning) of Herndon Town Code (2000)

DIVISION 4. STANDARDS* _____

***Charter references:** Standards and purpose, § 7.4:1(c). _____

Sec. 58-96. Design criteria.

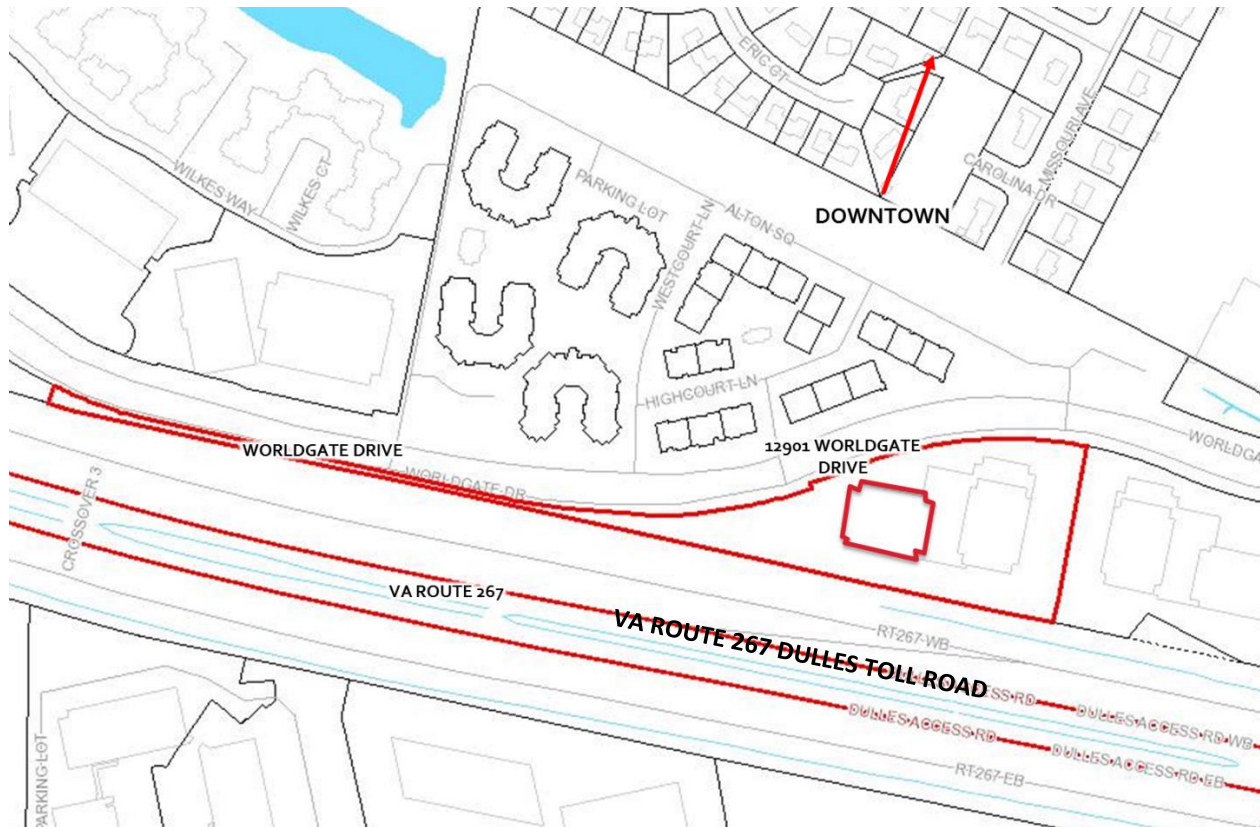
The board of architectural review and, on appeal, the town council shall use the following standards and criteria in considering applications filed under this article:

- (1) Whether or not the proposed architectural design is suitable for a good suburban community in terms of external architectural features, including signs subject to public view, general design and arrangement, texture, color, line, mass, dimension, material and lighting.
- (2) Whether or not the proposed structure, building or improvement is compatible with existing well-designed structures, acceptable to the board, in the vicinity and in the town as a whole.
- (3) Whether or not, and to what extent, the proposed structure, building or improvement would promote the general welfare and protect the public health, safety and morals by tending to maintain or augment the town's tax base as a whole, generating business activity, maintaining and creating employment opportunity, preserving historical sites and structures and making the town a more attractive and desirable place in which to live.
- (4) Whether or not proposed freestanding buildings use the same or architecturally harmonious materials, color, texture and treatment for all exterior walls; and in the case of partially freestanding buildings, whether or not the same or architecturally harmonious materials, color, texture and treatment are used on all portions of all exterior walls exposed to public view.
- (5) Whether or not the combination of architectural elements proposed for a structure, building or improvement, in terms of design, line, mass, dimension, color, material, texture, lighting, landscaping and roofline and height conform to accepted architectural principles for permanent buildings as contrasted with engineering standards designed to satisfy safety requirements only; and exhibit external characteristics of demonstrated architecture and aesthetic durability.
- (6) Whether or not, in terms of design, material, texture, color, lighting, landscaping, dimension, line, mass or roof line and height, the proposed structure, building or improvement is designed to serve primarily as an advertisement or commercial display, exhibits exterior characteristics likely to deteriorate rapidly, would be of temporary or shortterm architectural or aesthetic acceptability, would be plainly offensive to human sensibilities or would otherwise constitute a reasonable foreseeable detriment to the community.

(Code 1992, § 4-16)

Case Number & Type: ARB #19-16; Freestanding Sign
Case Summary: Install freestanding monument sign on a commercial office site
Case Location: 12901 Worldgate Drive, Worldgate Metro Plaza

Location Map



Property Information

Owner / Applicant:	Worldgate Dulles, LLC		
Representative:	Bob Biroonak, Art Display, Co.		
Business/Organization:	Moore & Associates		
Property Use:	Multi-story commercial office		
Zoning District:	PD-W, Planned Development - Worldgate		
Adjacent Zoning:	North: PD-W, Planned Development - Worldgate	East: PD-TOC, Planned Development – Transit Oriented Core	
	South: VA Route 267 Right-of-Way	West: PD-W, Planned Development – Worldgate	
Associated Cases:	N/A		
Building Type(s):	Multi-story steel framed with composite exterior materials	Date of Construction:	2001

Architectural Style(s):	Post-modern, typical suburban commercial office expression
Exterior Material(s):	Composite – Glass curtain wall, glass storefront and windows, pre-cast concrete wall panels
Neighborhood Design Profile:	Existing planned mixed-use development area

Case Details

Case Description:

The proposed monument sign would display the development name, tenant and address information for the commercial office property. It would be placed near the existing monument sign, which would be removed.

The overall monument sign dimensions would be 8' tall by 5' wide by 1'-6" thick. The sign would be constructed of an aluminum cabinet. The aluminum base and cap would be painted Matthews paint Neptune Grey. Each side of the of the monument sign will have four (4) removable aluminum pan faces that will have routed lettering contain sign messages (development name, addresses, and tenant business names, as applicable) with lettering of various sizes finished with translucent white push-through acrylic letters painted one of three colors: a blue (Pantone 2727), a grey (Pantone 7540), and red (Pantone 485).

Using appropriate method for calculating the sign area found in the Town's Zoning Ordinance, the sign will cover 35.5 square feet of surface area (Attachments #1, 2, and 3).

Case Background:

This ARB case is part of a series of recent cases that the property owner has undertaken to improve the aesthetic quality and signage on the site and building. The projects have included new complementary refuse container enclosures on the site, entrance improvements and building tenant signage.

Applicable Design Guidelines & Standards:

- Town Zoning Ordinance, Section, 78-140.6. - General standards for all signs
- Town Zoning Ordinance Section 78-141.5. - Sign standards for properties in the Worldgate District (PD-W)
- Town Code of Ordinances, Section 58-96 Design criteria

Staff Analysis

1. The application proposes 35.5 square feet of signage on a monument sign to be placed along Worldgate Drive. Section 78-141.5. - Sign standards for properties in the Worldgate District (PD-W), Table 141.5(c) specifies that one monument sign with a maximum sign area 50 square feet with a maximum height of eight (8) feet is authorized in the PD-W zoning district. Thus, the proposed signage meets the location, size, and number standards of the referenced zoning ordinance section.

2. The proposed signs meet the Town Zoning Ordinance, Section, 78-140.6. - General standards for all signs regarding, the sign types, design, placement, and illumination.
3. The proposed sign generally complies with the applicable design criteria within the Town's Architectural Control District as specified in Section 58-96 of the Town Code of Ordinances (Attachment #4). However, in this case, staff finds that the proposed design is not in keeping with the existing architecture of the associated office buildings. In previous cases for these office complex addresses, applicants have taken great care in designing new features and alterations that are complementary to the architecture and materials of the multi-story office buildings and adjacent parking garages. For example, both ARB #18-25 (12901 Worldgate Drive within this office complex) for a new refuse dumpster enclosure, and ARB #19-04 (12825 Worldgate Drive) for a new entrance canopy structure, used materials and designs consistent with the existing materials and architecture on the office buildings.

The proposed sign design and materials do not relate to the primary buildings' architecture. Staff finds that additional consideration of the form and design of the monument sign needs to be given for maintaining consistent design themes on the subject property.

Staff Recommendation:

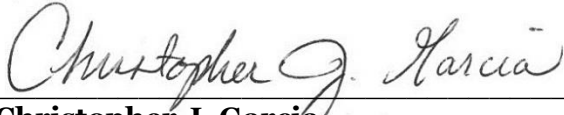
Motion Alternatives:	1. Motion to deny the application. 2. Motion to approve the application as submitted. 3. Motion to approve with condition(s). 4. Motion to continue public hearing to a date certain or the next ARB Public Hearing for action to address a specified design issue or concern of the Board.
Recommended Motion:	Motion for continuance of ARB #19-16, in accordance with Alternative #4, to the May 15, 2019 ARB Public Hearing to allow the applicant to address with the following intent and requirements: 1. Revise the submitted application and sign design to be complementary, in design, form, and materials, to the existing architecture of the office buildings on the subject property.

Report Attachments

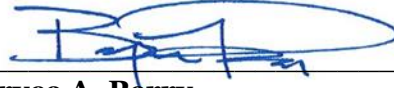
1.	Aerial Image
2.	Applicant Letter
3.	Sign Elevation, Details and Product Information
4.	Town's Code of Ordinances Division 4 - Standards, Sec. 58-96. (ARB) Design Criteria

Staff Contact

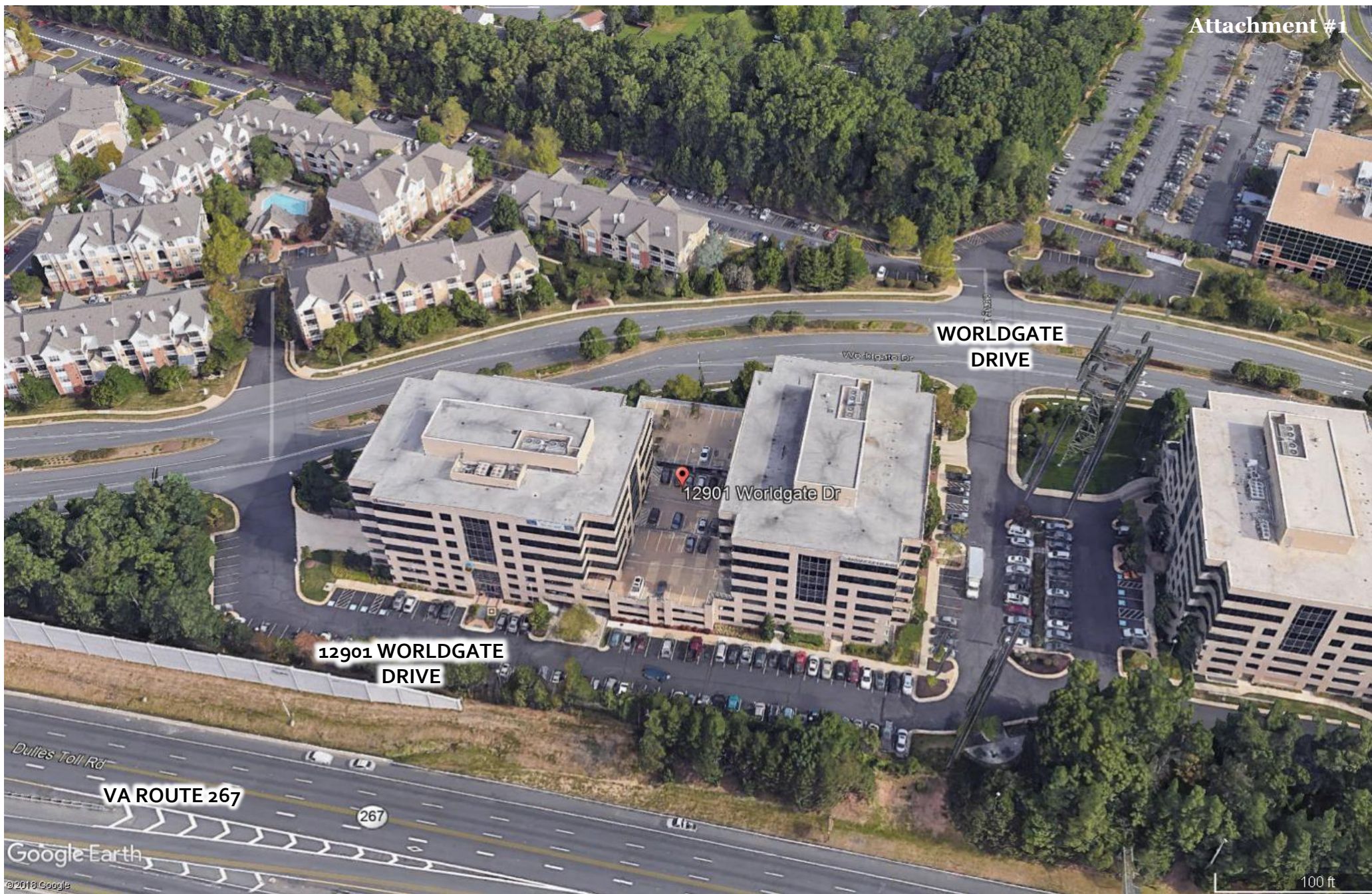
Name/Title:	Christopher J. Garcia, Community Design Planner
Phone/Email:	(703)787-7380; christopher.garcia@herndon-va.gov



Christopher J. Garcia
Community Design Planner



Bryce A. Perry
Deputy Director



SITE LOCATION – AERIAL PHOTO



Imagery prepared by Town of Herndon
Department of Community Development
Image source: Google Earth © 2018

RECEIVED ON

MAR 11 2019

DEPARTMENT OF
COMMUNITY DEVELOPMENT



12901 Worldgate Drive
Suite 550
Herndon, VA 20170

www.mooreassociates.com
T 703-817-4040

March 5, 2019

To Whom It May Concern,

Worldgate Dulles LLC authorizes Art Display Co. to act as Owner's Agent specifically for the application of all necessary permits for the installation of signage as illustrated in Art Display drawing file: Worldgate Metro Plaza located at 12901 Worldgate Drive, Herndon, VA 20170.

Sincerely,

Jennifer Rueda
Property Manager

Worldgate Dulles LLC as Agent for Moore & Associates



RECEIVED ON
MAY 14 2014
DEPARTMENT OF
COMMUNITY DEVELOPMENT

SPECIFICATIONS

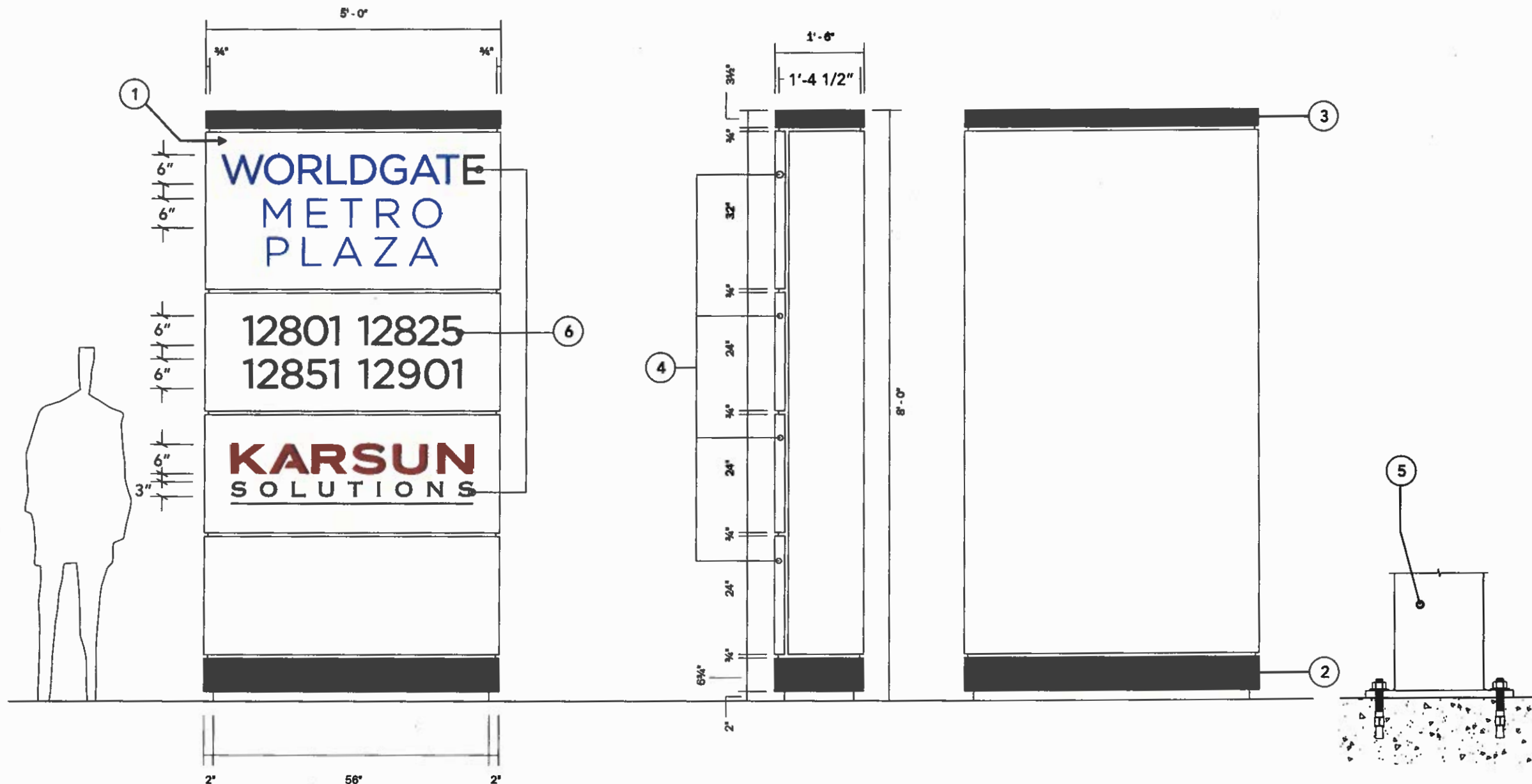
1. SIGN CABINET
 - 18" deep fabricated aluminum sign cabinet
 - 2"X2" internal aluminum frame
 - Cabinet painted P1
2. ALUMINUM BASE
 - 5'-0"w x 3 1/2"h x 18" deep fabricated aluminum cap
 - Base to be painted P2
3. ALUMINUM CAP
 - 5'-0"w x 6 3/4"h x 18" deep fabricated aluminum base
 - Cap to be painted P2
4. REMOVABLE PAN FACES
 - 2" deep fabricated .060" thick aluminum pan face
 - Painted P1
5. SUPPORT POSTS AND PLATE
 - 6"X6" aluminum support posts (2X)
 - 1/2" thick aluminum mounting plate
 - Posts to be welded to plate
6. GRAPHICS
 - Push thru translucent white acrylic graphics
 - Applied V1, V2 & V3 vinyl on acrylic faces

INSTALLATION

- All pan faces to be mounted to sign cabinet with counter sunk screws located in the reveals
- Hardware painted to match sign
- Mounting plate to be bolted to ground with 1/2" wedge anchors

COLORS & FINISHES

- P1. BENJAMIN MOORE #963
Maritime White - Gloss Finish
- P2. MATTHEWS #13915
Neptunian Grey - Satin Finish
- V1. PANTONE 2727 SATIN FINISH
- V2. PANTONE 7540 SATIN FINISH
- V3. PANTONE 193 SATIN FINISH



SIGN 2 - ELEVATION VIEW - SIDE A
SCALE: 1/2" = 1' - 0"

SIDE VIEW
SCALE: 1/2" = 1' - 0"

ELEVATION VIEW - SIDE B
SCALE: 1/2" = 1' - 0"

SECTION DETAIL - SUPPORT POST & BOLT PLATE
SCALE: 1-1/2" = 1' - 0"



401 Hampton Park Boulevard
Capitol Heights, MD, 20743
phone 240.765.1400
fax 240.765.1401
www.artdisplayco.com

CLIENT Worldgate Metro Plaza
PROJECT Moore & Associates - Monument Signs
ADDRESS 129011 12825 Worldgate Drive
CITY 0538-02KC - Worldgate Metro Plaza - Moore & Associates - Monument Signs

DESIGNER Kareesa Clarke
NON-EXHIBITIVE Joe Nacson
CONCEPT

REVISIONS
1 03/07/19 KC
2 03/18/19 KC

APPROVED BY:
CLIENT
SALES & PM
PRODUCTION
MEASUREMENTS PER:
FIELD CHECK

NOTES:
Designs and sketches are sole property of Art Display Company and may not be used or reproduced without permission. Sketch colors are limited by printing technology and may not reflect the exact colors of the finished product. Signs shown on photos may not represent actual size and proportion to building.
ALL Electrical components are to be UL approved
All electrical components are intended to be installed in accordance with the requirements of article 600 of the national electrical code and/or other applicable local codes, including proper grounding and bonding of the entire sign. ALL REQUIRED ELECTRICAL SERVICE TO SIGN LOCATION BY OTHERS

SPECIFICATIONS

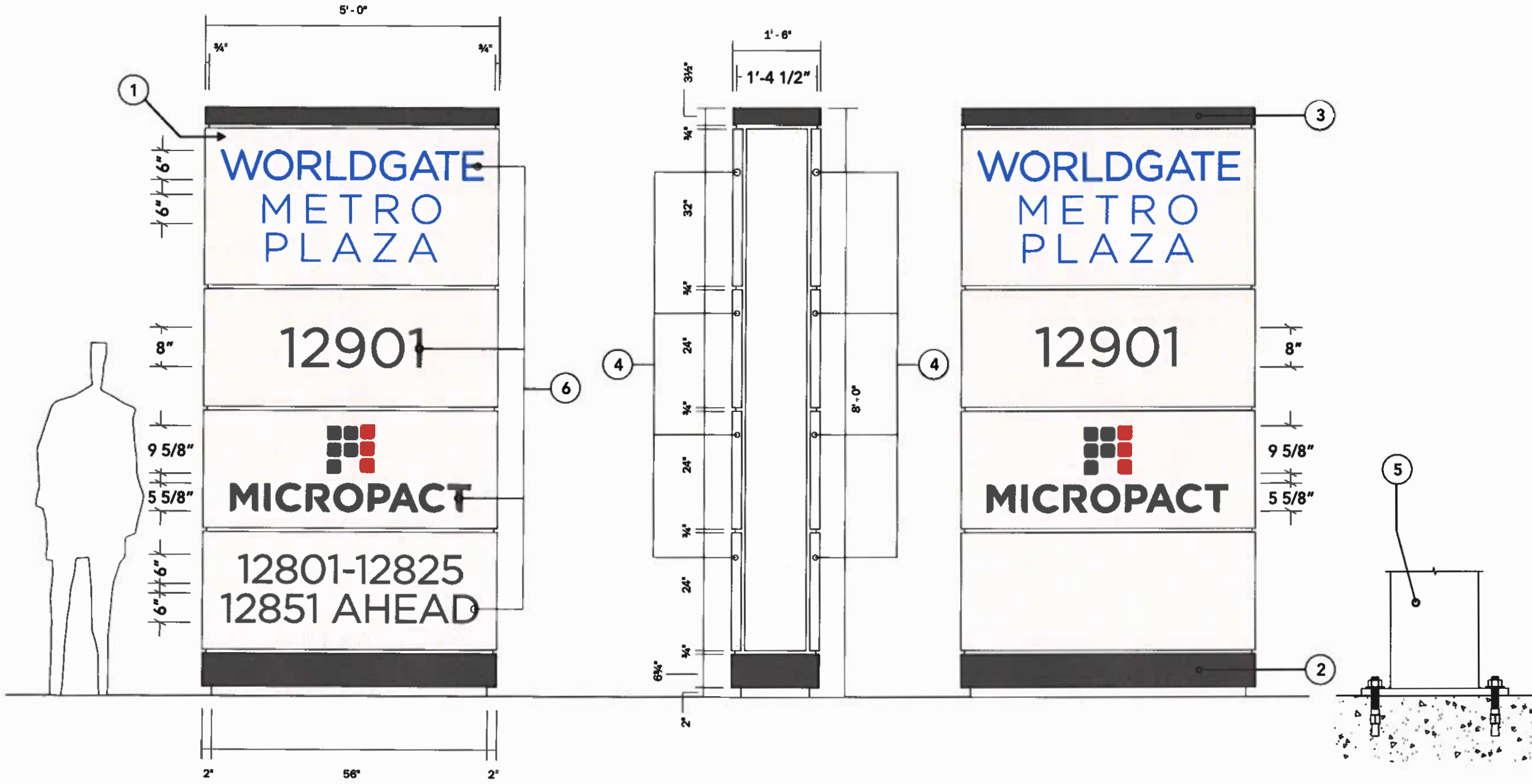
- SIGN CABINET**
 - 18" deep fabricated aluminum sign cabinet
 - 2"X2" internal aluminum frame
 - Cabinet painted P1
- ALUMINUM BASE**
 - 5'-0"w x 3 1/2"h x 18" deep fabricated aluminum cap
 - Base to be painted P2
- ALUMINUM CAP**
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 - Cap to be painted P2
- REMOVABLE PAN FACES**
 - 2" deep fabricated .060" thick aluminum pan face
 - Painted P1
- SUPPORT POSTS AND PLATE**
 - 6"X6" aluminum support posts (2X)
 - 1/2" thick aluminum mounting plate
 - Posts to be welded to plate
- GRAPHICS**
 - Push thru translucent white acrylic graphics
 - Applied V1, V2 & V3 vinyl on acrylic faces

INSTALLATION

- All pan faces to be mounted to sign cabinet with counter sunk screws located in the reveals
- Hardware painted to match sign
- Mounting plate to be bolted to ground with 1/2" wedge anchors

COLORS & FINISHES

- P1. BENJAMIN MOORE #963
Maritime White - Gloss Finish
- P2. MATTHEWS #13915
Neptunian Grey - Satin Finish
- V1. PANTONE 2727 SATIN FINISH
- V2. PANTONE 7540 SATIN FINISH
- V3. PANTONE 485 SATIN FINISH

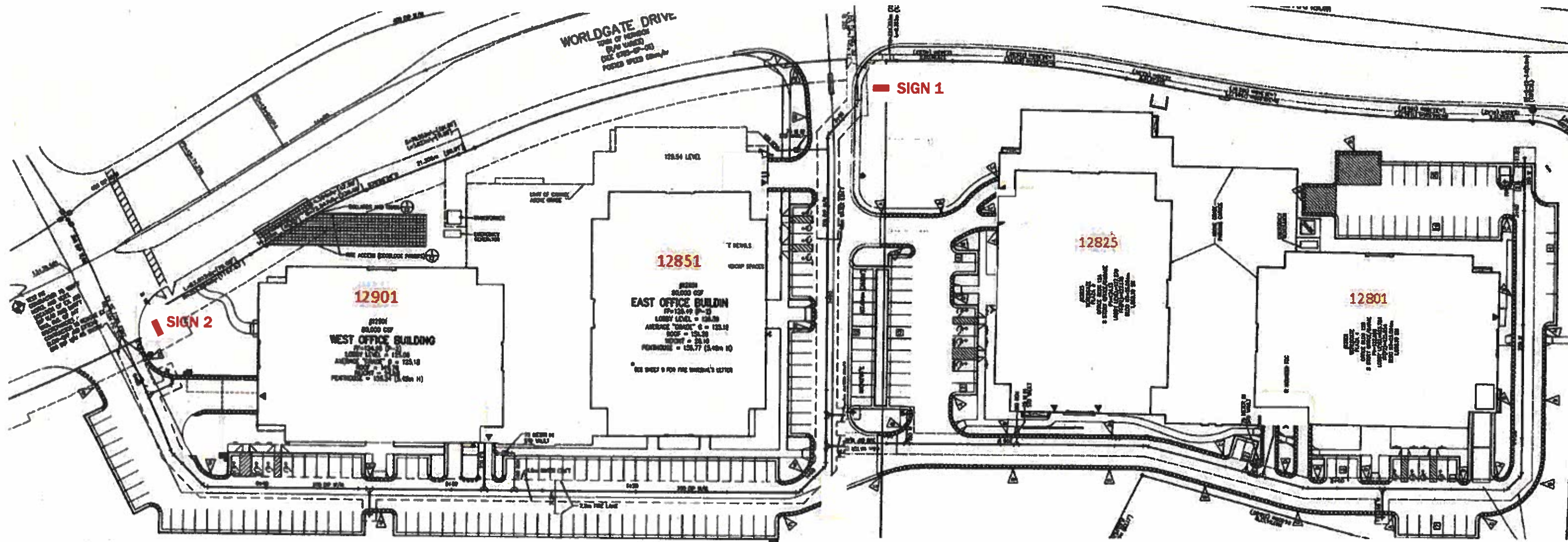


SIGN 2 - ELEVATION VIEW - SIDE A
SCALE: 1/2" = 1' - 0"

SIDE VIEW
SCALE: 1/2" = 1' - 0"

ELEVATION VIEW - SIDE B
SCALE: 1/2" = 1' - 0"

SECTION DETAIL - SUPPORT POST & BOLT PLATE
SCALE: 1-1/2" = 1' - 0"



SIGN LOCATION PLAN
 SCALE: NTS

ARCHITECTURAL REVIEW BOARD STANDARDS FOR DESIGN REVIEW

Taken from ARB Charter – Chapter 58 (Planning) of Herndon Town Code (2000)

DIVISION 4. STANDARDS* _____

***Charter references:** Standards and purpose, § 7.4:1(c). _____

Sec. 58-96. Design criteria.

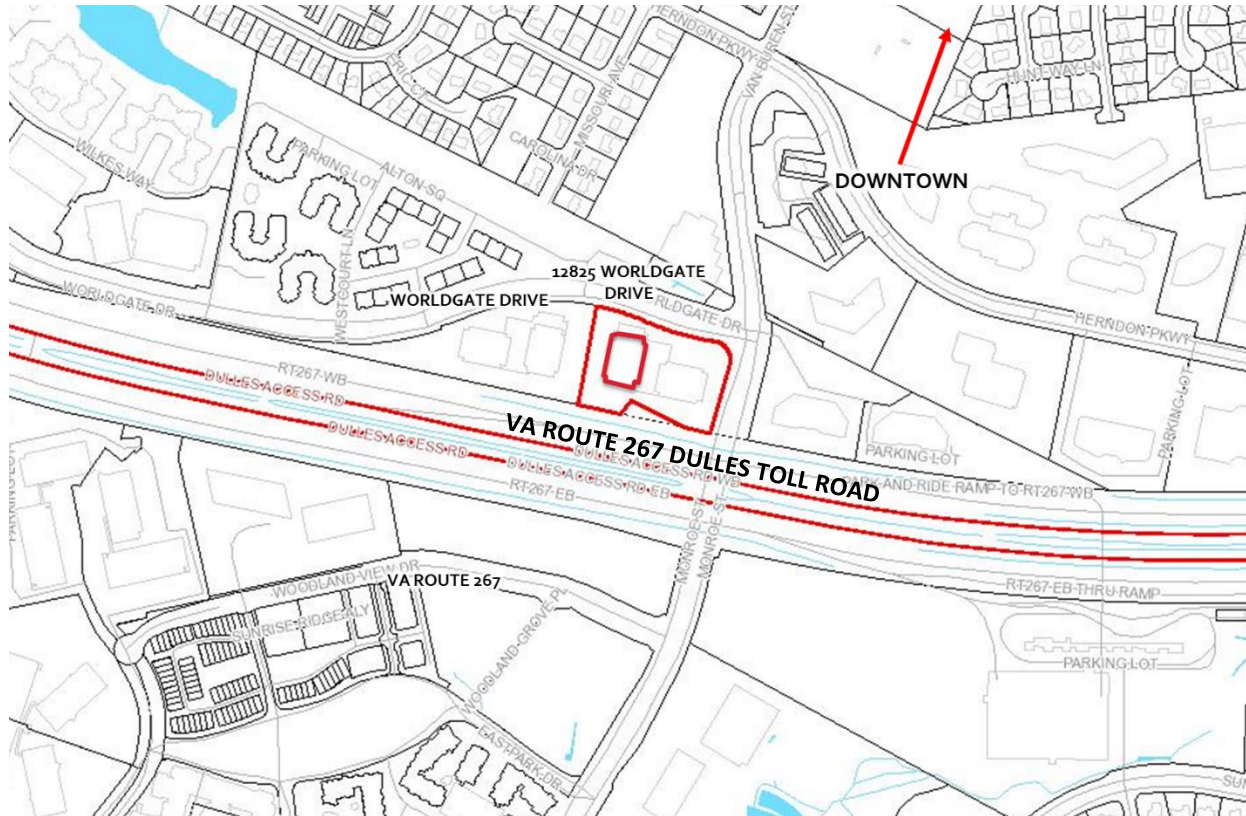
The board of architectural review and, on appeal, the town council shall use the following standards and criteria in considering applications filed under this article:

- (1) Whether or not the proposed architectural design is suitable for a good suburban community in terms of external architectural features, including signs subject to public view, general design and arrangement, texture, color, line, mass, dimension, material and lighting.
- (2) Whether or not the proposed structure, building or improvement is compatible with existing well-designed structures, acceptable to the board, in the vicinity and in the town as a whole.
- (3) Whether or not, and to what extent, the proposed structure, building or improvement would promote the general welfare and protect the public health, safety and morals by tending to maintain or augment the town's tax base as a whole, generating business activity, maintaining and creating employment opportunity, preserving historical sites and structures and making the town a more attractive and desirable place in which to live.
- (4) Whether or not proposed freestanding buildings use the same or architecturally harmonious materials, color, texture and treatment for all exterior walls; and in the case of partially freestanding buildings, whether or not the same or architecturally harmonious materials, color, texture and treatment are used on all portions of all exterior walls exposed to public view.
- (5) Whether or not the combination of architectural elements proposed for a structure, building or improvement, in terms of design, line, mass, dimension, color, material, texture, lighting, landscaping and roofline and height conform to accepted architectural principles for permanent buildings as contrasted with engineering standards designed to satisfy safety requirements only; and exhibit external characteristics of demonstrated architecture and aesthetic durability.
- (6) Whether or not, in terms of design, material, texture, color, lighting, landscaping, dimension, line, mass or roof line and height, the proposed structure, building or improvement is designed to serve primarily as an advertisement or commercial display, exhibits exterior characteristics likely to deteriorate rapidly, would be of temporary or shortterm architectural or aesthetic acceptability, would be plainly offensive to human sensibilities or would otherwise constitute a reasonable foreseeable detriment to the community.

(Code 1992, § 4-16)

Case Number & Type: ARB #19-17; Freestanding Sign
Case Summary: Install freestanding monument sign on a commercial office site
Case Location: 12825 Worldgate Drive, Worldgate Metro Plaza

Location Map



Property Information

Owner / Applicant:	Worldgate Dulles, LLC		
Representative:	Bob Biroonak, Art Display, Co.		
Business/Organization:	Moore & Associates		
Property Use:	Multi-story commercial office		
Zoning District:	PD-W, Planned Development - Worldgate		
Adjacent Zoning:	North: PD-W, Planned Development - Worldgate South: VA Route 267 Right-of-Way	East: PD-TOC, Planned Development – Transit Oriented Core West: PD-W, Planned Development – Worldgate	
Associated Cases:	N/A		
Building Type(s):	Multi-story steel framed with composite exterior materials	Date of Construction:	2001

Architectural Style(s):	Post-modern, typical suburban commercial office expression
Exterior Material(s):	Composite – Glass curtain wall, glass storefront and windows, pre-cast concrete wall panels
Neighborhood Design Profile:	Existing planned mixed-use development area

Case Details

Case Description:

The proposed monument sign would display the development name, tenant and address information for the commercial office property. It would be placed near the existing monument sign, which would be removed.

The overall monument sign dimensions would be 8' tall by 5' wide by 1'-6" thick. The sign would be constructed of an aluminum cabinet. The aluminum base and cap would be painted Matthews paint *Neptune Grey*. Each side of the of the monument sign will have four (4) removable aluminum pan faces that will have routed lettering contain sign messages (development name, addresses, and tenant business names, as applicable) with lettering of various sizes finished with translucent white push-through acrylic letters painted one of three colors: a blue (Pantone 2727), a grey (Pantone 7540), and red (Pantone 485).

Using appropriate method for calculating the sign area found in the Town's Zoning Ordinance, the sign will cover 35.5 square feet of surface area (Attachments #1, 2, and 3).

Case Background:

This ARB case is part of a series of recent cases that the property owner has undertaken to improve the aesthetic quality and signage on the site and building. The projects have included new complementary refuse container enclosures on the site, entrance improvements and building tenant signage.

Applicable Design Guidelines & Standards:

- Town Zoning Ordinance, Section, 78-140.6. - General standards for all signs
- Town Zoning Ordinance Section 78-141.5. - Sign standards for properties in the Worldgate District (PD-W)
- Town Code of Ordinances, Section 58-96 Design criteria

Staff Analysis

1. The application proposes 35.5 square feet of signage on a monument sign to be placed along Worldgate Drive. Section 78-141.5. - Sign standards for properties in the Worldgate District (PD-W), Table 141.5(c) specifies that one monument sign with a maximum sign area 50 square feet with a maximum height of eight (8) feet is authorized in the PD-W zoning district. Thus, the proposed signage meets the location, size, and number standards of the referenced zoning ordinance section.

2. The proposed signs meet the Town Zoning Ordinance, Section, 78-140.6. - General standards for all signs regarding, the sign types, design, placement, and illumination.
3. The proposed sign generally complies with the applicable design criteria within the Town's Architectural Control District as specified in Section 58-96 of the Town Code of Ordinances (Attachment #4). However, in this case, staff finds that the proposed design is not in keeping with the existing architecture of the associated office buildings. In previous cases for these office complex addresses, applicants have taken great care in designing new features and alterations that are complementary to the architecture and materials of the multi-story office buildings and adjacent parking garages. For example, both ARB #18-25 (for 12901 Worldgate Drive within this office complex for a new refuse dumpster enclosure(and ARB #19-04 (at this address for a new entrance canopy structure) used materials and designs consistent with the existing materials and architecture on the office buildings.

The proposed sign design and materials do not relate to the primary buildings' architecture. Staff finds that additional consideration of the form and design of the monument sign needs to be given for maintaining consistent design themes on the subject property.

Staff Recommendation:

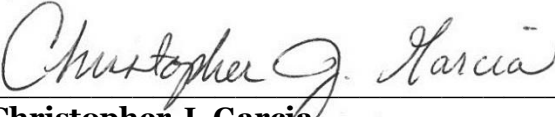
Motion Alternatives:	1. Motion to deny the application. 2. Motion to approve the application as submitted. 3. Motion to approve with condition(s). 4. Motion to continue public hearing to a date certain or the next ARB Public Hearing for action to address a specified design issue or concern of the Board.
Recommended Motion:	Motion for continuance of ARB #19-17, in accordance with Alternative #4, to the May 15, 2019 ARB Public Hearing to allow the applicant to address with the following intent and requirements: 1. Revise the submitted application and sign design to be complementary, in design, form, and materials, to the existing architecture of the office buildings on the subject property.

Report Attachments

1.	Aerial Image
2.	Applicant Letter
3.	Sign Elevation, Details and Product Information
4.	Town's Code of Ordinances Division 4 - Standards, Sec. 58-96. (ARB) Design Criteria

Staff Contact

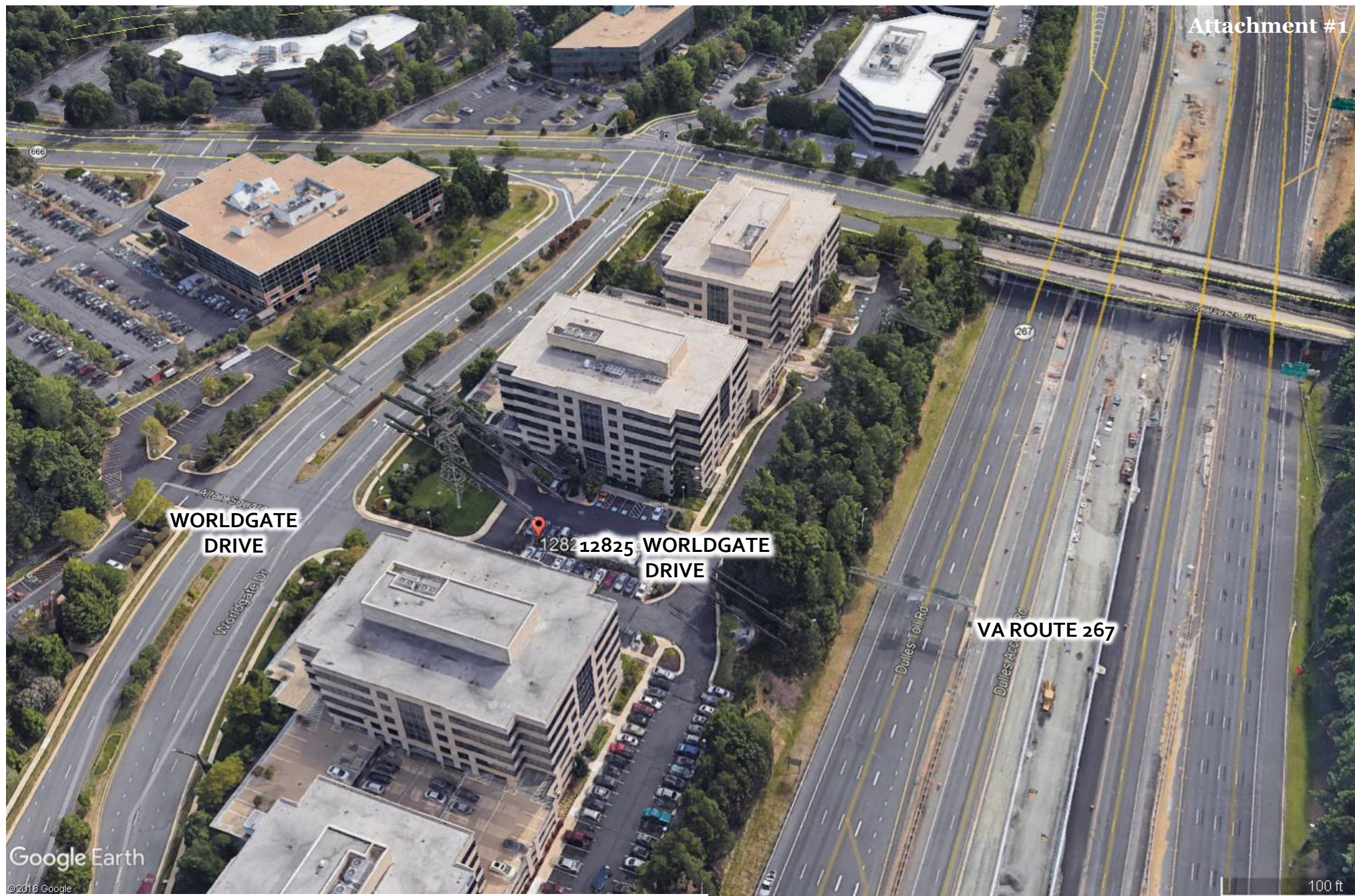
Name/Title:	Christopher J. Garcia, Community Design Planner
Phone/Email:	(703)787-7380; christopher.garcia@herndon-va.gov



Christopher J. Garcia
Community Design Planner



Bryce A. Perry
Deputy Director



SITE LOCATION – AERIAL PHOTO



Imagery prepared by Town of Herndon
Department of Community Development
Image source: Google Earth © 2018

RECEIVED ON

MAR 11 2019

DEPARTMENT OF
COMMUNITY DEVELOPMENT



12901 Worldgate Drive
Suite 550
Herndon, VA 20170

www.mooreassociates.com
T 703-817-4040

March 5, 2019

To Whom It May Concern,

Worldgate Dulles LLC authorizes Art Display Co. to act as Owner's Agent specifically for the application of all necessary permits for the installation of signage as illustrated in Art Display drawing file: Worldgate Metro Plaza located at 12901 Worldgate Drive, Herndon, VA 20170.

Sincerely,

Jennifer Rueda
Property Manager

Worldgate Dulles LLC as Agent for Moore & Associates



RECEIVED

DATE

COMMUNITY DEVELOPMENT

SPECIFICATIONS

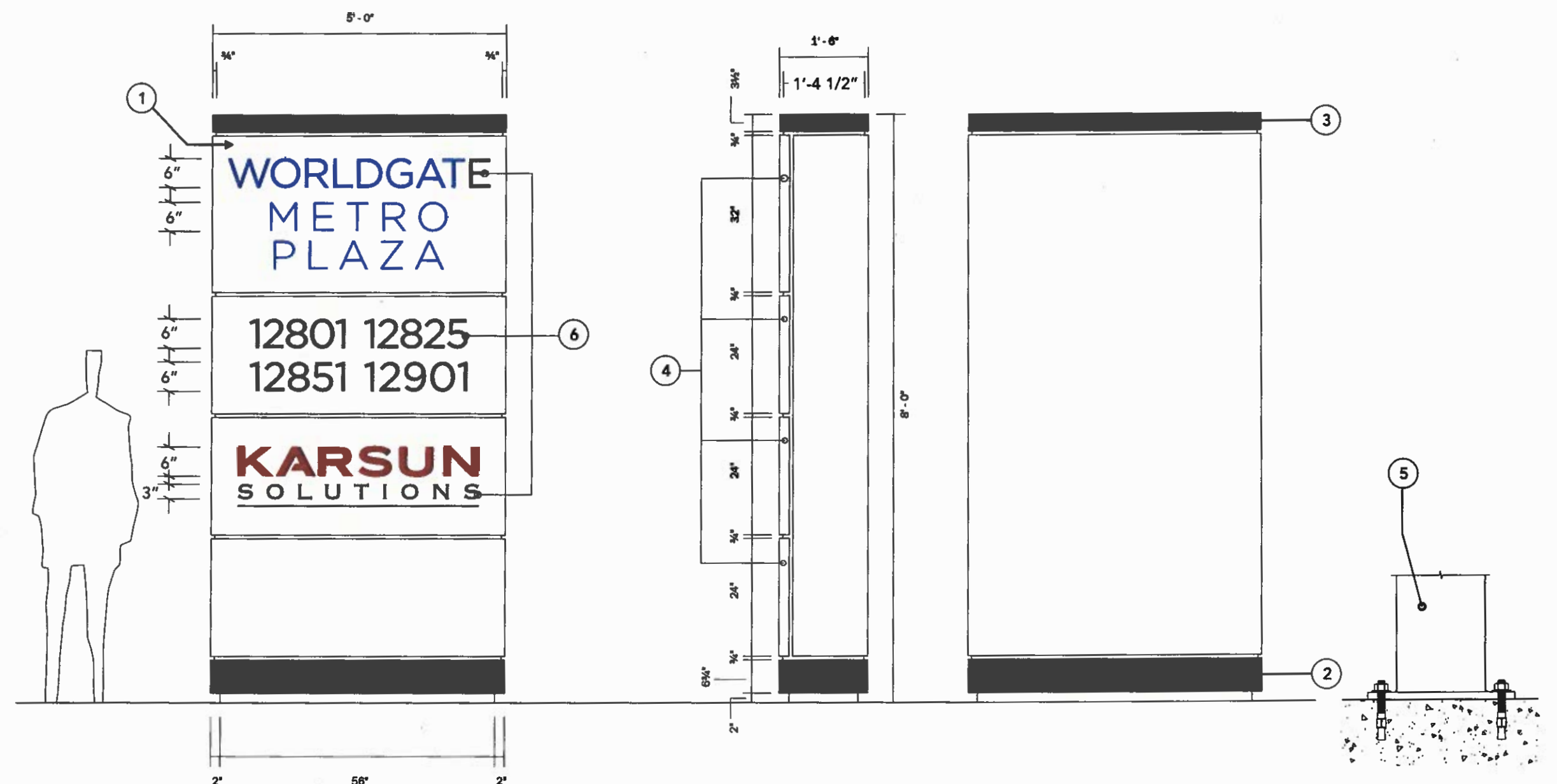
- SIGN CABINET**
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 - 2"X2" internal aluminum frame
 - Cabinet painted P1
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 - 5'-0"w x 3 1/2"h x 18" deep fabricated aluminum cap
 - Base to be painted P2
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 - 2" deep fabricated .060" thick aluminum pan face
 - Painted P1
- SUPPORT POSTS AND PLATE**
 - 6"X6" aluminum support posts (2X)
 - 1/2" thick aluminum mounting plate
 - Posts to be welded to plate
- GRAPHICS**
 - Push thru translucent white acrylic graphics
 - Applied V1, V2 & V3 vinyl on acrylic faces

INSTALLATION

- All pan faces to be mounted to sign cabinet with counter sunk screws located in the reveals
- Hardware painted to match sign
- Mounting plate to be bolted to ground with 1/2" wedge anchors

COLORS & FINISHES

- P1. BENJAMIN MOORE #963
Maritime White - Gloss Finish
- P2. MATTHEWS #13915
Neptunian Grey - Satin Finish
- V1. PANTONE 2727 SATIN FINISH
- V2. PANTONE 7540 SATIN FINISH
- V3. PANTONE 193 SATIN FINISH



SIGN 2 - ELEVATION VIEW - SIDE A
SCALE: 1/2" = 1' - 0"

SIDE VIEW
SCALE: 1/2" = 1' - 0"

ELEVATION VIEW - SIDE B
SCALE: 1/2" = 1' - 0"

SECTION DETAIL - SUPPORT POST & BOLT PLATE
SCALE: 1-1/2" = 1' - 0"



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DESIGNER Kareesa Clarke
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1 03/07/19 KC
2 03/18/19 KC

APPROVED BY:

CLIENT
SALES & PM
PRODUCTION

MEASUREMENTS PER:
FIELD CHECK

NOTES:

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ALL Electrical components are to be UL approved

All electrical components are intended to be installed in accordance with the requirements of article 600 of the national electrical code and/or other applicable local codes, including proper grounding and bonding of the entire sign. ALL REQUIRED ELECTRICAL SERVICE TO SIGN LOCATION BY OTHERS

SPECIFICATIONS

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COLORS & FINISHES

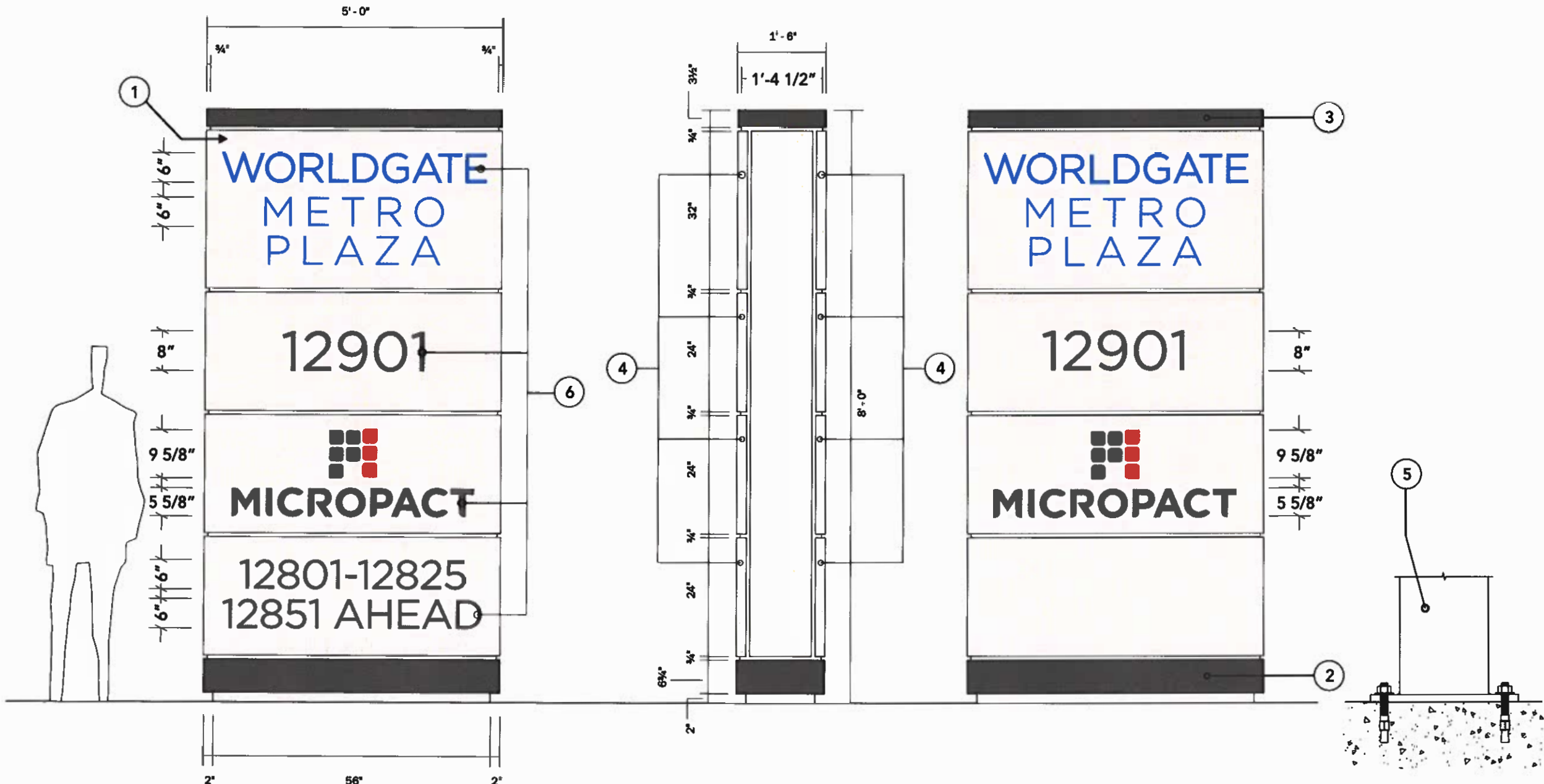
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Neptunian Grey - Satin Finish

V1. PANTONE 2727 SATIN FINISH

V2. PANTONE 7540 SATIN FINISH

V3. PANTONE 485 SATIN FINISH



SIGN 2 - ELEVATION VIEW - SIDE A
SCALE: 1/2" = 1' - 0"

SIDE VIEW
SCALE: 1/2" = 1' - 0"

ELEVATION VIEW - SIDE B
SCALE: 1/2" = 1' - 0"

SECTION DETAIL - SUPPORT POST & BOLT PLATE
SCALE: 1-1/2" = 1' - 0"

ARCHITECTURAL REVIEW BOARD STANDARDS FOR DESIGN REVIEW

Taken from ARB Charter – Chapter 58 (Planning) of Herndon Town Code (2000)

DIVISION 4. STANDARDS* _____

***Charter references:** Standards and purpose, § 7.4:1(c). _____

Sec. 58-96. Design criteria.

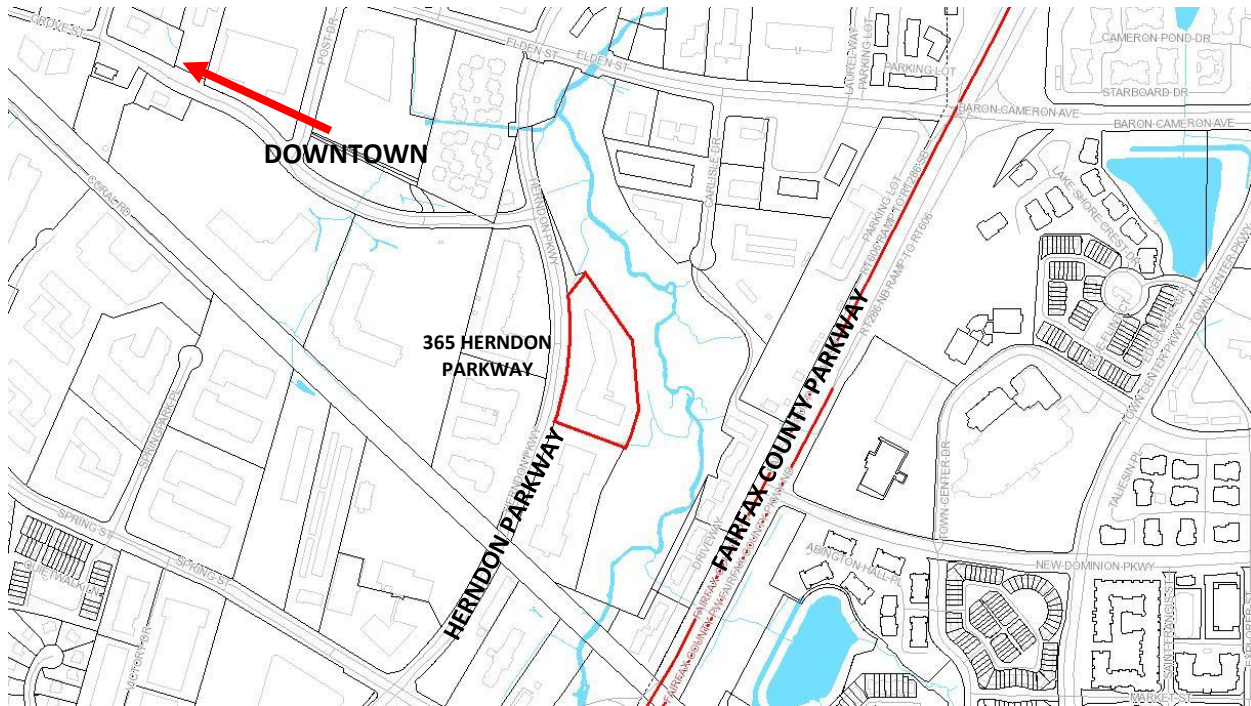
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- (2) Whether or not the proposed structure, building or improvement is compatible with existing well-designed structures, acceptable to the board, in the vicinity and in the town as a whole.
- (3) Whether or not, and to what extent, the proposed structure, building or improvement would promote the general welfare and protect the public health, safety and morals by tending to maintain or augment the town's tax base as a whole, generating business activity, maintaining and creating employment opportunity, preserving historical sites and structures and making the town a more attractive and desirable place in which to live.
- (4) Whether or not proposed freestanding buildings use the same or architecturally harmonious materials, color, texture and treatment for all exterior walls; and in the case of partially freestanding buildings, whether or not the same or architecturally harmonious materials, color, texture and treatment are used on all portions of all exterior walls exposed to public view.
- (5) Whether or not the combination of architectural elements proposed for a structure, building or improvement, in terms of design, line, mass, dimension, color, material, texture, lighting, landscaping and roofline and height conform to accepted architectural principles for permanent buildings as contrasted with engineering standards designed to satisfy safety requirements only; and exhibit external characteristics of demonstrated architecture and aesthetic durability.
- (6) Whether or not, in terms of design, material, texture, color, lighting, landscaping, dimension, line, mass or roof line and height, the proposed structure, building or improvement is designed to serve primarily as an advertisement or commercial display, exhibits exterior characteristics likely to deteriorate rapidly, would be of temporary or shortterm architectural or aesthetic acceptability, would be plainly offensive to human sensibilities or would otherwise constitute a reasonable foreseeable detriment to the community.

(Code 1992, § 4-16)

Case Number & Type: ARB #19-18; Wall Sign
Case Summary: Install non-illuminated wall sign on a commercial building
Case Location: 365 Herndon Parkway, Sugarland Industrial Park

Location Map



Property Information

Owner / Applicant:	365 Partners LLC		
Representative:	Kathy Bucher		
Business/Organization:	3D Imaging and Simulation Corporation - Americas		
Property Use:	Single -story commercial office		
Zoning District:	O & LI, Office and Light Industrial		
Adjacent Zoning:	North: O & LI, Office and Light Industrial South: O & LI, Office and Light Industrial	East: O & LI, Office and Light Industrial West: O & LI, Office and Light Industrial	
Associated Cases:	Not Applicable		
Building Type(s):	Single-story steel framed with uniform exterior materials	Date of Construction:	1984
Architectural Style(s):	Post-modern, vernacular typical suburban commercial office / light industrial business park expression		
Exterior Material(s):	Composite – Brick masonry, Glass storefront and windows, parapet roof form		
Neighborhood Design Profile:	Existing office and light industrial business park		

Case Details

Case Description:

The proposed wall sign would be installed on the exterior brick wall of the building facing Herndon Parkway.

The overall wall sign dimensions will be 1'-10 1/4" tall X 7'-8" wide. It would be constructed of 1" thick stainless-steel letters with 1" returns pin-mounted to the double soldier brick course(s) over the entrance of the tenant suite.

Using an appropriate method of calculating the sign area found in the Town's Zoning Ordinance, the sign will cover 14.22 square feet of surface area (Attachment #1, 2, and 3).

Case Background:

This ARB case is a typical scenario that is presented before the board related to periodic changes in business occupancy within this multi-tenant building. This property is subject to a Master Sign Plan, MSP #28 Sugarland II Business Park. This proposed sign does not comply with the sign lettering standards, placement standards or the sign background standards; however, this property has been subject to several ARB cases over the years for signage that does not meet the MSP design standards. Architectural Review Board Case #04-09 is a previous case which approved the preceding tenant sign for this tenant space, as one example. In this case, the proposed signage will be a reduction in the square footage of signage from the previous tenant sign to be removed.

Applicable Design Guidelines & Standards:

- Town Zoning Ordinance, Section, 78-140.6. - General standards for all signs
- Town Zoning Ordinance Section 78-141.4. - Sign standards for commercial districts
- Town Code of Ordinances, Section 58-96 Design criteria

Staff Analysis

1. The application proposes 14.22 square feet of signage for a new non-illuminated wall sign to be replace a previous tenant walls sign. Section 78-141.4. - Sign standards for commercial districts specifies that a maximum sign area of one (1) square foot of sign area per one (1) linear foot of frontage is authorized in the O & LI zoning district. The tenant of this space would be authorized 30 square feet of sign area based on measurement of the tenant space frontage. Thus, the proposed signage meets the location, size, and number standards of the referenced zoning ordinance section.
2. The proposed signs meet the Town Zoning Ordinance, Section, 78-140.6. - General standards for all signs regarding, the sign types, design, placement, and illumination.
3. The proposed sign generally complies with the applicable design criteria within the Town's Architectural Control District as specified in Section 58-96 of the Town Code of Ordinances (Attachment #5). However, staff has identified design refinements that should be considered to improve the overall design for this proposal. The sign should be centered vertically on the fascia, either between the bottom and middle brick soldier courses or the top and middle brick

soldier courses to not obscure the limited architectural details of brick soldier course. This refinement would also be more in keeping with the design standards of the referenced Master Sign Plan.

In addition, staff finds that the sign should be centered over the tenant space bay or centered vertically and horizontally over the window to be more in keeping with existing signage on the building and the referenced Master Sign Plan.

Staff Recommendation:

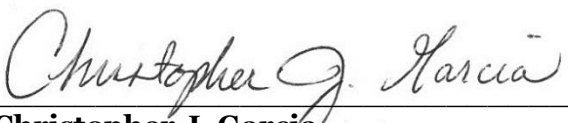
Motion Alternatives:	1. Motion to deny the application; 2. Motion to approve the application as submitted; 3. Motion to approve with condition(s); or 4. Motion to continue the public hearing to a date certain or the next ARB Public Hearing for action to address a specified design issue or concern of the Board.
Recommended Motion:	Motion for approval of ARB #19-18, in accordance with Alternative #3, with the following conditions: 1. The sign shall be centered vertically on the fascia either between the bottom and middle brick soldier courses or the top and middle brick soldier courses to not obscure the limited architectural details of brick soldier course. 2. The sign shall be centered over the tenant space bay or centered vertically and horizontally over the window. 3. The proposed signage shall be installed in substantial conformance with the application and supporting materials as submitted March 11, 2019.

Report Attachments

1.	Aerial Image
2.	Applicant Letter
3.	Sign Elevation, Location, Details and Product Information
4.	Town's Code of Ordinances Division 4 - Standards, Sec. 58-96. (ARB) Design Criteria

Staff Contact

Name/Title:	Christopher J. Garcia, Community Design Planner
Phone/Email:	(703)787-8730; christopher.garcia@herndon-va.gov



Christopher J. Garcia
Community Design Planner

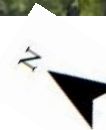


Bryce A. Perry
Deputy Director



Google Earth
© 2018 Google

SITE LOCATION – AERIAL PHOTO



Imagery prepared by Town of Herndon
Department of Community Development
Image source: Google Earth © 2018

3DISC

March 8, 2019

Town of Herndon
Christopher Garcia
Architectural Review Board
777 Lynn Street
Herndon, VA 20170

Dear Mr. Garcia,

Enclosed with this letter, please find our Sign Permit Application, a check for the \$75 fee, and all the copies stated on the application requirements:

- Six copies of color photographs of the store front and building (#4). The Vidar sign shown in the photograph has been removed by the landlord and is showing the place where '3DISC' sign will be.
- Six copies of color drawings 11"x17" showing the entire tenant front with the location of the sign. All the requirements for items #5, #6 and #7 are shown here.
- Six sets of aerial building photograph and building survey plot, also for #7. Sign location is marked in orange.

We are waiting on our materials sample from the sign company and will have that prior to the meetings.

Electronic copies of the above have been emailed to you.

Please let me know if you have any questions or need any clarifications. Thank you for your assistance.

Sincerely,



Kathy Bucher
Finance Manager
3DISC



Exterior view front façade looking northeast



Exterior view of southern façade looking east



Exterior view of rear loading area

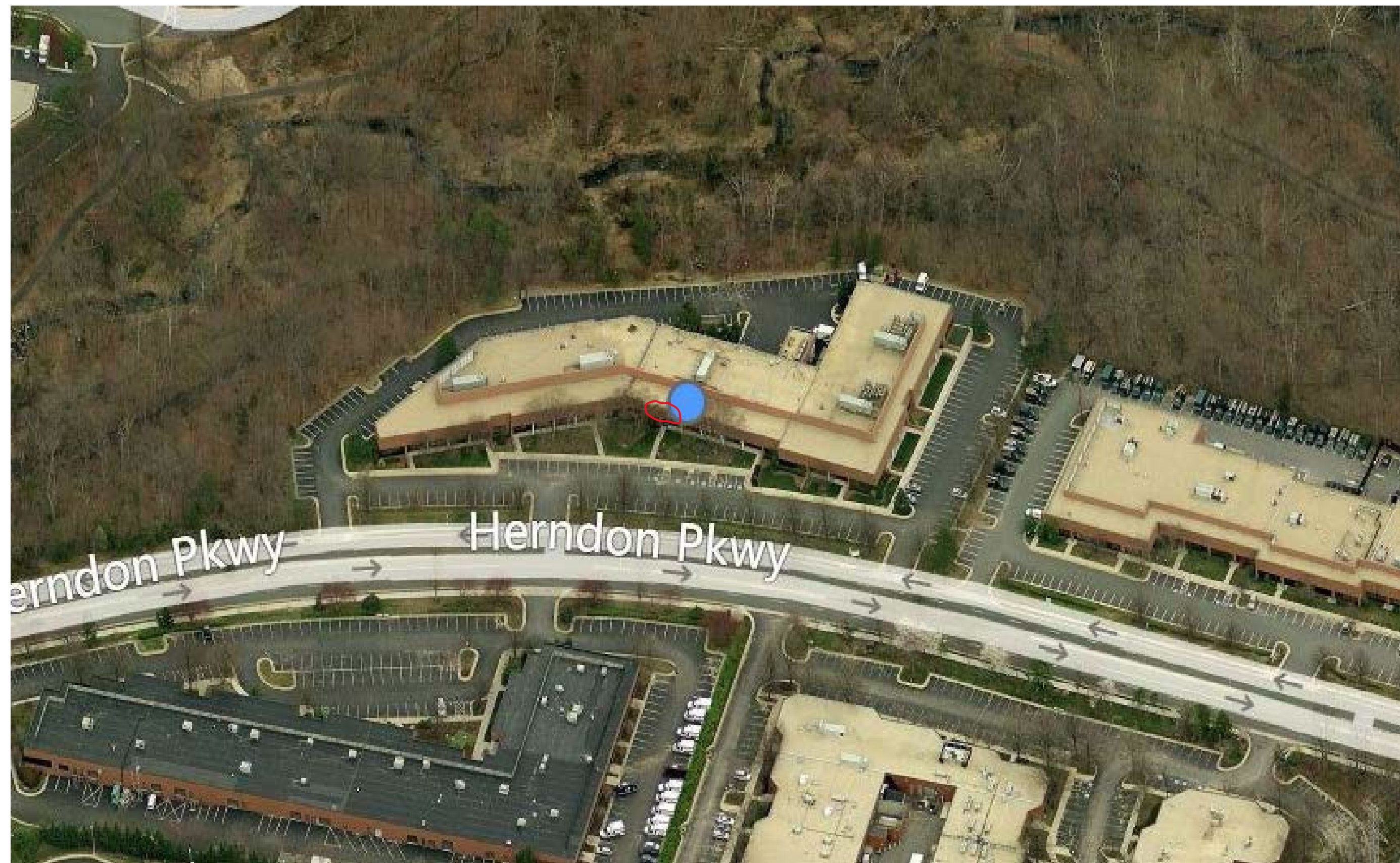
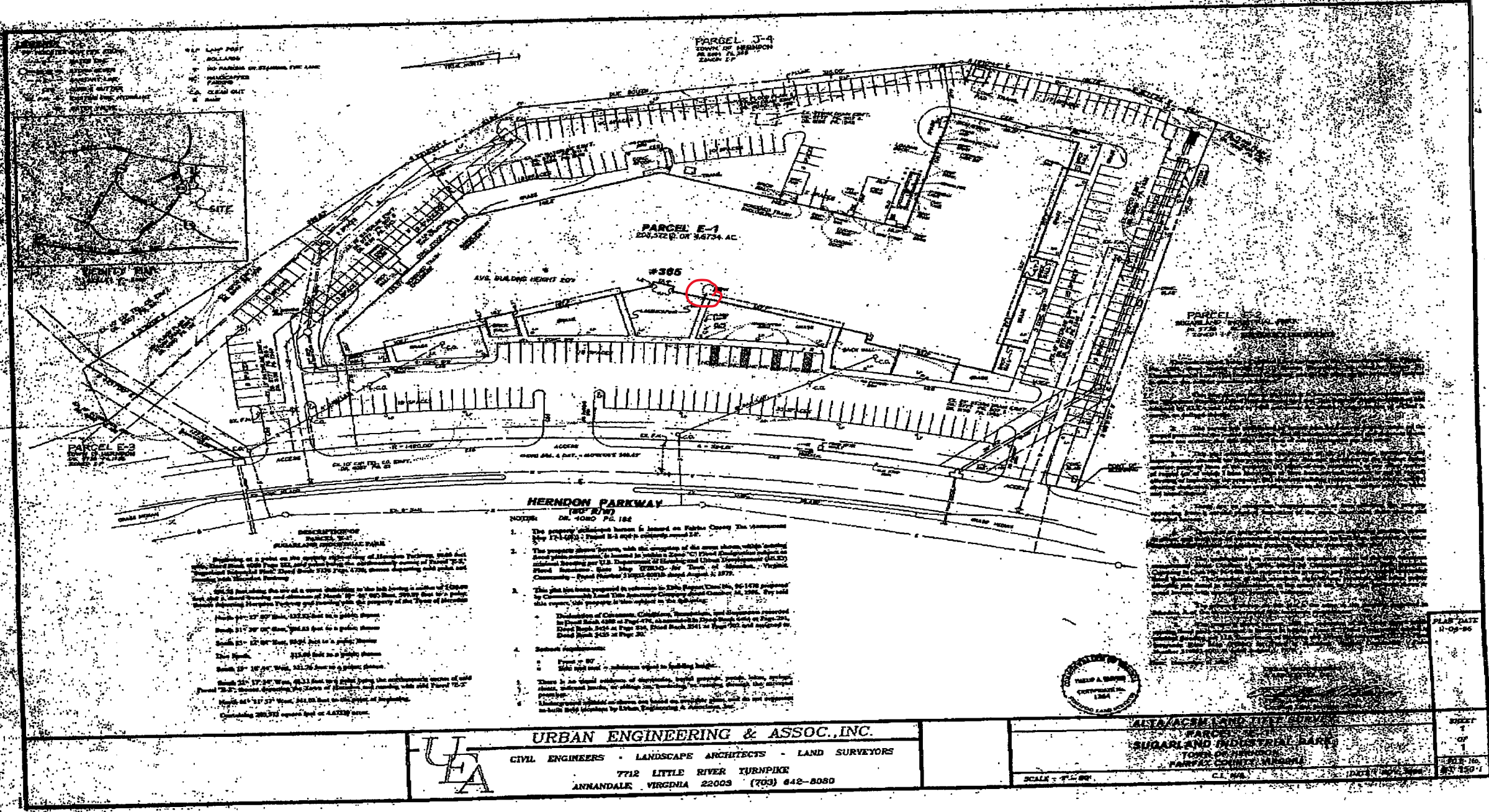


EXHIBIT 1A(2)

Handwritten signature or initials.





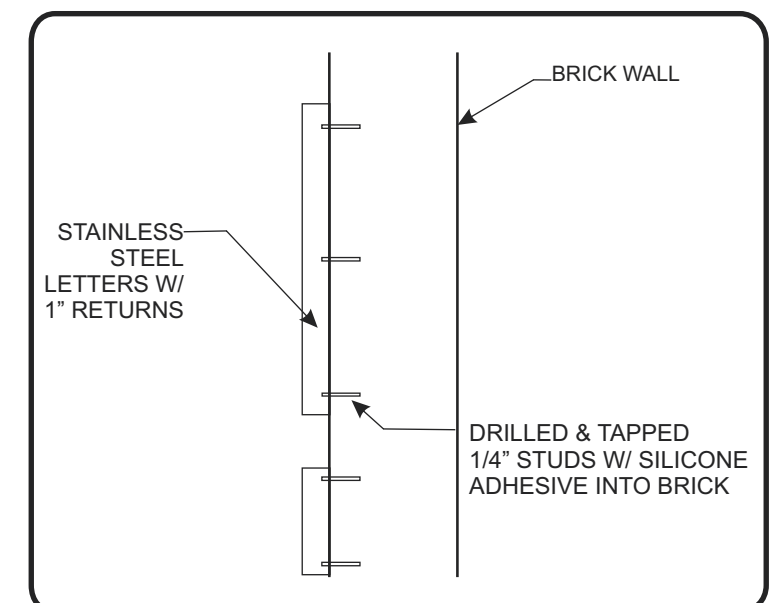
SCALE: 1" = 1'-0"
14.22 SQ FT



EXISTING LOCATION



SCALE: 3/16" = 1'-0"



REMOVE FROM EXISTING LOCATION:

FABRICATE & INSTALL:

- ONE (1) SET OF 1" THICK STAINLESS STEEL LETTERS
W/ BRUSHED FINISH



Scale: NOTED	Customer: 3 Disc Imaging	
Date: 12-03-2018	365 Herndon Pkwy #18	
WO#: 26937		
Drawn By: DH		
	Sales Rep: BOB ANDERSON	Revised: 12-20-18
8197 Euclid Court Manassas Park, Virginia (703)368-1986 All Rights Reserved		

NOTICE: THIS DRAWING IS AN ORIGINAL DESIGN, CREATED BY METRO SIGN & DESIGN AND IS SUBMITTED FOR USE IN CONJUNCTION WITH THIS PROJECT ONLY. THIS DRAWING CANNOT BE DUPLICATED, ALTERED OR EXHIBITED IN ANY FASHION WITHOUT AUTHORIZATION FROM METRO SIGN & DESIGN. THIS DRAWING REMAINS THE PROPERTY OF METRO SIGN & DESIGN AND ANY UNAUTHORIZED USE OR EXHIBITION WILL RESULT IN A DESIGN FEE.

ARCHITECTURAL REVIEW BOARD STANDARDS FOR DESIGN REVIEW

Taken from ARB Charter – Chapter 58 (Planning) of Herndon Town Code (2000)

DIVISION 4. STANDARDS* _____

***Charter references:** Standards and purpose, § 7.4:1(c). _____

Sec. 58-96. Design criteria.

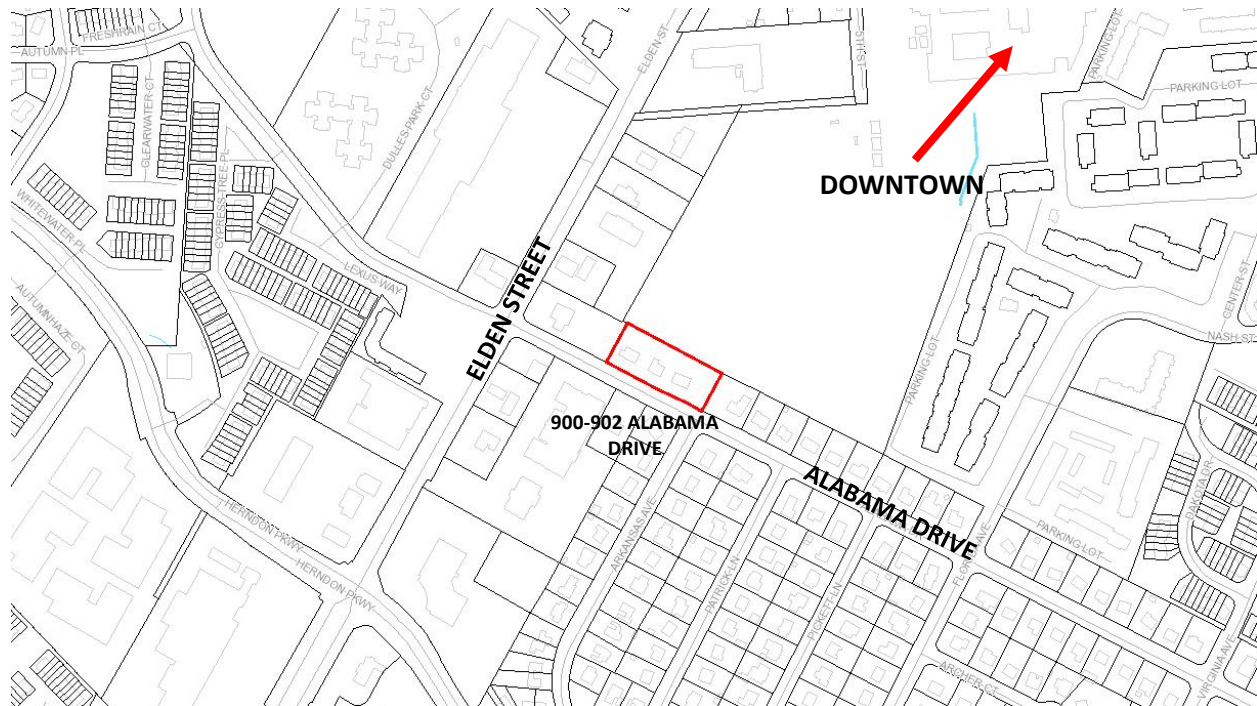
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- (1) Whether or not the proposed architectural design is suitable for a good suburban community in terms of external architectural features, including signs subject to public view, general design and arrangement, texture, color, line, mass, dimension, material and lighting.
- (2) Whether or not the proposed structure, building or improvement is compatible with existing well-designed structures, acceptable to the board, in the vicinity and in the town as a whole.
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- (5) Whether or not the combination of architectural elements proposed for a structure, building or improvement, in terms of design, line, mass, dimension, color, material, texture, lighting, landscaping and roofline and height conform to accepted architectural principles for permanent buildings as contrasted with engineering standards designed to satisfy safety requirements only; and exhibit external characteristics of demonstrated architecture and aesthetic durability.
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(Code 1992, § 4-16)

Case Number & Type: ARB #19-19; New Construction
Case Summary: Install new section of perimeter fence
Case Location: 900-902 Alabama Drive, Elden Corner Center

Location Map



Property Information

Owner / Applicant:	Elden Corner Center LLC c/o Sanjay Bajaj		
Representative:	Yung Kim, Apex Solutions, LLC		
Business/Organization:	N/A		
Property Use:	Single -story commercial building		
Zoning District:	PD-B, Planned Development - Business		
Adjacent Zoning:	North: R-10, Residential, Single Family South: R-10, Residential, Single Family East: R-10, Residential, Single Family West: CS, Commercial Services		
Associated Cases:	TP#R-16-29 / TP #R-17-13		
Building Type(s):	Single-story steel framed with composite exterior materials	Date of Construction:	2018-2019
Architectural Style(s):	Post-modern, typical modern suburban multi-use, multi-tenant commercial		
Exterior Material(s):	Composite – Brick masonry, Glass storefront and windows, concrete masonry unit (CMU), gabled roof forms with asphalt shingles		

Neighborhood Design Profile:	Redeveloped commercial site adjacent to single family residential uses, commercial uses and public institutional uses
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Case Details

Case Description:

The proposed metal fence will be 6 feet high and 131.7 linear feet in length and will be constructed of commercial grade steel 2.5" X 2.5" posts set in 30" of concrete, generally below grade, with three 1" X 1.5" stringers and 3/4" X 3/4" pickets. The application does not specify the color of the fence metal or if it is to be painted or powder coated a specific color. This new construction is being completed to comply with previous administrative site plan approvals noted (Attachments #1, 2, and 3).

Case Background:

This ARB case represents a condition of approval for site plan revisions TP#R-16-29 / TP #R-17-13. This required fencing is a functional requirement of mitigating adverse impacts of the PD-B zoning district to the adjacent single-family residential use to the east of the subject property through required landscaping (buffering) and installation of the fencing subject to this case.

Applicable Design Guidelines & Standards:

- Town Zoning Ordinance, Section, 78-50.5. - PD-B - Planned development business district
- Town Zoning Ordinance Section 78-115. - Walls, fencing and hedge standards
- Town Code of Ordinances, Section 58-96 Design criteria (Attachment #4)

Staff Analysis

1. The application proposes fencing to provide protection of surrounding residential areas from adverse impacts existing within the PD-B zoning district of this site and complies with the intent of fencing and screening requirements as stated in the Town's Zoning Ordinance, Section, 78-50.5. - PD-B - Planned development business district.
2. The proposed fence will meet the Town Zoning Ordinance Section 78-115. - Walls, fencing and hedge standards regarding, the fence materials, height, design, and placement.
3. The proposed fence section will improve the site appearance and will generally comply with the applicable design criteria within the Town's Architectural Control District as specified in Section 58-96 of the Town Code of Ordinances (Attachment #4).

Staff Recommendation:

Motion Alternatives:	1. Motion to deny the application. 2. Motion to approve the application as submitted. 3. Motion to approve with condition(s).
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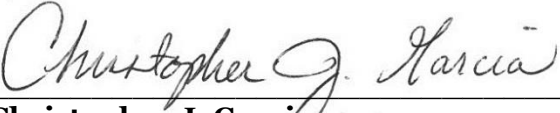
	4. Motion for continuance of the public hearing to a date certain or the next ARB Public Hearing for action to address a specified design issue or concern of the Board.
Recommended Motion:	Motion for approval of ARB #19-19, in accordance with Alternative #3, with the following condition: 1. The proposed perimeter fence shall be installed in substantial conformance with the application and supporting materials as submitted March 04, 2019.

Report Attachments

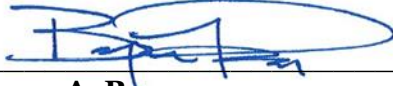
1.	Aerial Image
2.	Applicant Letter
3.	Sign Elevation, Location, Details and Product Information
4.	Town's Code of Ordinances Division 4 - Standards, Sec. 58-96. (ARB) Design Criteria

Staff Contact

Name/Title:	Christopher J. Garcia, Community Design Planner
Phone/Email:	(703)787.7380; christopher.garcia@herndon-va.gov



Christopher J. Garcia
Community Design Planner



Bryce A. Perry
Deputy Director



SITE LOCATION – AERIAL PHOTO



Imagery prepared by Town of Herndon
Department of Community Development
Image source: Google Earth © 2018



571-969-2739 • yungkim@apex-s.com
412 Old Dominion Ave., Herndon, VA 20170

March 4, 2019

Mr. Pablo V. Novelo
Development Program Planner
Town of Herndon

**Re: Elden Corner Center, Propose Fence Detail ARB Approval
Town Plan #TP-10-02**

Dear Mr. Novelo:

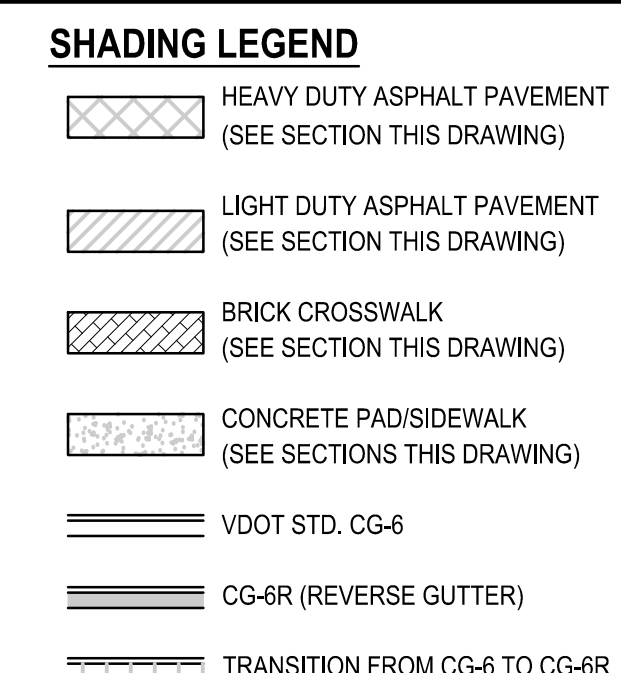
Apex Solutions is submitting detail of the proposed fence and material for fence shown on the site plan along the south eastern property line. Approval of ARB is required per the site plan.

If you have any questions, please call me at 571-969-2739 or e-mail at yungkim@apex-s.com.

Sincerely,

APEX SOLUTIONS, LLC

Yung Chull Kim, P.E.
Principal



TOP = 398.65
INV. OUT = 394.04

(1)

TOP = 398.38
INV. IN = 393.87 (12")
INV. OUT = 393.86 (15")

(2)

TOP = 396.91
INV. IN = 393.64
INV. IN = 392.64 (21")
INV. OUT = 392.55 (18")

(3)

TOP = 395.94
INV. IN = 392.07 (21")
INV. OUT = 391.48

(4)

(A) TOP = 400.58
INV. IN = 391.27
INV. OUT = 391.19

(B) TOP = 397.14
INV. IN = 390.02 (WEST)
INV. IN = 391.11 (SOUTH)
INV. OUT = 389.81

BRICK CROSSWALK:

THE CROSSWALK DESIGN ACROSS COMMERCIAL ENTRANCE CONSISTS OF AN IMPRINTING SYSTEM AS PROVIDED BY THE IMPRINT DECORATIVE SURFACING SYSTEM AND BORDERED BY A ONE FOOT WIDE WHITE STRIPE ON EACH SIDE OF THE IMPRINTED TREATMENT. IMPRINT IS LAID ON AN EXISTING SURFACE AT ONE HALF TO ONE INCH THICK AND IS COLORED THROUGHOUT ITS DEPTH SO THAT COLOR DOES NOT WEAR OFF. FOR CONSISTENCY WITH THE DOWNTOWN CROSSWALK PATTERN, A 90 DEGREE HERRINGBONE PATTERN SHOULD BE USED ALONG WITH BURNT RED COLOR COMPLEMENTARY TO DOWNTOWN PAVERS.

EXISTING ZONE:
PLANNED DEVELOPMENT – BUSINESS (PD-B)
(AS APPROVED IN ZMA #09-101)

REQUIRED SET BACK: NONE
PROPOSED SET BACK:
- FRONT: 58.34'
- SIDE: 8.5'
- REAR: 6.3'

MINIMUM SIDE YARD - WEST:
REQUIRED: 7.5' BUFFER
PROPOSED: 7.5' BUFFER
MINIMUM SIDE YARD - EAST:
REQUIRED: 15' BUFFER
PROPOSED: 14.5' BUFFER
(WAIVER APPROVED IN ZMA #09-101)

MINIMUM REAR YARD: 15' BUFFER
PROPOSED REAR YARD: 6.3' (WAIVER APPROVED WITH 15' BUFFER)

MINIMUM FRONT YARD: 10' BUFFER
PROPOSED FRONT YARD: 10'

MAX. HEIGHT: 35'
PROPOSED: 25'

REQUIRED OPEN SPACE: 20% (8,585 SF)
PROPOSED OPEN SPACE: 24% (10,483 SF)

PERMITTED F.A.R.: 0.40
PROPOSED F.A.R.: 0.23

PARKING REQUIRED: 1 SPACE/200 SF = 50 SPACES
HANDICAP SPACES REQUIRED: 2 SPACES
PROPOSED HANDICAP SPACE: 3 SPACES
TOTAL PROPOSED PARKING: 52 SPACES

REQUIRED LOADING SPACE: 1 SPACE/14,999 SF
PROPOSED LOADING SPACE: 1 - 17'X25' SPACE

ENVIRONMENTAL CONSTRAINTS ANALYSIS:

1. THERE IS NO MAPPED RPA OR PERENNIAL FLOW ON SITE.
2. THERE ARE NO AREAS HAVING SLOPES OF 15% AND GREATER ON SITE.
3. THERE IS NO FLOODPLAIN ON SITE.

1. OWNER/APPLICANT:
ELDEN CORNER CENTER
3521 MCLEAN AVE
FAIRFAX, VA 22030
DB. 20127, PG. 1933

2. TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HEREON IS FROM TRI-TEC ENGINEERING PLAN DATED 4-06-2007.
3. VERTICAL DATUM IS BASED ON SANITARY SEWER AS-BUILT PER TOWN OF HERNDON.
4. NO TITLE REPORT FURNISHED.
5. THERE ARE NO KNOWN GRAVES ON THIS SITE.
6. ALL EXISTING STRUCTURES AND PAVING SHALL BE REMOVED.
7. A PLAT OF CONSOLIDATION WILL BE SUBMITTED TO THE TOWN TO CONSOLIDATE THE THREE PARCELS INTO ONE PRIOR TO SITE PLAN SUBMISSION.

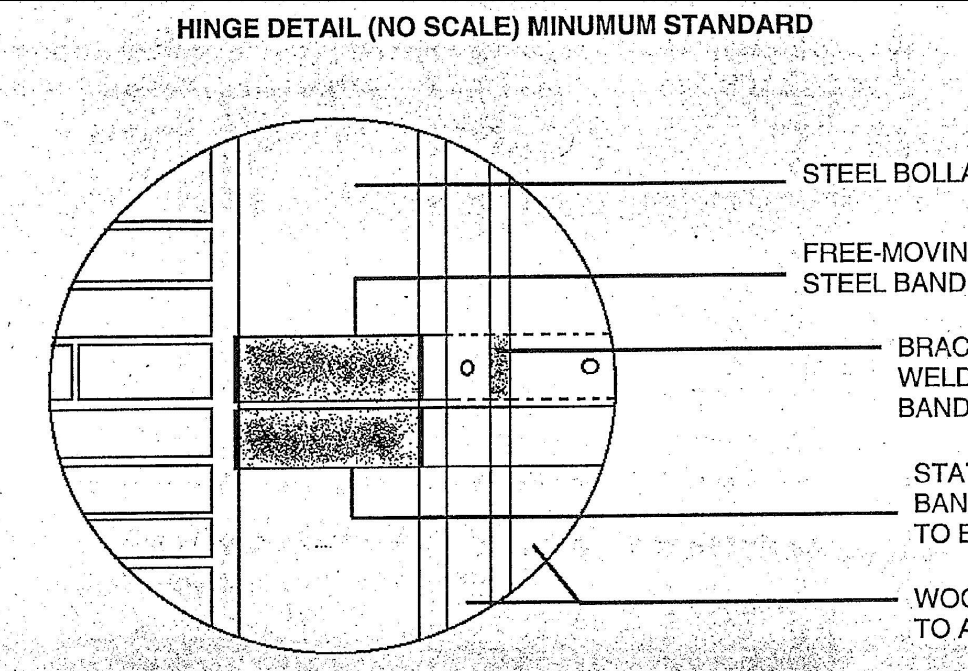
SITE AREA:	
016-1-02-0016C:	23,175 SF
016-2-13-01-0001:	15,674 SF
OUTLOT A:	4,074 SF
TOTAL:	42,923 SF

PROPOSED LOT AREA: 42,92
BUILDING FLOOR AREA: 9,97

SITE ADDRESS:
- 016-1-02-0016C: 902 ALABAMA DRIVE, HERNDON, VA 20170
- 016-2-13-01-0001: 900 ALABAMA DRIVE, HERNDON, VA 20170
- OUTLOT A: FORMERLY ARKANSAS AVENUE

FOR SMALL COMMERCIAL RETAIL CENTER: 40 TRIPS PER 1,000 SF
 $40 \times 10,000 \text{ SF} / 1,000 \text{ SF} = 400 \text{ VPD}$ SINCE THERE IS TWO ENTRANCE
 EACH ENTRANCE GENERATES 200 VPD

BEFORE DIGGING CALL "MISS UTILITY"
OF VIRGINIA AT 1 - 800 - 552 - 7001



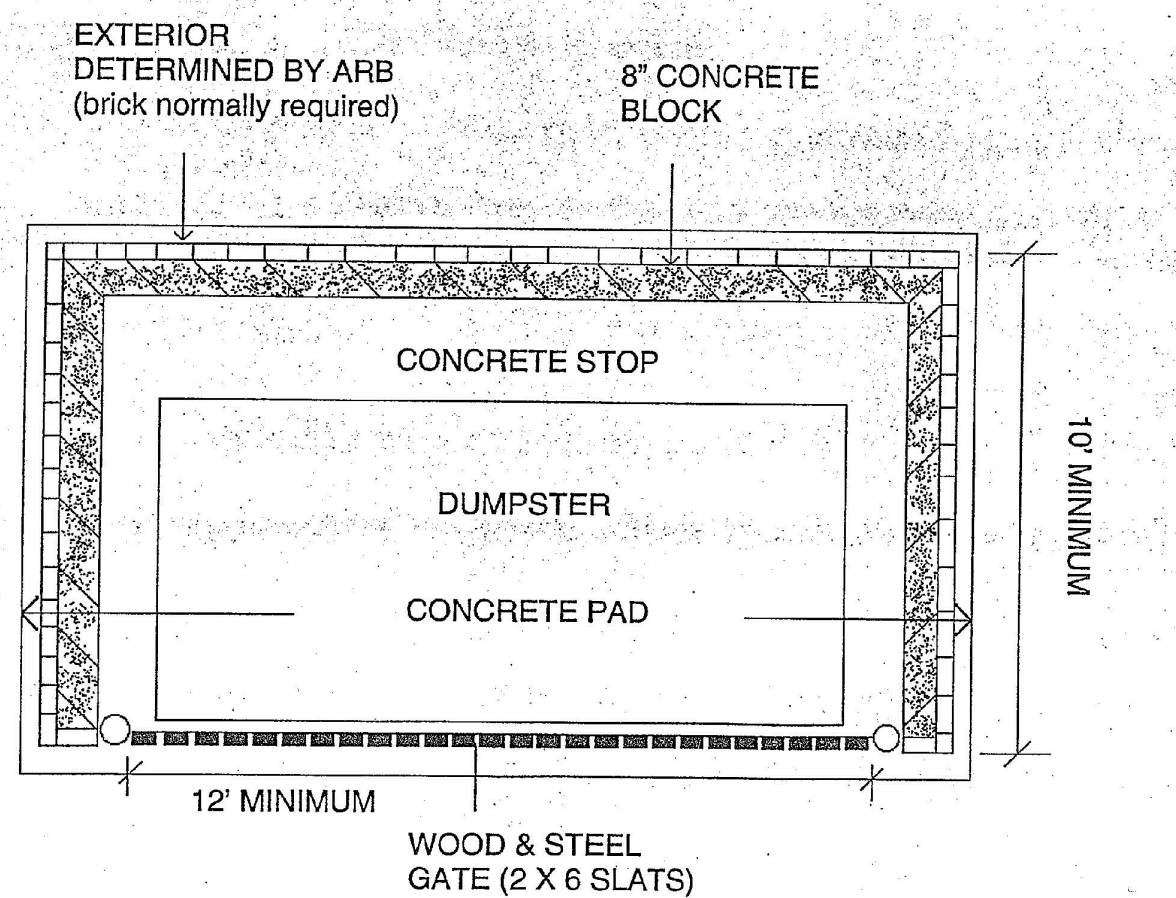
**MINIMUM DESIGN STANDARDS FOR SINGLE-UNIT TRASH
RECEPTACLE ENCLOSURE**
Town of Herndon, Virginia
Community Development

Receptacle enclosure dimensions and height are variable. Enclosures must completely screen receptacles.

DEPARTMENT OF COMMUNITY DEVELOPMENT
TOWN OF HERNDON, VIRGINIA

The developer is required to consider total trash and recycling container needs of the project, including grease and miscellaneous debris. Double or triple enclosure units or multiple units may be required.

This drawing is not to scale



6" PORTLAND CEMENT CONCRETE
(USE FOR TRASH ENCLOSURE PAD & APRON)

LONGITUDINAL BARS #4
@ 12" O.C.

TRANSVERSE BARS #4
@ 12" O.C.

2.5" CLR.

6" 21-A AGGREGATE SUBGRADE

COMPACTED SUBGRADE TO 95% STANDARD
PROCTOR DENSITY (ASTM D698)

CONCRETE PAVING SECTION
FOR DUMPSTER PAD

NOT TO SCALE

4" PORTLAND CEMENT CONCRETE
4" X 4" REINFORCING
WIRE MESH
2" CLR.

4" 21-A AGGREGATE SUBGRADE

IMPACTED SUBGRADE TO 95% STANDARD AVAILABLE

CONCRETE SIDEWALK

AVAILABLE FIRE FLOW Q20 = 3149 GPM, S-45, R-35
SOURCE OF FIRE FLOW INFO. TOWN OF HERNDON PUBLIC WORKS
TYPE OF CONSTRUCTION-IBC IIB
USE GROUP CLASSIFICATION-IBC A-2, B & M
BUILDING HEIGHT 35 FEET.

BUILDING TO BE FULLY SPRINKLERED YES ☒ NO ☐
IF YES, CHECK APPROPRIATE STANDARD: NFPA 13 ☒ ; NFPA 13D ☐ ; NFPA 13R ☐
SEE PFM CHAPTER 9, PART 2 FOR FULL INFORMATION REQUIRED. FIRE FLOW REQUIREMENTS
TO BE DETERMINED BY THE FIRE PREVENTION DIVISION.

HEAVY DUTY ASPHALT PAVEMENT
NOT TO SCALE

LIGHT DUTY ASPHALT PAVEMENT
NOT TO SCALE

FIRE MARSHAL NOTES

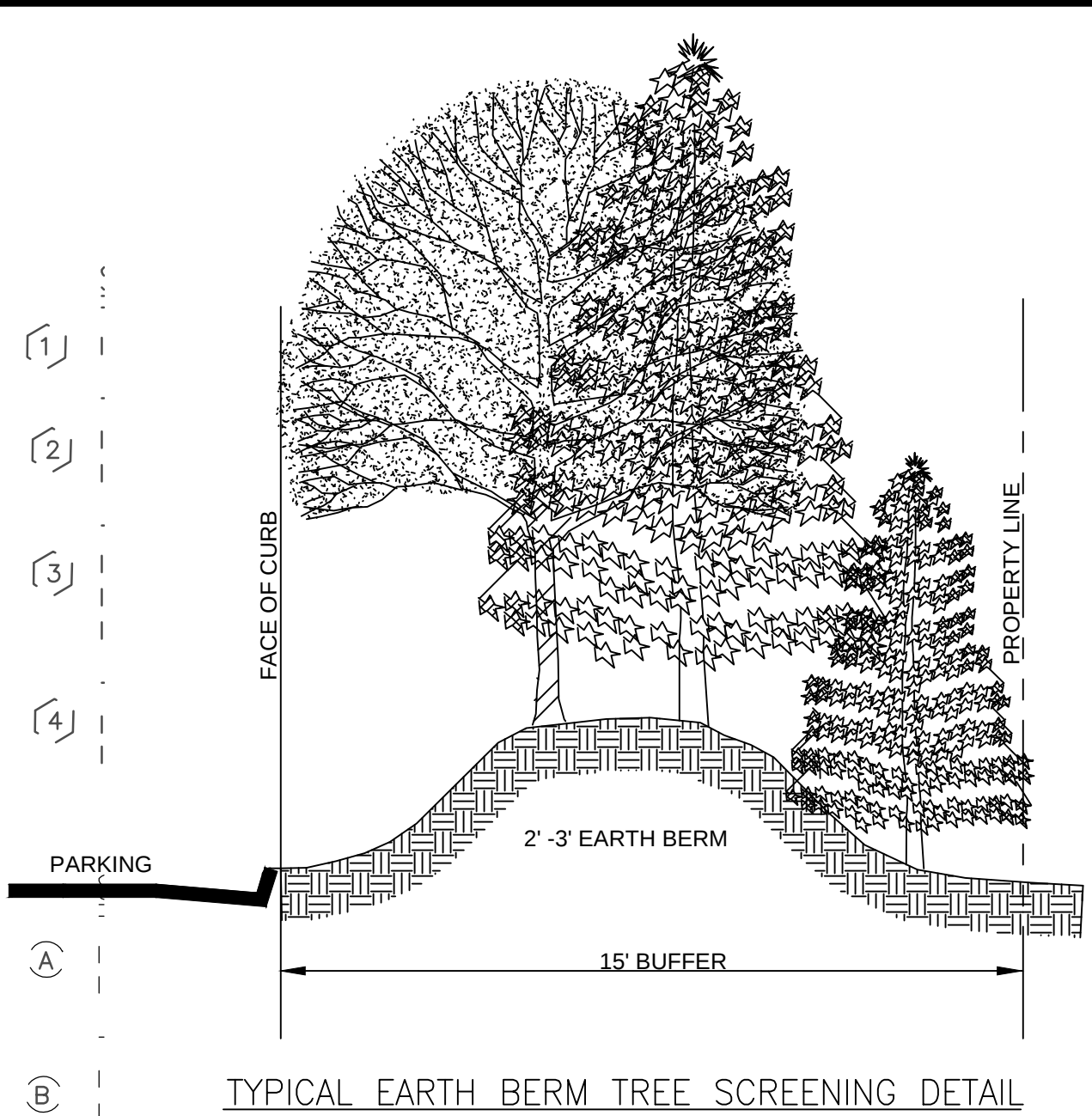
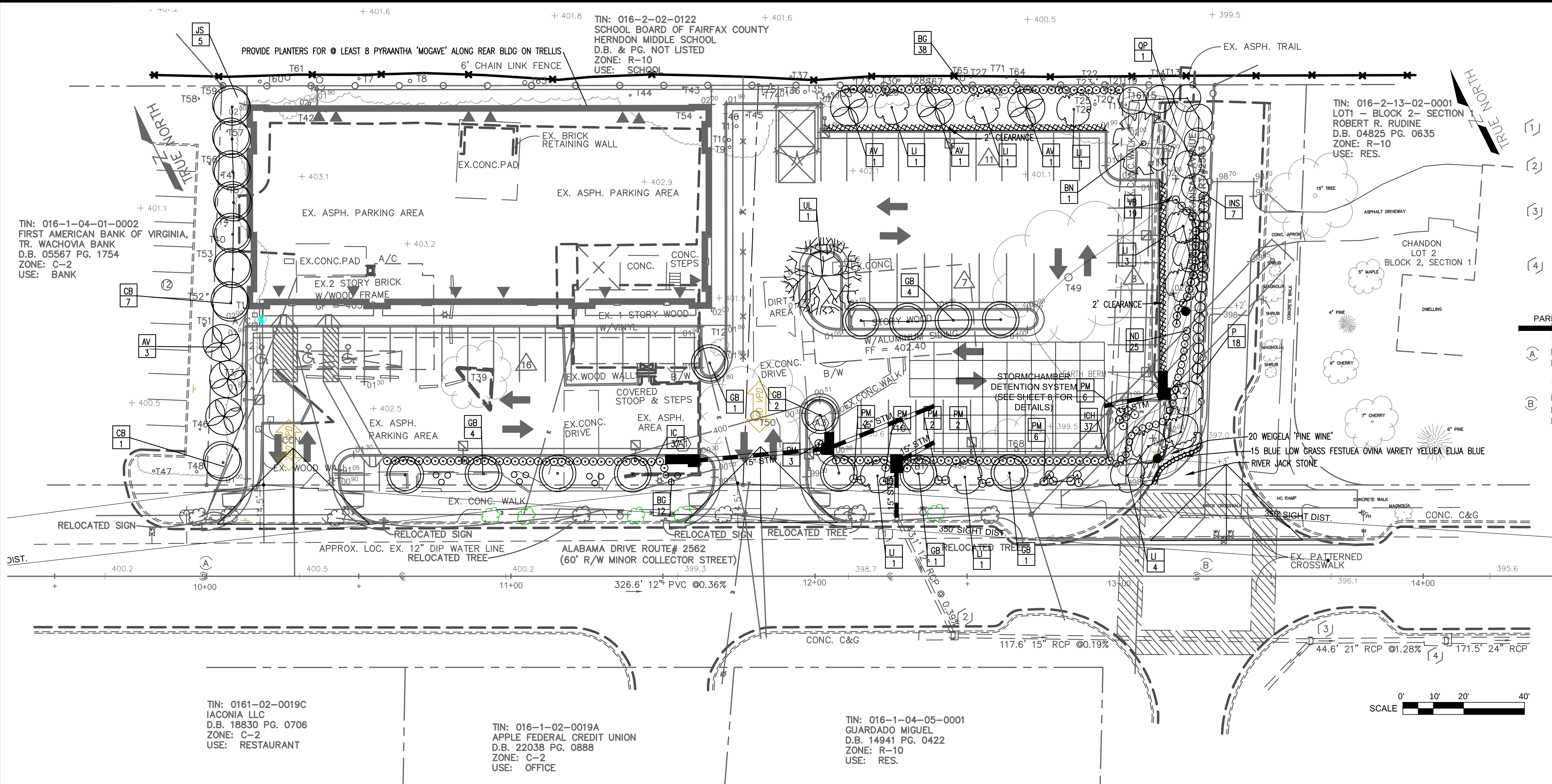
Apex Solutions, LLC
Professional Engineering Service

[illegible]

SITE PLAN

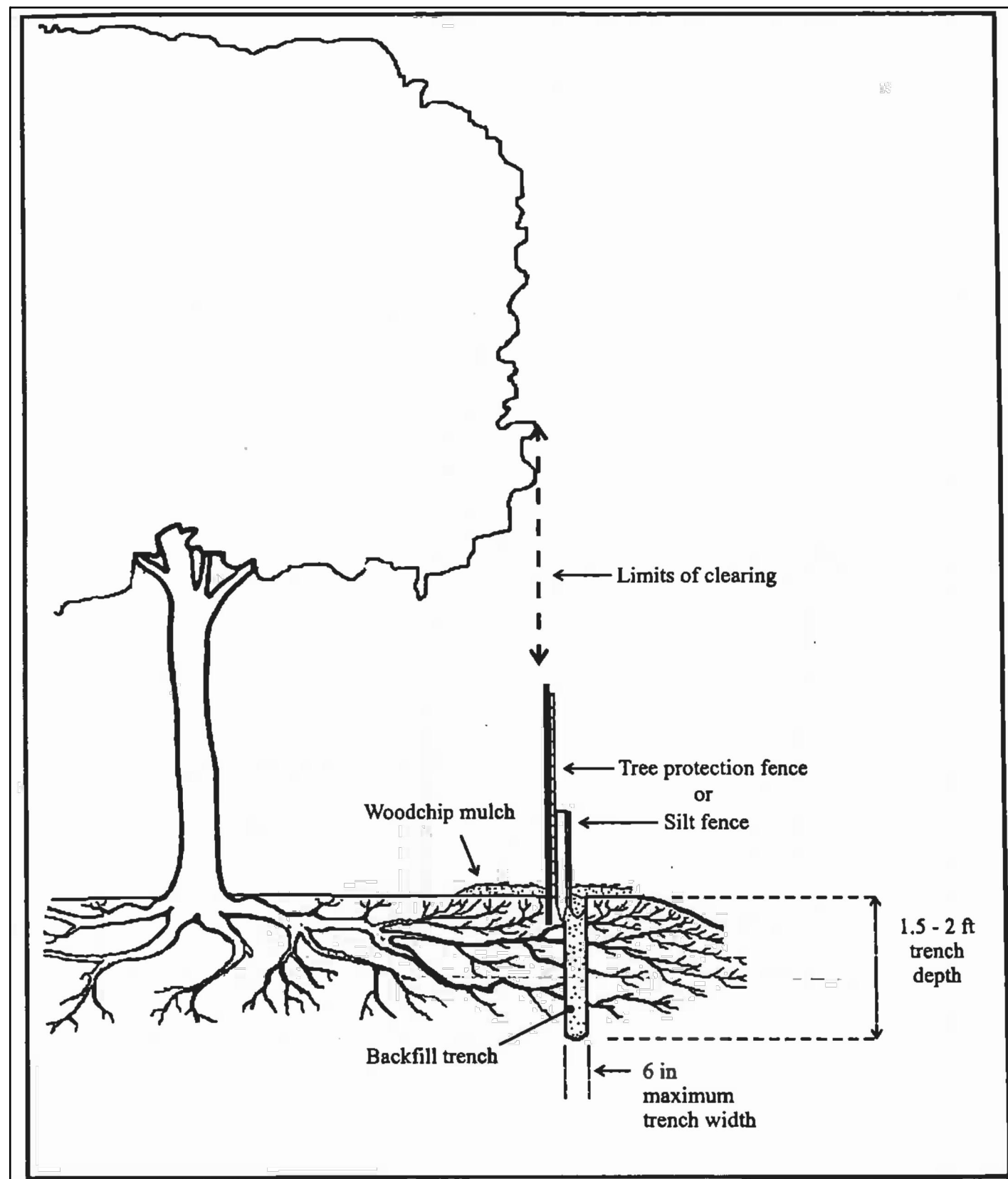
ELDEN CORNER
CENTER

Job Number 102408	Sheet No. 4 OF 12
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LANDSCAPE LEGEND:

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	CONDITION	REMARKS
UA	ULMUS AMERICANA	LIBERTY OR VALLEY FORGE	1	4" CAL.	B&B	
BN	BERULA NIGRA	HERITAGE RIVER BIRCH	1	4" CAL.	B&B	
CB	CARPINUS BETULUS	FASTIGIATA HORNBEAN	8	4" CAL.	B&B	
AV	ARBORVITAE	GREEN GIANT	6	8" HGT	B&B	
GB	GINKGO BILOBA	PRINCETON SENTRY	13	4" CAL.	B&B	
LI	LARGERSTROEMIA INDICA	MIAMI	12	5" HGT	B&B	
INS	ILEX NELLIE STEVENS	NELLIE STEVENS HOLLY	7	8" HGT	B&B	
BC	BERBERIS GLADWYNENSIS	WILLIAM PENN BARBERRY	30	30" HGT	B&B	
IC	ILEX CORNUTA	ROTUNDA	37	24" HGT	B&B	
ICH	ILEX CRENATA	HETZIL	37	24" HGT	B&B	
PM	PINUS MUGO	SNOWHOUND	20	24" HGT	B&B	
ND	NANDIA	BAR HARBOR	25	1 GAL	B&B	
VB	VIBURNUM DENTATUM	BLUE MUFFIN	19	1 GAL	B&B	
WE	WEIGELA	FINE WINE	20	1 GAL	B&B	
PR	PYRACANTHA	MOHAVE	26	5 GAL	B&B	
FO	FESTUCA OVINA	GLAUCUA ELIJAH BLUE	15	1 GAL	B&B	



REQUIRED SITE LANDSCAPE PLANTINGS:

BUSINESS USES: REQUIRED 16 CANOPY TREES PLUS 10 EVERGREEN TREES PER ACRES ONE SHRUB PER 5 LF OF BUILDING

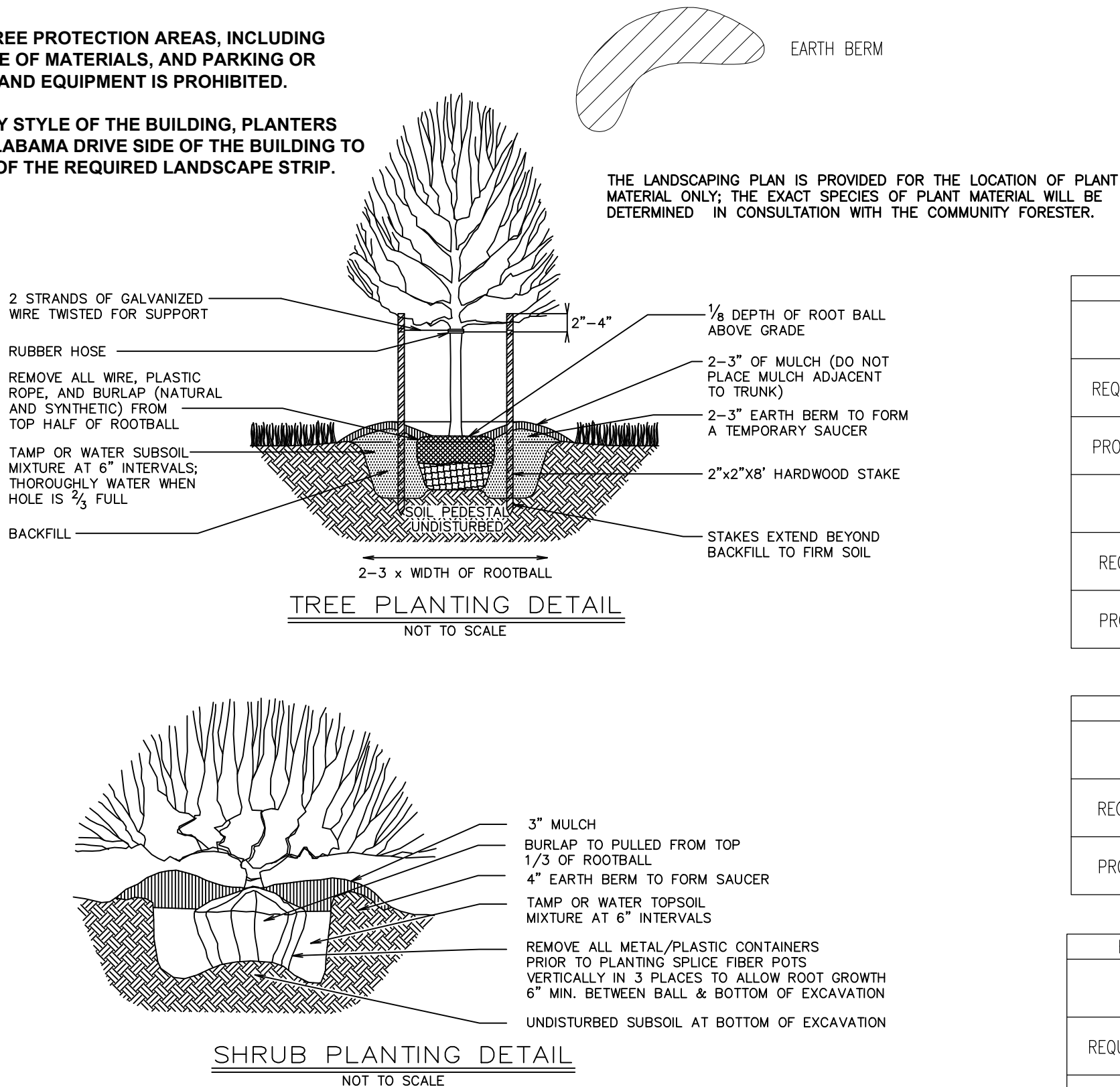
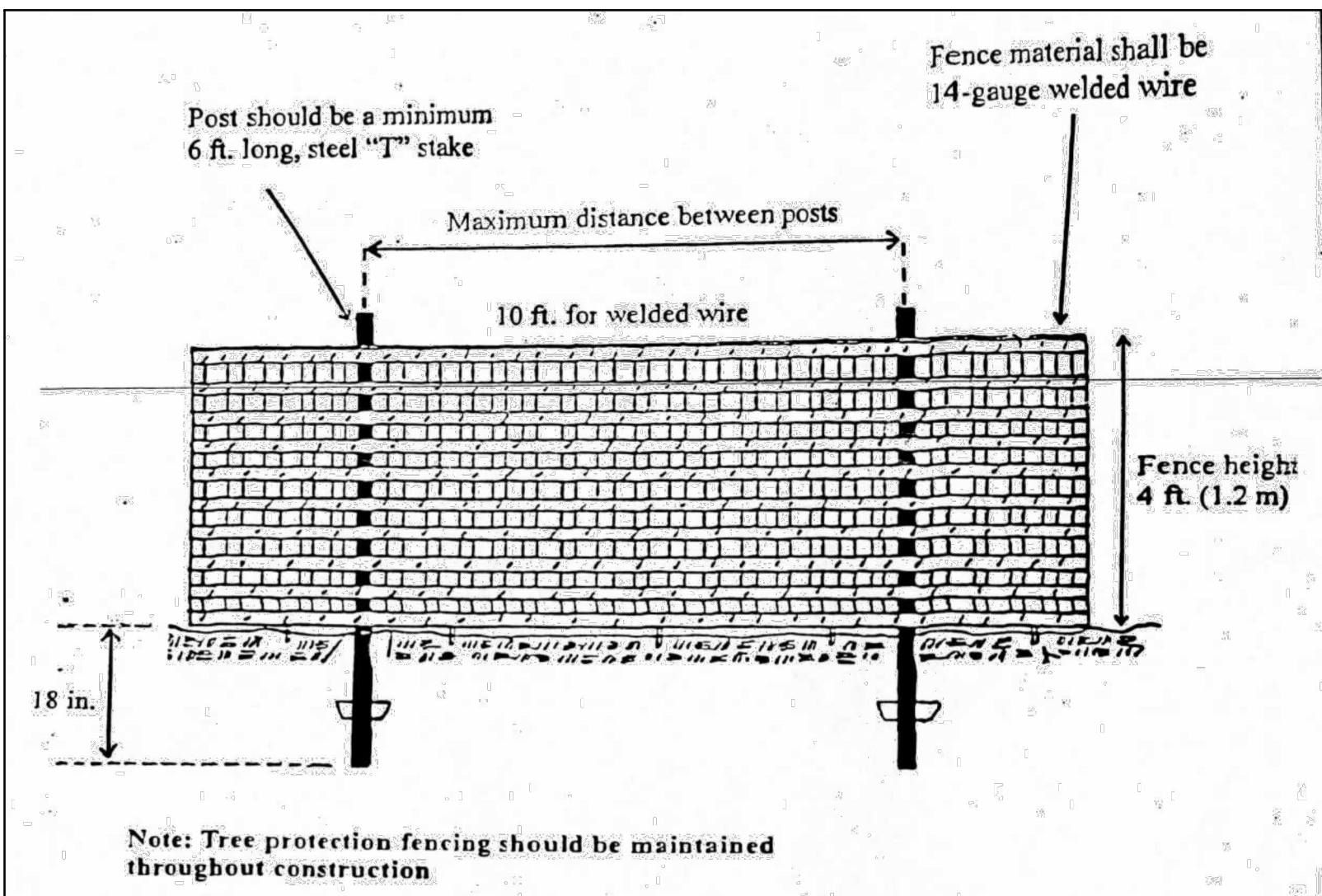
REQUIRED CANOPY TREES: 0.98 * 16 = 16 TREES
PROVIDED CANOPY TREES: 20

REQUIRED EVERGREEN TREES: 0.98 * 10 = 10 TREES
PROVIDED EVERGREEN TREES: 23

REQUIRED SHRUB: 439 / 5 = 88
PROVIDED SHRUB: 110

NOTE:
ANY DISTURBANCE INSIDE TREE PROTECTION AREAS, INCLUDING GRADING, CLEARING, STORAGE OF MATERIALS, AND PARKING OR TRANSPORTING OF VEHICLES AND EQUIPMENT IS PROHIBITED.

IN KEEPING WITH MID-CENTURY STYLE OF THE BUILDING, PLANTERS WILL BE INSTALLED ALONG ALABAMA DRIVE SIDE OF THE BUILDING TO COMPENSATE FOR THE LACK OF THE REQUIRED LANDSCAPE STRIP.



BUFFER CLASS	AVE. # CANOPY TREES	AVE. # EVERGREEN TREES	AVE. # OF UNDERSTORY	TOTAL
"C"	1 PER 25 FEET	1 PER 25 FEET	1 PER 50 FEET	
REQUIRED (NORTH SIDE)	326/25 = 13	326/25 = 13	326/50 = 7	33
PROVIDED (NORTH SIDE)	1*	8*	6*	15*
* WAIVER REQUESTED				
REQUIRED (EAST SIDE)	132/25 = 6	132/25 = 6	132/50 = 3	15
PROVIDED (EAST SIDE)	6	10	11	27

BUFFER CLASS	AVE. # CANOPY TREES	AVE. # EVERGREEN TREES	AVE. # OF UNDERSTORY	TOTAL
"D"	1 PER 30 FEET	1 PER 30 FEET	1 PER 50 FEET	
REQUIRED (WEST SIDE)	132/30 = 5	132/30 = 5	132/50 = 3	13
PROVIDED (WEST SIDE)	5	5	3	13

BUFFER CLASS	AVE. # CANOPY TREES	AVE. # EVERGREEN TREES	AVE. # OF UNDERSTORY	TOTAL
R.O.W.	1 PER 35 FEET	N.A.	N.A.	
REQUIRED (SOUTH SIDE)	326/35 = 10	N.A.	N.A.	10
PROVIDED (SOUTH SIDE)	10	3	12	25

TREE PROTECTION FENCE INSTALLATION DETAIL

THIS SHEET IS FOR LANDSCAPING PURPOSES ONLY!!!

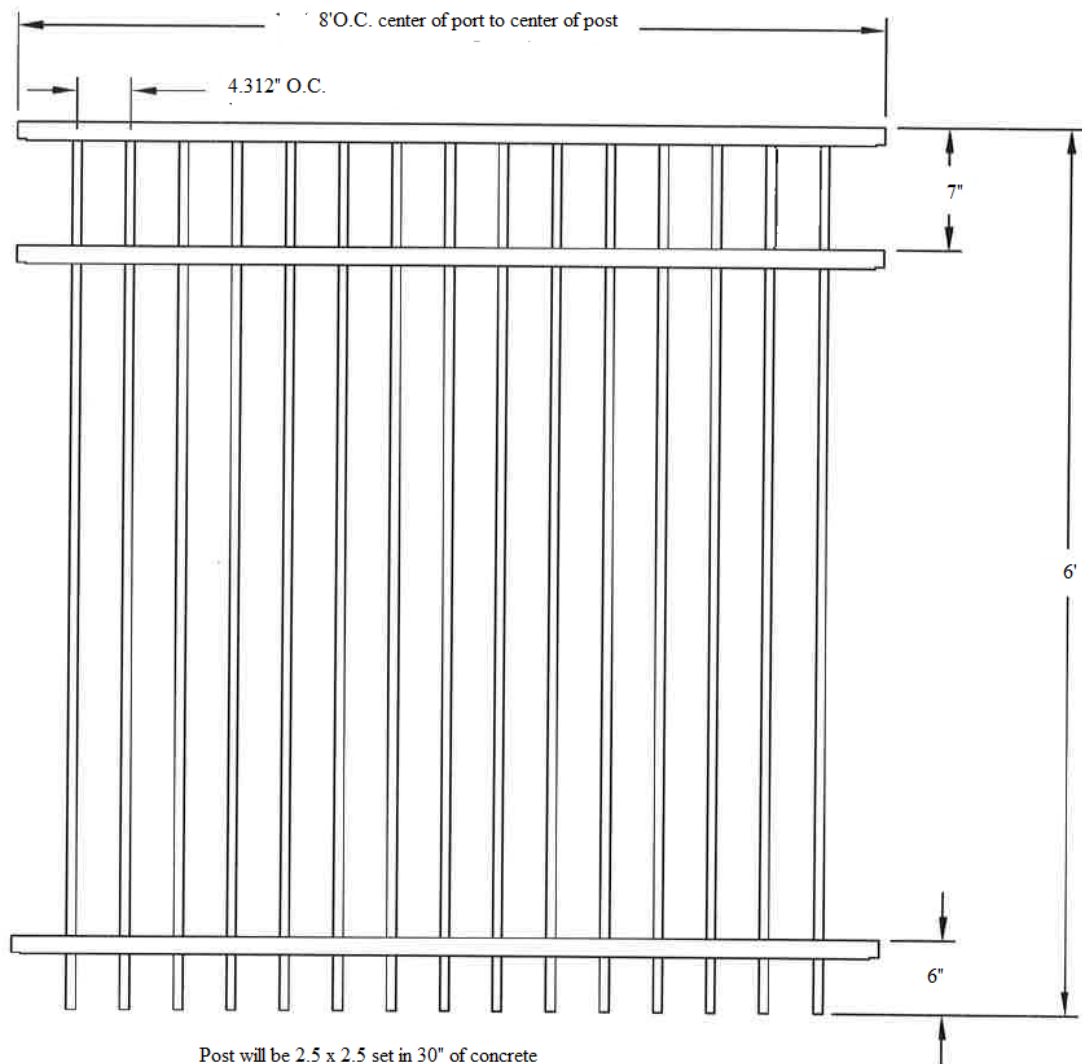
BEFORE DIGGING CALL "MISS UTILITY" OF VIRGINIA AT 1 - 800 - 552 - 7001

Apex Solutions, LLC
Professional Engineering Services
412 Old Dominion Ave
Herdon, VA 20170
Phone 703-234-9831
Cell 202-460-3378
Email: yungling@apexva.com Web: apexva.com Fax: 703-437-5174
Date: 02-19-2010
Scale: 1"=20'
Drawn By: YK
Designed By: YK

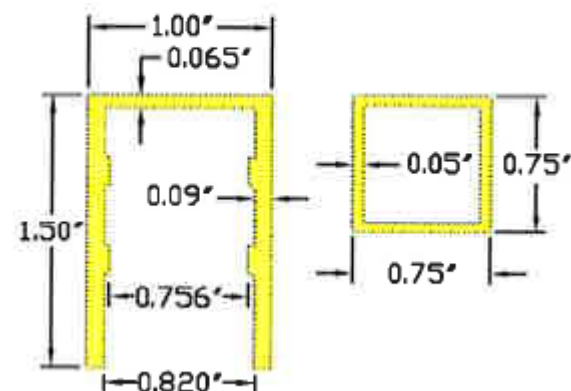
COMMONWEALTH OF VIRGINIA
YUNG CHULL KIM
No. 026063
PROFESSIONAL ENGINEER

NO.	BY	DATE	REVISION
1	YK	02/19/10	ES: COMMENTS

LANDSCAPING PLAN
ELDEN CORNER CENTER
TOWN OF HERNDON
FAIRFAX COUNTY, VIRGINIA
Job Number 102408
Sheet No. 10 OF 12



Commercial Stringer/Picket Dimensions



9319 Mike Garcia Drive
Manassas, VA 20109
Phone: 571-379-5254
Fax: 571-379-5271

Project: Eden Corner Center

Style: 6' high aluminum fence

Scale: **N.T.S.**

BY:
Date:



ARCHITECTURAL REVIEW BOARD STANDARDS FOR DESIGN REVIEW

Taken from ARB Charter – Chapter 58 (Planning) of Herndon Town Code (2000)

DIVISION 4. STANDARDS* _____

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- (4) Whether or not proposed freestanding buildings use the same or architecturally harmonious materials, color, texture and treatment for all exterior walls; and in the case of partially freestanding buildings, whether or not the same or architecturally harmonious materials, color, texture and treatment are used on all portions of all exterior walls exposed to public view.
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